



# City of Franklin

Mailing Address:  
109 3<sup>rd</sup> Ave S  
Franklin, TN 37064  
(615) 791-3217

## Meeting Agenda

### Historic Zoning Commission

---

Monday, May 11, 2026

5:00 PM

Eastern Flank Event Facility

---

Notice is hereby given that a meeting of the Historic Zoning Commission will be held on the date and time listed above. For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at (615) 791-3216, at least 24 hours prior to the meeting. Accommodations have been made to ensure that the public is able to participate in the meeting. The public may participate in the following ways: • Watch the meeting on FranklinTV or the City of Franklin website. • Watch the live stream through the City of Franklin Facebook and YouTube accounts. • Email comments to [planningintake@franklintn.gov](mailto:planningintake@franklintn.gov) to be provided in full to the Commission and included in the minutes, but not read aloud in their entirety during the meeting. Emailed comments are accepted until 12:00 PM (noon) on the day before the meeting. • Comment in-person at the meeting location. Speakers may sit in the meeting location.

#### CALL TO ORDER

**CITIZEN COMMENTS** (Open for citizens to be heard on any issue or concern, including those related to items on the agenda. Please submit a Speaker Card at the beginning of the meeting if you would like to address the Commission. If you would like to speak on an agenda item, the Chair will hold your comment until the public comment period associated with the item. As provided by law, the Commission shall make no decisions or consideration of action of citizen comments for items not on the agenda, except to refer the matter to the Planning Director/Staff for administrative consideration, or to a schedule the matter for consideration at a later date. Those addressing the Commission are requested to come to the microphone and identify themselves by name and address for the official record. The Chair may restrict the period for public comment, including the length of the public comment period, the number of individuals who can speak and the length of time each individual may speak. When time allows, the standard individual public comment time is two minutes.)

Comments on agenda items may be made in person or by emailing [PlanningIntake@FranklinTN.gov](mailto:PlanningIntake@FranklinTN.gov) before noon on the day of the meeting. Emailed comments will be provided to the Commission and included in the minutes, but not read aloud in their entirety during the meeting.

#### APPROVAL OF MINUTES

1. Consideration Of Approval Of Minutes

#### ANNOUNCEMENTS

#### APPLICATIONS

2. Consideration Of New Construction, Signage, And Site Alterations (Williamson County EMS) At 110 Aldersgate Way, John Gore, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer

3. Consideration Of Ramp Installation At 210 3rd Ave. N.; Brandon Priddy, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer

4. Consideration Of Window Replacement and Alterations At 334 Main St.; Jenna Lee, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer

5. Consideration Of Principal Building Alterations (Porch Railings) At 157 4th Ave. S. (Dan German Building); Jenna Lee, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

6. Consideration Of Mechanical Equipment Screening At 230 Franklin Rd. (Building 1 At The Factory); David Click, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer

7. Consideration Of Modern Features (Lift Replacement) At 218 3rd Ave. N.; CJ Dickson, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

8. Consideration Of Demolition And New Construction (Principal) At 1309 Adams St.; Ben McCreary, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

9. Consideration Of Signage At 109 3rd Ave. S. (City Hall); City of Franklin, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer

## **OTHER BUSINESS**

### **RECEIPT OF ADMINISTRATIVE COA APPROVALS ON BEHALF OF THE HZC**

10. Administrative COA For Rear Bollards At 236 Public Sq.; Kristen Swain, Applicant.
11. Administrative COA For Signage At 223 Bridge St.; Evangelina Montelongo, Applicant.
12. Administrative COA For Signage At 347 Main St.; Peter Duncanson, Applicant.
13. Administrative COA For Minor Rear Alteration (Non-historic Window Replacement) At 819 W. Main St.; Candie Westbrook, Applicant.
14. Administrative COA For Rear Yard Fencing (Revision To Approved Plans) At 423 S. Margin St.; Brandon Priddy, Applicant.

**ADJOURN**

Anyone needing accommodations due to disabilities please contact the ADA Coordinator at 615-791-3277 at least 24 hours prior to the meeting.



## Meeting Minutes

### Historic Zoning Commission

Monday, April 13, 2026

5:00 PM

Eastern Flank Event Facility

Notice is hereby given that a meeting of the Historic Zoning Commission will be held on the date and time listed above. For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at (615) 791-3216, at least 24 hours prior to the meeting. Accommodations have been made to ensure that the public is able to participate in the meeting. The public may participate in the following ways: • Watch the meeting on FranklinTV or the City of Franklin website. • Watch the live stream through the City of Franklin Facebook and YouTube accounts. • Email comments to [planningintake@franklinton.gov](mailto:planningintake@franklinton.gov) to be provided in full to the Commission and included in the minutes, but not read aloud in their entirety during the meeting. Emailed comments are accepted until 12:00 PM (noon) on the day before the meeting. • Comment in-person at the meeting location. Speakers may sit in the meeting location.

#### CALL TO ORDER

Chair LeMarinel called the meeting to order at 5:00 PM.

Commissioners Present: Chair Tyler LeMarinel, Brian Laster, Angela Calhoun, Bob Barrett, Madalyn Ingram(5:10 pm), Mary Pearce, Holly Thompson, Kathy Worthington

Commissioners Absent: Michael Orr

Staff Present: Kelly Dannenfelser, Emily Huffer, Bill Squires, Jared Carter

**CITIZEN COMMENTS (Open for citizens to be heard on any issue or concern, including those related to items on the agenda. Please submit a Speaker Card at the beginning of the meeting if you would like to address the Commission. If you would like to speak on an agenda item, the Chair will hold your comment until the public comment period associated with the item. As provided by law, the Commission shall make no decisions or consideration of action of citizen comments for items not on the agenda, except to refer the matter to the Planning Director/Staff for administrative consideration, or to a schedule the matter for consideration at a later date. Those addressing the Commission are requested to come to the microphone and identify themselves by name and address for the official record. The Chair may restrict the period for public comment, including the length of the public comment period, the number of individuals who can speak and the length of time each individual may speak. When time allows, the standard individual public comment time is two minutes.)**

Chair LeMarinel asked for citizen comments. There were none.

Comments on agenda items may be made in person or by emailing [PlanningIntake@FranklinTN.gov](mailto:PlanningIntake@FranklinTN.gov) before noon on the day of the meeting. Emailed comments will be provided to the Commission and included in the minutes, but not read aloud in their entirety during the meeting.

#### APPROVAL OF MINUTES

##### 1. Consideration Of Approval Of Minutes

Sponsors:

Commissioner Laster motioned to approve the March 9, 2026, HZC Meeting Minutes, seconded by Commissioner Calhoun. The motion carried 7-0.

#### ANNOUNCEMENTS

#### APPLICATIONS

2. **Consideration Of Principal Building Alterations (Window Replacement) At 223 Franklin Rd.; Hank Gardner, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Emily Huffer. Ms. Huffer stated that the property located at 223 Franklin is located in the Franklin Road Historic District. The site features a ca. 1939 frame residential building with bungalow characteristics. A retroactive request for the replacement of the windows on the historic building was denied during the January HZC Meeting due to materiality. The proposal includes a request for the replacement of ten windows on the historic portion of the building and the proposed replacement window design and materials are appropriate per the guidelines.

**RECOMMENDATION:**

Staff recommend approval of the replacement windows with conditions outlined in the staff report.

Applicant Speaker: Hank Gardner. Mr. Gardner stated that he withdrew the original request and decided to go along with staff's recommendation of the 6 over 6 light patterns.

Citizen Comments: None

**MOTION**

Commissioner Pearce motioned to approve Consideration Of Principal Building Alterations (Window Replacement) At 223 Franklin Rd. with staff conditions, seconded by Commissioner Barrett.

Commissioner Pearce stated that she appreciates the homeowner's willingness to reconsider the recommendation of the Board.

Commissioner Calhoun stated that this is a great example of how working with the HZC enhances the character of the building and thanked the homeowner for working within the guidelines and being responsive to the recommendations.

There being no further discussion, the motion carried by a vote of 7-0.

3. **Consideration Of Principal Building Alterations (Roof Materials) At 121 Myles Manor Ct.; Scott Cash, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Emily Huffer. Ms. Huffer stated that The property located at 121 Myles Manor Court is located in the Franklin Road Historic District. The site features a ca. 1930 Tudor revival-influenced building, which had additions and alterations completed in 2008 and another addition and alterations approved in 2022 that are under construction. The proposal includes a new request for the installation of EPDM roofing on a section of the roof and a retroactive request for the replacement of the asphalt shingle roof with a cedar shake roof based on additional information and research presented at the DRC last month.

EPDM: A section of roofing is proposed to utilize EPDM roofing on the rear portion of a non-historic addition to the building that was previously approved to be altered. The use of EPDM roofing materials is appropriate to accommodate the low slopes to ensure proper runoff and drainage for the long-term preservation of the building.

Cedar Shingle: Cedar Shingle roofing was installed on the historic building and its additions, replacing the existing asphalt shingles, without a Certificate of Appropriateness. Extensive research has been conducted to understand the building's history, its roofing materials, and additional information for review in light of the request has been provided.

The Guidelines recommend the following for historic residential buildings:

1. Preserve historic roof forms and materials.
2. If localized damage occurs, replace the damaged materials only. If partial or wholesale replacement is needed, use materials whose composition and appearance match the historical materials.

While the use of wood roofing material may be appropriate for an addition or new construction if it complements the architectural style of the historic building, the replacement of the asphalt shingle roofing on the historic building is not appropriate without conclusive documentation of the material being historically present on the building. The Guidelines recommend preserving and maintaining the asphalt shingle roofing material that is known to have previously been on the building. Without conclusive documentation of the material historically on the building, the use of cedar shingle roofing is not appropriate.

**RECOMMENDATION:**

Staff recommend denial of the retroactive request for cedar shingle roofing material based on the recommendations of the Guidelines.

Staff recommend approval of the EPDM roofing material with conditions outlined in the staff report.

Applicant Speaker: Scott and Michelle Cash. Ms. Cash stated they thought they were following the historic guideline recommendations but misunderstood the need for approval when a material change is made. Ms. Cash asked for forgiveness and for consideration of the evidence provided in the submittal packet that cedar shake roofing is historically appropriate for this property. Ms. Cash stated that she would not recommend that anyone request retroactive approval as the issue/process had caused her family much heartache and hard times. According to Ms. Cash, the community has been very supportive, including neighbors and random passersby. Ms. Cash finished by asking the Commission to consider the request and to consider whether the changes would damage the historic value of the property, as the COF website states. Mr. Cash thanked the Commissioners for the work they do on behalf of the city of Franklin and stated that he has the upmost respect for the HZC. Mr. Cash explained that this is the most impactful financial decision they've ever made and noted the supplemental cover letter that highlights revisions made since the DRC meeting. Evidence that a cedar shake roof existed is supported by old nail patterns and aerial video from 1950 showing a significantly lighter roof than neighboring homes. At that time, asphalt shingle colors were limited with most homes having much darker roofs. Mr. Cash stated that he had two independent roofing professionals evaluate the roof which one will speak during the public comments. Mr. Cash also stated that after much research he found that the use of cedar shake roofing material was widespread across the region. Mr. Cash explained that he spoke to Dr. Van West, TN state historian and director of the center for historic preservation at MTSU. Mr. Van West stated that "a cedar roof does not distract from the building, nor would it make it a non-contributing building to the National Register." Mr. Cash also noted that architectural shingles, designed to mimic shadow lines of cedar shake, did not exist during the time the home was built as noted by roofing websites. Lastly, Mr. Cash noted that the design guidelines emphasize use of historically appropriate materials which he believes cedar shake roof material is appropriate, historically accurate roofing material for this home with several forms of supporting evidence provided. Mr. Cash asked the Commissioner to consider all the evidence presented along with the historic context of this home when deciding.

**Citizen Comments:**

1. Alderman Matt Brown. Alderman Brown thanked the board for their service to the community and stated that interpretation of the guidelines and zoning ordinances is one of tasks boards and commissions do daily. Boards and commissions are also tasked with the opportunity to do right by the community and do right by individuals. Further Mr. Brown stated that there are also the intent of the guidelines and the spirit in which people engage them. This is a family who entered the process recognizing and embracing where they live and honoring their historical home and neighborhood, thinking they were following the rules. The family installed a cedar shake roof, unknowingly the roof material required approval from HZC. By all accounts, the roof material is probably appropriate and more appropriate than the shingles that were there. Alderman Brown explained that the family has endured great financial hardship and, as a city, how can this family be expected to endure the hardship of removing the roof. The roof isn't hurting the neighborhood or the neighbors or the historic nature of the house. If the city requires people to remove perfectly good components of a home, as in this situation, Alderman Brown explained that the city may prevent people from wanting to invest in saving these wonderful historic homes. Lastly, Alderman Brown asked that the board vote in favor of keeping the existing cedar shake roof.
2. Alderman, Patrick Baggett. Alderman Baggett stated that he wholeheartedly trusts the HZC and values the work done by the commission. In this situation, the guidelines state that cedar shake is an appropriate historical material. If faux cedar shakes or some other subpar plastic substitute material was installed, Alderman Baggett stated that he would not be speaking before the commission. The use of cedar shakes roofing material does not devalue or degrade this historical property, and the reality is that no one knows what the original roofing material was, making this a difficult situation. Alderman Baggett finished by asking the commission to consider approval of the existing cedar shake roof.

3. Frank Elliott, 103 Mayberry Court. Mr. Elliott stated that his view is of the south and east side of the Cash home and has a vested interest in whatever is approved for roofing material. Mr. Elliott explained that he supports the Cash family and their great lengths to restore their home to its historic significance and asked that the Commission approve their application for a COA.
4. Paul Anderson, 4392 Columbia Pike. Mr. Anderson stated that he is a senior project manager for Quality Roofing, Restoration and Construction. Mr. Anderson explained that he inspected the roof and based on his inspection, cedar shake shingles were very likely installed. There is evidence of slightly larger nail holes associated with cedar shake shingles as the material is much thicker than an asphalt shingle. Mr. Anderson also noted that cedar shakes are installed in staggered courses with more vertical exposure variations, the nail holes don't appear in tight, evenly spaced horizontal lines as compared to asphalt shingles that have very consistent nail patterns. Mr. Anderson referred to a photo showing board decking where the nails have been placed higher up on each shingle which is consistent with cedar shake roofs. Lastly, Mr. Anderson stated that cedar shake roofs were commonly installed over spaced or solid board decking as shown in the photo.
5. Gary Grooms, 115 Myles Manor Court. Mr. Grooms stated that he and his wife are in favor of the application and noted that they are very familiar with the history of the area as 115 Myles Manor Court is his wife's childhood home. Years ago, 121 Myles Manor Court was set to be demolished but the order of approval expired before the demolition was completed. Mr. Grooms explained that Ed Underwood renovated and added an addition to the home which has helped increase the property value of the area. The Cash family is doing a major renovation to the home that will improve the neighborhood and increase property values. Although construction is taking longer than most would like, the Cash's are great people. Mr. Grooms urged approval of the application.
6. Adam Segar, 3035 Heartland Lane. Mr. Segar stated he works for Dale & Associates and has appeared before other boards and is familiar with the processes of approval. Mr. Segar also noted that his father was a builder and he worked on roofs for many years. Mr. Segar agreed with the previous assessment by Mr. Anderson regarding cedar shake nail patterns versus nail patterns of asphalt shingles. Mr. Segar explained that he would like to speak on the logic involved in deciding on the application. Considering the flexibility of the guidelines and that cedar shake shingles are identified as appropriate historic material, it seems the application has met the requirements. Mr. Segar also noted that if every application is reviewed independently, creating a precedent is not an issue. If a precedent is defined by maintaining what was most recently existed, the standard becomes tied to prior decisions made by others. Lastly, Mr. Segar stated that the material chosen by the Cash family is much more authentic, historic, and better quality than was previously installed.
7. Bria Voldarama. Ms. Voldarama stated that she is speaking in favor of the Cash family and their request to maintain the existing cedar shake shingle roof. Ms. Voldarama explained that the Cash family is the most generous and refreshing family to be around and asked that the board consider approval of the application so that the Cash family can continue to be hospitable and not be required to take on the financial burden of a complete roof replacement.
8. Cathy Mitchell. Ms. Mitchell stated that based on the evidence the Cash's have provided regarding prior use of cedar shake shingles, she asked the board to vote in favor of the application submitted.
9. Rob McKelvy, 2012 Riverbend Lane. Mr. McKelvy stated that he is a licensed architect in the state of Tennessee, and he finds it hard to believe that a cedar shake shingle would not be acceptable considering the integrity of the material. Mr. McKelvy urged the board to vote in favor of the application.
10. Scott Caldwell, 601 Cornelia Court. Mr. Caldwell stated that he is a friend of Cash's and knew that the cedar shake roofing material was coming into question. Mr. Caldwell explained that he began driving around Franklin seeing cedar shake roof after cedar shake roof and stated that a cedar shake shingle embodies the historic nature of Franklin. Mr. Caldwell asked that the board consider approving the roofing material.

### **MOTION**

Commissioner Laster motioned to Approve with staff conditions Consideration Of Principal Building Alterations (Roof Materials) At 121 Myles Manor Ct, seconded by Commissioner Ingram.

Commissioner Laster stated that the reason he is going against staff recommendation is the guidelines clearly state that wood is an approved material and that it is difficult to provide conclusive documentation that cedar shake shingles were once used and equally difficult to prove that asphalt roofing may have been used. The old newspapers from the 1920's and 1930's advertised cedar shakes from California, indicating cedar shake shingles were being installed in the area. When conclusive documentation can't be provided, reliance on experts in the field is necessary. Commissioner Laster noted that two professionals from reputable roofing companies spoke about the high probability that a cedar shake roof existed or could have existed. Lastly,

Commissioner Laster stated that he can't see removing a roof that has historic material and replacing it with an asphalt roof or something else. If someone requested replacing their historic home's vinyl siding with wood, there would not be a board member who would say no.

Commissioner Pearce stated that with so many people in the room, it's a good opportunity to explain historic zoning in Franklin. The reason we're discussing the roof is that the correct process was not followed. The Cash family has come before this board many times to request approval for different types of work on their home but didn't follow the process for the roofing material. Commissioner Pearce stated that she will support approval of the application as the roof material does not really take away from the style of the house. Commissioner Pearce noted, referring to this home almost being torn down, stated that there was a huge fight in which she was a part of that ultimately saved the home. The Red Pony was giving out \$50 gift certificates to go against the historic zoning group. Ms. Pearce explained that being one that has fought so hard for historic zoning, she believes the commission has contributed to the Franklin that everyone loves. Historic zoning would not exist without people abiding by the guidelines.

Commissioner Ingram stated that in previous discussions about this application, the HZC requested more evidence that cedar shake roofing may have existed. As Commissioner Laster stated, it's difficult to find conclusive documentation but hearing from professionals in the roofing industry creates a situation where everyone can feel good about approving the application.

Commissioner Calhoun stated that the comments from Dr. Van West were compelling and the cedar shake is beautiful and enhances the cottage vibe of the house. The issue was not following the process because the only way this works in Franklin is by everyone buying in and committing to following the rules and process. Ms. Calhoun stated that it's better to get in front of the situation by asking for permission. Commissioner Calhoun stated that she will support the application but there could be implications as a result of this approval that affect future decisions relating to precedent.

Chair LeMarinel stated that he agrees with everything that everyone has said. The process wasn't followed; evidence may or may not confirm the presence of a cedar shake roof but there is a strong chance cedar shakes were used as roofing material. Chair LeMarinel explained that had the applicant followed the correct process, there is no guarantee the request would have been approved. Based on the guidelines, the board would have possibly said that if the roofing material used was asphalt, then that's the roofing material that should be used. Considering this situation independently, along with proposed appropriate roofing material, approval can be considered. Chair LeMarinel commented that the cedar shakes are historically accurate material for the period in which the house was constructed, but the process should have been followed.

There being no further discussion the motion carried by a vote of 8-0.

#### 4. **Consideration Of Front Yard Fencing At 1005 Evans St.; Natalie Dyess, Applicant.**

**Sponsors:** Kelly Dannenfeler, Emily Huffer, Elizabeth Bulay

Project Leader: Emily Huffer. Ms. Huffer stated that the property located at 1005 Evans Street is located in the Lewisburg Avenue Historic District. The site features a ca. 2010 frame residential building that features gothic revival influences. The proposal includes a request for the construction of a wood picket fence in the front yard of the property. The proposed fencing is appropriate; therefore staff recommend approval of the application with conditions.

Applicant Speaker: Brian Snider. Mr. Snider stated that the fence will allow the puppies to go out in the front yard safely.

Ms. Huffer stated that 1 email comment was received and has been uploaded with the application documents.

Citizen Comments:

Carl Baufman, 1001 Evans Street. Mr. Baufman stated that his property is north of 1005 Evans Street. Mr. Baufman expressed concern about the Japanese Maple planted close to the property line and requested that the fence include the mulch area and tree. Secondly, the driveway has a headwall with a brick planter that accumulates debris during storms. Mr. Baufman would like to have full access to the planter during weather events. Lastly, Mr. Baufman stated that there is an ATT box and requested the fence excludes this box.

**MOTION**

Commissioner Worthington motioned to approve, with staff conditions, Consideration Of Front Yard Fencing At 1005 Evans St., seconded by Commissioner Thompson.

Commissioner Worthington stated that the applicant noted that the pickets will be equal distance between the posts. Does the applicant have a method to show an example?

Chair LeMarinel stated that the design was generated by AI, but the intention is for the three sections to be equal so that the sway and all the dimensions are all equal.

Commissioner Worthington stated that she's in agreement with three equal sections as the sections reflect spacing on the porch.

Chair LeMarinel stated that the spacing looks fine, and the fencing meets the requirements of the guidelines, but the neighbors will need to work things out among themselves as those issues are not within the purview of the HZC.

There being no further discussion, the motion carried by a vote of 8-0.

5. **Consideration Of Building Alterations (Door Replacement) At 127 2nd Ave. N.; Marla Albert, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Emily Huffer. Ms. Huffer explained that the property located at 127 2nd Avenue North is located in the Downtown Franklin Historic District. The site features two commercial buildings. The building located at the back of the property is a circa 1960 concrete block building and is listed as non-contributing to the district. The proposal includes a request to replace the existing metal double doors with new double store front-style doors. The proposed alterations are appropriate and therefore, staff recommend approval of the door replacement with staff conditions.

Applicant Speaker: Marla Albert. Ms. Albert stated that the purpose of door replacement is to provide more safety when exiting the building. Push bars are required and while the doors are being replaced it's nice to select doors that look good.

Citizen Comments: None

**MOTION**

Commissioner Ingram motioned to approve with staff conditions Consideration Of Building Alterations (Door Replacement) At 127 2nd Ave. N., seconded by Commissioner Calhoun.

Commissioners Ingram and Calhoun both agreed the application is straightforward and appropriate for the building.

There being no further discussion, the motion carried by a vote of 8-0.

6. **Consideration Of In-Kind Replacement Of Building Materials At 800 Fair St.; Amanda McCreary, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer stated that the property at 800 Fair Street is located within the Hincheyville National Register Historic District. The proposal includes the repair and in-kind replacement of areas on the building that have deteriorated.

The scope of work includes:

1. Replacement of the siding on the sides of the front elevation dormer and installation of dark metal flashing,
2. Replacement of the fascia boards and soffits (as needed),
3. Replacement of the K-Style/ogee gutters and round downspouts, and

4. Repairs of the siding where deteriorated.

All proposed in-kind replacements are appropriate, and staff recommend approval with conditions.

Applicant Speaker: Amanda McCreary, Chisel Workshop. Ms. McCreary stated that additional information was added to the application, as requested at the last DRC meeting. The goal is to salvage as much of the soffit as physically possible and if replacement is necessary in the front, historic pieces from the back can be used as replacement pieces for the front. Ms. McCreary also noted that the neighborhood context was added along with information on the gutters as requested by the board.

Citizen Comments: None

#### **MOTION**

Commissioner Laster motioned to approve with staff conditions Consideration Of In-Kind Replacement Of Building Materials At 800 Fair St. seconded by Commissioner Ingram.

Commissioner Laster commended the applicant on their efforts on preserving the original material and good historic preservation practice.

There being no further discussion, the motion carried by a vote of 8-0.

#### **7. Consideration Of Accessory Structure Alterations (Garage Door Alterations) At 321 3rd Ave. S.; Lawrence Sullivan, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Emily Huffer. Ms. Huffer stated that the property located at 321 3rd Avenue South is located in the Downtown Franklin National Register Historic District. The site features a ca. 1890 T-frame principal building and a ca. 1970 CMU block accessory structure. The proposal includes a request to alter the front façade of the accessory structure in order to convert the existing one-bay into a two-bay garage configuration. The existing CMU and new column between the garage doors are proposed to be clad in cementitious lap siding with a 4" reveal and trim corner detailing. The proposed alterations will increase the compatibility of the design of the structure with other historic accessory structures in the district by creating doors with similar proportions and materials that are more consistent with what is seen in the district. Therefore, staff recommend approval of the accessory structure alterations with conditions.

Applicant Speaker: Lawrence Sullivan. Mr. Sullivan stated that the AI kept saying the cinder block was going to be wood, which is incorrect.

Citizen Comments: None

#### **MOTION**

Commissioner Barrett motioned to approve with staff conditions Accessory Structure Alterations (Garage Door Alterations) At 321 3rd Ave. S., seconded by Commissioner Calhoun.

Commissioner Laster stated that Mr. Sullivan did a nice job as the garage doors look much better.

There being no further discussion, the motion carried by a vote of 8-0.

#### **8. Consideration Of New Construction, Signage, And Site Alterations (Williamson County EMS) At 110 Aldersgate Way, John Gore, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that the property at 110 Aldersgate Way is located within the Franklin Road Historic District. The property is on the edge of the Historic Preservation Overlay (HPO) and is considered to front the roundabout coming from Mack Hatcher Memorial Parkway.

#### **New Building Construction**

The agrarian appearance of the horizontal cementitious siding on the proposed building appears to relate to the

adjacent Daniel McMahon House and agricultural barn. The proposed placement and orientation, building form, height, materials, details and ornamentation, entrances, gutters and downspouts generally meet the Guidelines. Additionally, the detailing of the windows should have traditional casement and trim framing the windows to align with the Guidelines. Further, the Guidelines recommend that windows be in a traditional placement, so there should be a separation between the windows and the watercourse.

#### Signage

The proposed sign aligns with the Guidelines recommendation for post and panel signs but should utilize a matte finish.

#### Site Alterations

The proposed site alterations, such as the driveway, parking area, walkway, and generator location, all appear to be appropriate.

#### Recommendation:

Staff recommend approval of the application with conditions outlined in the staff report.

Applicant Speaker: Jeff Fairwood. Mr. Fairwood stated that he is happy to comply with staff conditions.

Citizen Comments: None

#### **MOTION #1**

Commissioner Worthington motioned to approve with staff the 10 conditions for New Construction, Signage, And Site Alterations (Williamson County EMS) At 110 Aldersgate Way, seconded by Commissioner Barrett.

Commissioner Laster noted that the head height above the windows is wide and suggested this component of the application be approved by staff.

Chair LeMarinel clarified that Mr. Laster is speaking about the amount of material/siding above the window. The head height of the windows appears to be low.

Commissioner Laster also noted that the windows should have a double hung appearance per the guideline recommendations.

Commissioner Ingram asked if the head height applied to the front door or just the windows.

Commissioner Laster answered by stating that the awning over the entrance makes it difficult to see the front door or make a comment.

Chair LeMarinel stated that it's not uncommon for windows and doors to have uncommon head height especially commercial buildings. For the windows, there are a lot of forehead space above and the guidelines do talk about windows having a double hung appearance, depending on what type of windows that are selected. Storefront windows could have a wider mull bar or double hung windows would be appropriate.

Commissioner Laster suggested the applicant consider relating the front facade to the historic McMahan house as the front of the building faces the church and the McMahan house. Also, Mr. Laster suggested consideration of the other buildings on the property and noted that storefront windows would not be seen in the types of structures on the property.

Chair LeMarinel mentioned special requirements that might be necessary for the building in terms of tornadoes or hurricanes.

Commissioner Worthington mentioned staff comments regarding placement and casement and trim around the windows relative to what one would typically see on historic civic buildings. Civic buildings are much taller in height and scale. Considering the scale of the building and the surrounding buildings near it, it would probably set the standard for what would be appropriate while also following the guidelines. The building feels out of balance with the tall garage doors which are necessary for this type of structure. Commissioner Worthington suggested staff take a deeper look at the building and what a historic civic window would look like.

Chair LeMarinel stated that trim around the windows along with a casing of some sort and an apron would provide a more significant window. The current window appearance is a window and siding. There was also a comment about the spacing of the siding or the reveal, which looks big right now.

Commissioner Pearce stated that when staff address the window style along with the casement, the front

elevation will improve. Also, Ms. Pearce noted that she would like to see the water table not just leave space but have more of a traditional foundation.

Commissioner Laster stated that much of what is being discussed is more appropriate for a DRC meeting where the environment is more conducive for design discussions.

**MOTION (To Defer)**

Commissioner Laster motioned to defer the application for New Construction, Signage, And Site Alterations (Williamson County EMS) At 110 Aldersgate Way, to the May 11<sup>th</sup> HZC Meeting, seconded by Commissioner Ingram.

Commissioner Pearce stated that she would be comfortable with approval with the changes staff has recommended with the water table coming down. The applicant has been very responsive to so many of the board's suggestions.

Commissioner Thompson agreed with Commissioner Pearce and stated that she is comfortable with the building along with staff's recommendations.

Chair LeMarinel stated that there are enough moving parts to warrant more discussion including seeing examples of trim, renderings that reflect the siding, window samples and a real front door spec. These are typical things the HZC asks for whether it is for a personal residence or city hall, things that are important in the decision making process. Chair LeMarinel also noted that it may not be necessary for all the water tables to come down.

Commissioner Calhoun agreed with Chair LeMarinel as there isn't enough detail to understand what's going to happen.

Commissioner Ingram commented that the rendering doesn't show how elements interact with one another.

Chair LeMarinel mentioned other components such as light fixtures, brick and roof type – assuming it's standing seam.

Commissioner Barrett stated that the applicant is moving in the right direction and the details will make a tremendous difference now that front façade is simpler.

Chair LeMarinel suggested, looking at the window submit, more clarity from the applicant about what is going where.

There being no further discussion, the motion to defer carried by a vote of 8-0.

Chair LeMarinel invited the applicant to the next DRC meeting to discuss the details and expectations.

**9. Consideration Of Alterations to A Previously Approved Building (Parking Structure) At 230 Franklin Rd. (The Factory); Read Talley, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. the property located at 230 Franklin Road is home to the Factory at Franklin and is located in the Franklin Road Local Historic District. The proposal to construct a new parking structure was approved by the Historic Zoning Commission in June 2025. Minor alterations have been approved following the initial approval of the building. This proposal is for alterations to the South and East elevations.

**South Elevation**

On the South elevation that will face Building 5, the building openings will be infilled with brick but will still have the detailing of window openings. The recess of the infill detailing has not been provided but should articulate the areas where it was previously open. The option to have the metal canopies that would connect the previously approved parking garage to Building 5 are also proposed to be removed from the plan.

**East Elevation**

On the East elevation that will face the carousel building, a portion of the building that will house the elevator is proposed to decrease its height from 43'-8" to 41'-10". The elevator overrun will remain the same at 47' in height. The added height may help to diminish the elevator overrun from elsewhere on the site, even though the height exceeded the recommended maximum height of 42'-11".

**RECOMMENDATION:**

Staff recommend approval of the application except for the decrease in height of the portion of the building on the East/South elevations, with conditions outlined in the staff report. Ms. Huffer pointed out the areas of revision in the application documents on the overhead slides.

Chair LeMarinel mentioned the removal of the connected canopies.

Applicant Speaker: Read Talley. Mr. Talley stated that the brick infill area is opposite from the theater/building 5. Also, Mr. Talley noted an opportunity to drop the parapet's height as height has always been a question. The architect and manufacturer working together came up with this opportunity.

Chair LeMarinel noted that staff recommended not dropping the height of the parapet as it helps screen the elevator.

Citizen Comments: None

**MOTION**

Commissioner Laster motioned to approve with staff conditions except for the decrease in height on the south and east elevations to A Previously Approved Building (Parking Structure) At 230 Franklin Rd. (The Factory); Read Talley, Applicant., seconded by Commissioner Worthington.

Commissioner Laster stated that he agrees with staff's recommendation to maintain the building height to screen the elevator overrun. Mr. Laster asked if the brick infill of the windows is to align with fire codes.

Chair LeMarinel confirmed.

Commissioner Worthington mentioned the screening also helps hide the headlights from vehicles moving through the garage at night and asked how much of a drop there would be.

Mr. Talley noted the drop as 1 foot 10 inches.

Commissioner Worthington asked if there will be the same amount of floor space where the cars roll into the garage considering the reduction.

Mr. Talley stated there will be no change in the floor space as the reduction affects the exterior wall.

Commissioner Ingram asked for more information about the opportunity to reduce parapet height.

Chair LeMarinel stated that it was an opportunity to reduce the overall height as the HZC usually requests. In this situation, the parapet provides screening of the elevator overrun, so it is a judgment call about height versus screening.

There being no further discussion, the motion carried by a vote of 8-0.

**10. Consideration Of Demolition At 234 and 242 5th Ave. N.; Greg Gamble, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that The properties at 234 and 242 5th Avenue North are located within the Downtown Franklin National Register Historic District. The National Register describes both buildings to be non-contributing to the historic district. It is noted that 242 5th Avenue North was constructed circa 1940 and 234 5th Avenue North was constructed circa 1980. However, a historic building survey from the 1972 NRHP listing shows both buildings with accessory structures on their sites. The request to demolish the buildings and a preliminary plan for a building to be constructed on the lots received feedback at the March Design Review Committee. Demolition is highly discouraged unless there are extraordinary circumstances, so as to maintain the integrity and sense of place associated with Franklin's historic districts. Demolition may only be approved if the Historic Zoning Commission deems one or more of the following conditions are met:

1. If a building has lost its architectural and historical integrity and its removal will not adversely affect the district's historic character. Loss of integrity must be substantiated with photographic documentation and a physical description of the property that addresses relevant issues.
2. If the denial of the demolition will result in an unreasonable economic hardship on the applicant as determined by the HZC.
3. If the structural instability or deterioration of a property is demonstrated through a report by a structural engineer or architect with demonstrated experience working with historic structures. Such a report must clearly detail the property's physical condition, reasons why rehabilitation is not feasible, and cost estimates for rehabilitation versus demolition and construction of a comparable structure. In addition to this report, there should be a separate report that details future action on the site.

Within the application, there is a report from a local architect with experience working with historic structures in Franklin. The report highlights that both of the buildings have been extensively modified over the years and that it would be "hard to determine how to unwind the additions to reveal the original unique architecture." Further, "there have been so many modifications to the original architecture that does not support the original design and construction period they have subsequently lost their integrity and authenticity/cohesiveness."

While not all of the financial information was included within the application, the loss of historic integrity has been provided in the application. The existing buildings have been extensively modified since the photos included in the packet from 1948 and 1975, and do not appear to resemble the buildings seen in the historic photos. Therefore, the historic structures do not appear to retain their integrity. While the demolition request is not accompanied by a final redevelopment plan, future improvements would be subject to separate review by the Historic Zoning Commission.

#### RECOMMENDATION:

Staff recommend approval of the demolition of the principal buildings and their accessory structures with conditions outlined in the staff report.

Applicant Speaker: Greg Gamble. Mr. Gamble stated that he would be happy to answer any questions. Mike Hathaway is also present as part of the team. Mr. Gamble stated that photos were not provided in the submittal package, but he has handouts if the board would like to see them.

Citizen Comments: None

#### MOTION

Commissioner Ingram motioned to approve with staff conditions Demolition At 234 and 242 5th Ave. N, seconded by Commissioner Calhoun.

Commissioner Laster stated that he can only remember a handful of times the board has approved demolition and it is a very high bar of qualifications to meet. In this situation, weighing the criteria of the guidelines, every box can be checked yes. Mr. Laster stated that in 30 years of living in Franklin he's seen these buildings under water at least 3 times and it will happen again. Commissioner Laster stated that as much as he hates to vote for demolition, sometimes it's appropriate.

Commissioner Pearce stated that if something great was going to happen, it would have happened by now. Ms. Pearce noted that she agrees with the demolition but stated that she's not basing her agreement for demolition on the building that was presented.

Chair LeMarinel stated that it is understood that whatever is proposed for the property will require a COA.

Commissioner Ingram stated that demolition is not taken lightly but, in this circumstance, it makes sense.

Commissioner Calhoun agreed with Commissioner Ingram.

There being no further discussion, the motion carried by a vote of 8-0.

#### OTHER BUSINESS

Ms. Emily Huffer made the following announcements:

- DRC is on Monday, 3/16.
- New HZC Training Poll – Late Summer or early fall dates
- Special DRC to discuss the Themes, Goals, and Recommendations on Tuesday, April 28<sup>th</sup> at 11:00.
- Preservation Month Proclamation on the May 12<sup>th</sup> BOMA meeting at 7:00.

#### **RECEIPT OF ADMINISTRATIVE COA APPROVALS ON BEHALF OF THE HZC**

11. **Administrative COA For Signage At 230 Franklin Rd. Bldg. 8.; Deborah Brannan, Applicant.**

Sponsors:

12. **Administrative COA For Rear Yard Fencing At 1318 Adams St.; Jessica Piccard, Applicant.**

Sponsors:

13. **Administrative COA For Minor Alteration (Rear Non-Historic Screened Porch Alteration) At 713 Glass Ln.; Tom Brooks, Applicant.**

Sponsors:

14. **Administrative COA For Signage (Window) At 348 Main St.; Rebecca Davis, Applicant.**

Sponsors:

15. **Administrative COA For Sandwich Board Signage At 305 Public Sq.; Terri Yates, Applicant.**

Sponsors:

16. **Administrative COA For Mechanical Equipment Installation At 179 Splendor Ridge Dr.; Art Haws, Applicant.**

Sponsors:

17. **Administrative COA For Minor Alterations On Rear (Nonhistoric Addition Window Replacment) At 214 Franklin Rd.; Ronald Shuff, Applicant.**

Sponsors:

18. **Administrative COA For Sigange (Post and Arm and Wall) At 701 W. Main St.; Justin Schwallie, Applicant.**

Sponsors:

**ADJOURN**

Commissioner Pearce motioned to adjourn the April 13, 2026, HZC meeting, seconded by Commissioner Ingram. The motion carried by a vote of 8-0. There being no further business, the meeting adjourned at 06:31 PM.

\_\_\_\_\_

Chair

\_\_\_\_\_

Date



---

**File #: 26-0560**

---

**DATE:** 5/11/2026  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner

**SUBJECT:**  
Consideration Of New Construction, Signage, And Site Alterations (Williamson County EMS) At 110 Aldersgate Way, John Gore, Applicant.

**PURPOSE:**  
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning the new construction of a building, signage, and site alterations at 110 Aldersgate Way.

**APPLICABLE DESIGN GUIDELINES:**  
2022 Franklin Historic District Design Guidelines:  
Chapter 3: New Civic Buildings  
Chapter 6: Site & Setting  
Chapter 8: Signs

**PROJECT INFORMATION:**  
COF Project Number: 9033  
Applicant: John Gore  
Owner: Ronald Evan Styers, Trustee Chairperson

**BACKGROUND:**  
The property at 110 Aldersgate Way is located within the Franklin Road Historic District. The property is on the edge of the Historic Preservation Overlay (HPO) and is considered to front the roundabout coming from Mack Hatcher Memorial Parkway. Shared on the property are the Franklin First United Methodist Church and a collection of other buildings, ranging from agricultural to residential uses. A new civic building, signage, and site alterations are proposed on the site and will serve as the Williamson County Emergency Medical Services (EMS) Station. The applicant attended several Design Review Committee meetings, and feedback was incorporated into the proposal. The design has been restudied and refined since the April Historic Zoning Commission meeting, where it was deferred.

New Building Construction

The proposed building is positioned to face the roundabout which stems from Mack Hatcher Parkway. The front of the building will feature two large dark gray bi-fold garage doors with clear glazing for the emergency vehicles to be stored, and to the right of the garage doors is a main entrance for pedestrians into the building. The agrarian appearance of the horizontal cementitious

siding on the proposed building appears to relate to the adjacent Daniel McMahon House and agricultural barn. The building is proposed to be constructed out of a smooth cement siding in a 5" reveal that is painted a white/cream color, a gray/tan brick, and a dark metal gray roof. The proposed mortar color appear to blend well with the proposed materials. The building height ranges from 22'-3" to 30'-9". The proposed double hung windows consist of a fiberglass material in a light gray color and a six-over-six lite pattern. The window divided lite profile was not included within the submittal. Other elevations include windows and doors to break up the facades. Gutters and downspouts are proposed in a dark color around the building. The profile appears to be half round gutters and downspouts. The proposed lighting is proposed to be on the exterior of the building and the fixtures will be attached to the building but are minimal in size. The Guidelines recommend:

- Orient the main entrance to a civic building toward the street.
- Locate new buildings to be secondary in prominence to the historic structures on the site or in the district.
- Design a new civic building to be contextually sensitive to the historic district, so that it does not detract from or overwhelm nearby buildings.
- Design the architecture elements using defined base, middle, and cap divisions.
- Design the height of new civic buildings to be consistent with the height of historic buildings in the district, which should not exceed two to three stories or be any taller than the commercial buildings on Main Street.
- Use building materials that create a sense of permanence, such as brick or stone.
- Use roofing materials that are historically typical and complement the architectural style of the building.
- Alternative materials may be considered for use on a case-by-case basis. Considerations include the potential impact on historic significance, durability, accuracy of appearance, location, environmental impacts, and interaction with historic building materials.
- Design a building to reflect its time while respecting key features of its context.
- Use decorative details in a manner that is compatible to those on nearby historic buildings while avoiding direct replication.
- Design new doors and doorways to be typical of historic civic buildings, including solid-to-void ratio, rhythm and spacing, and scale and intricacy.
- Provide casement, trim, and transoms or sidelights similar to those typically seen on historic civic buildings.
- Design new windows to be compatible with the size, placement, rhythm, and relationship of solids-to-voids to those of typical historic civic buildings.
- Utilize traditional placement of window headers and sills relative to cornices and belt courses.
- Design windows to match the historic materials traditionally found on historic civic buildings. Composite materials that have the appearance of wood are appropriate for windows, stops, jambs, and trim.
- Recess window openings on masonry buildings and use window openings with raised surrounds on frame buildings.
- Match the gutter style to the architectural style of the building.
- Use lighting sources and illumination levels that enhance the character of the historic building and the historic district.
- Use illumination with a warm white light which does not distort the color of building materials or finishes. Avoid using colored bulbs or gels, or lighting with changing colors.
- Orient illumination downward for commercial and civic buildings. Do not design lighting for the sole purpose of attracting attention to building architecture or to building uses.

The proposed placement and orientation, building form, height, materials, details and ornamentation,

entrances, and gutters and downspouts generally meet the Guidelines. While the proposed fiberglass windows do not exactly align with the Guidelines regarding materials, they appear to be a similar material to those on the adjacent FFUMC building and are double-hung in appearance. The windows should utilize a true divided-lite pattern or a simulated divided-lite pattern to align with the Guidelines. The proposed lighting aligns with the Guidelines for appearance, but shall utilize a warm white light to align with the Guidelines and be altered to only be illuminate downward. The use of the horizontal cement siding reflects the agrarian buildings that are located on the site.

### Signage

It is proposed to construct a dark gray, metal post and panel sign in front of the building. The sign is proposed to be 4'-6" in height and 4' in length and the sign panel to measure 3' by 4'. The sign utilizes white raised aluminum lettering. It is unknown what the finish of the sign or lettering on the sign is. Small external illumination is proposed, and it is appropriate for the proposed sign type to utilize small uplighting. The proposed sign aligns with the Guidelines' recommendation for post-and-panel signs but should utilize a matte finish.

### Site Alterations

The proposed site alterations, such as the driveway, parking area, walkway, flag installation area, and generator location, all appear to be appropriate. Should the generator be installed at the proposed location, screening of the mechanical equipment is required by the Zoning Ordinance and can qualify for an administrative COA.

### **RECOMMENDATION:**

Staff recommends approval of the application with the following conditions:

1. Windows shall use a true divided lite or a simulated divided lite to align with the Guidelines. Window specs shall be sent to the Preservation Planner for approval before building permit submittal.
2. The light fixtures shall use illumination with a warm white light.
3. The sign shall utilize a matte finish.
4. Screening for the generator is required and may qualify for an Administrative COA.
5. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
6. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

### Project Considerations:

1. The applicant shall obtain a floodplain development permit prior to any disturbance of the FFO.
2. The FIRM data used to show the floodplain boundaries is incorrect. The City has adopted new and updated FEMA FIRMs and these should be used to calculate the floodplain areas. Please use the map dated 12/20/2024 to draw this area. Currently the structure looks like it will be encroaching into the 100-year zone AE.



**Project: Williamson County Fire and Rescue EMS at FFUMC**  
**110 Aldersgate Way, Franklin, Tennessee 37069**  
**Prepared for: City of Franklin Historic Zoning Commission**  
**Applicant: Williamson County Department of Public Safety**  
**Architect: TMP**  
**Date: March 2026**

## **I. Project Overview**

This proposal is for the construction of a new Williamson County Emergency Medical Services (EMS) Station to serve the northern Franklin community. The facility will be located on the campus of Franklin First United Methodist Church (FFUMC) at 110 Aldersgate Way.

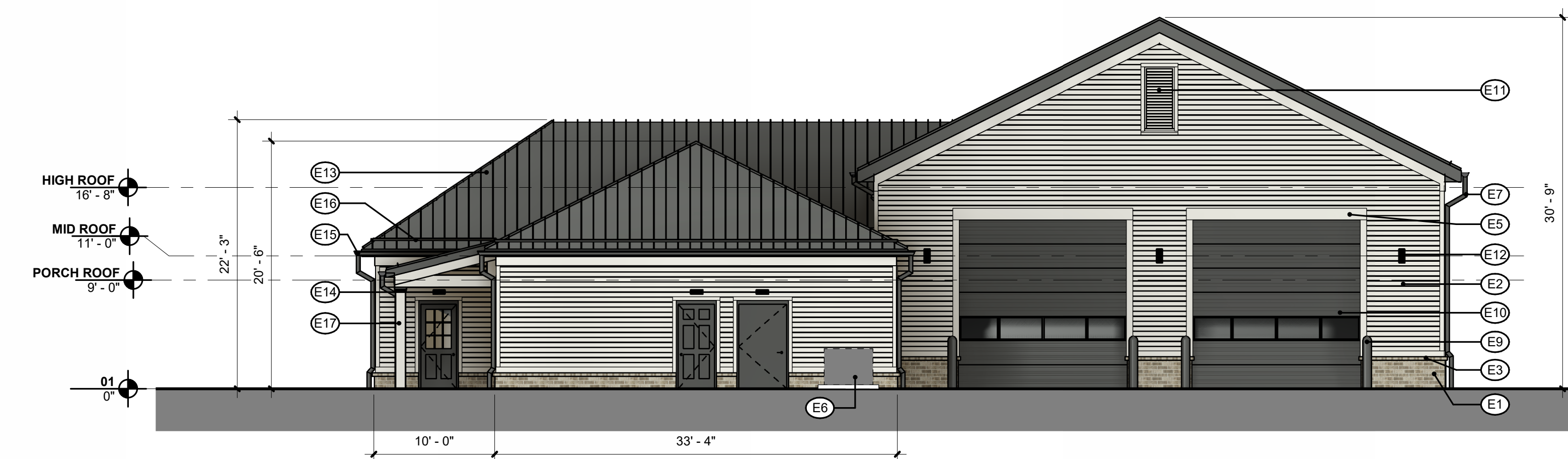
The project provides a small-scale civic building accommodating emergency response vehicles, crew facilities, and support spaces. Design and materials are guided by the Franklin Historic District Design Guidelines, Franklin Zoning Ordinance, and surrounding Historic properties.



**1 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



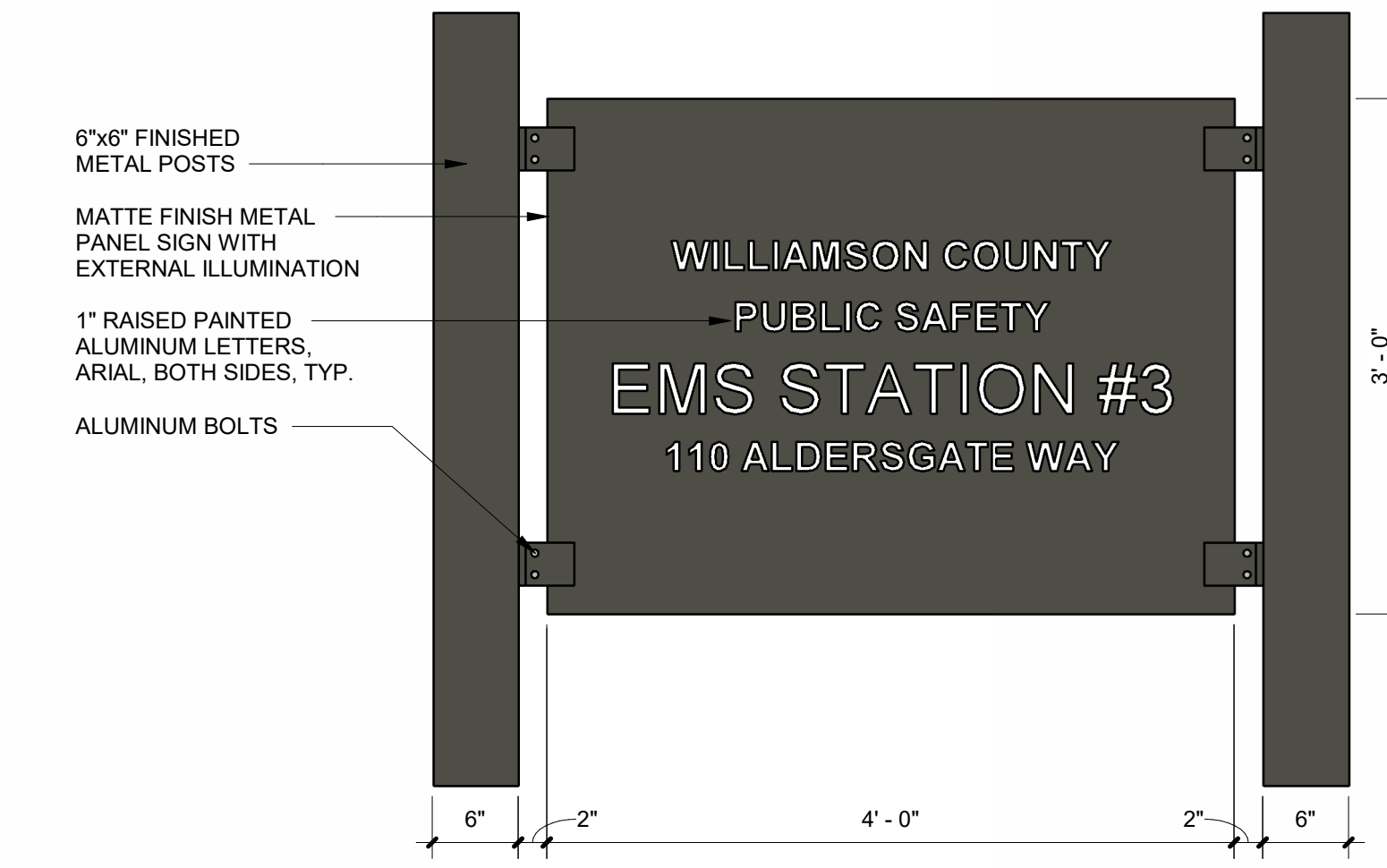
**2 SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**3 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



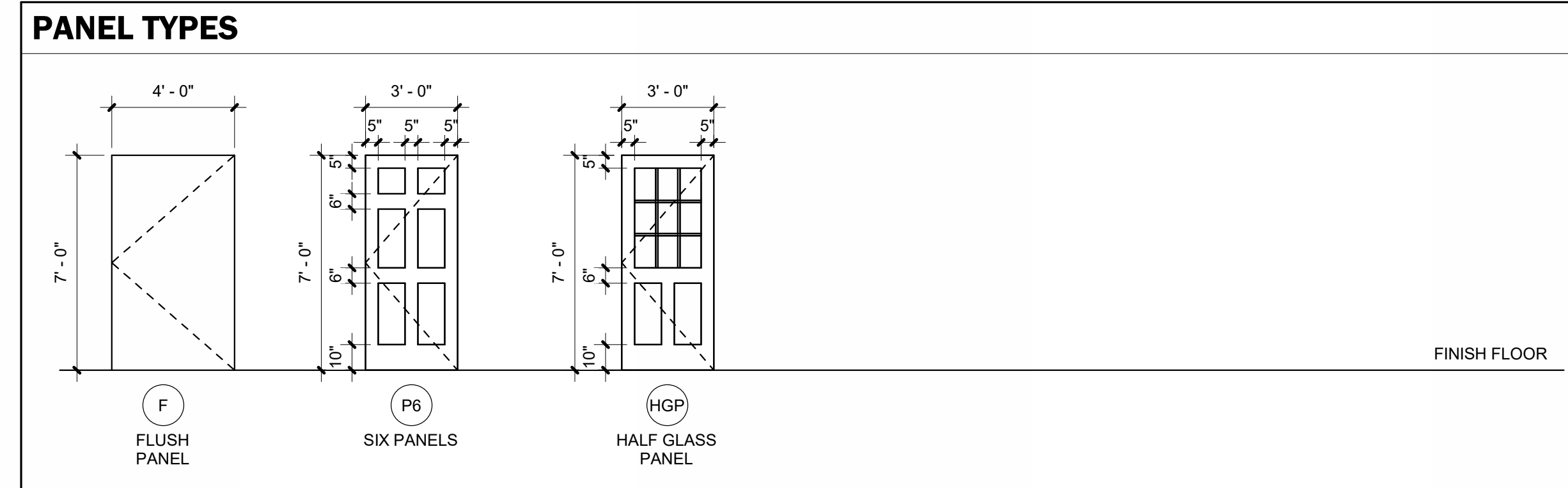
**4 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



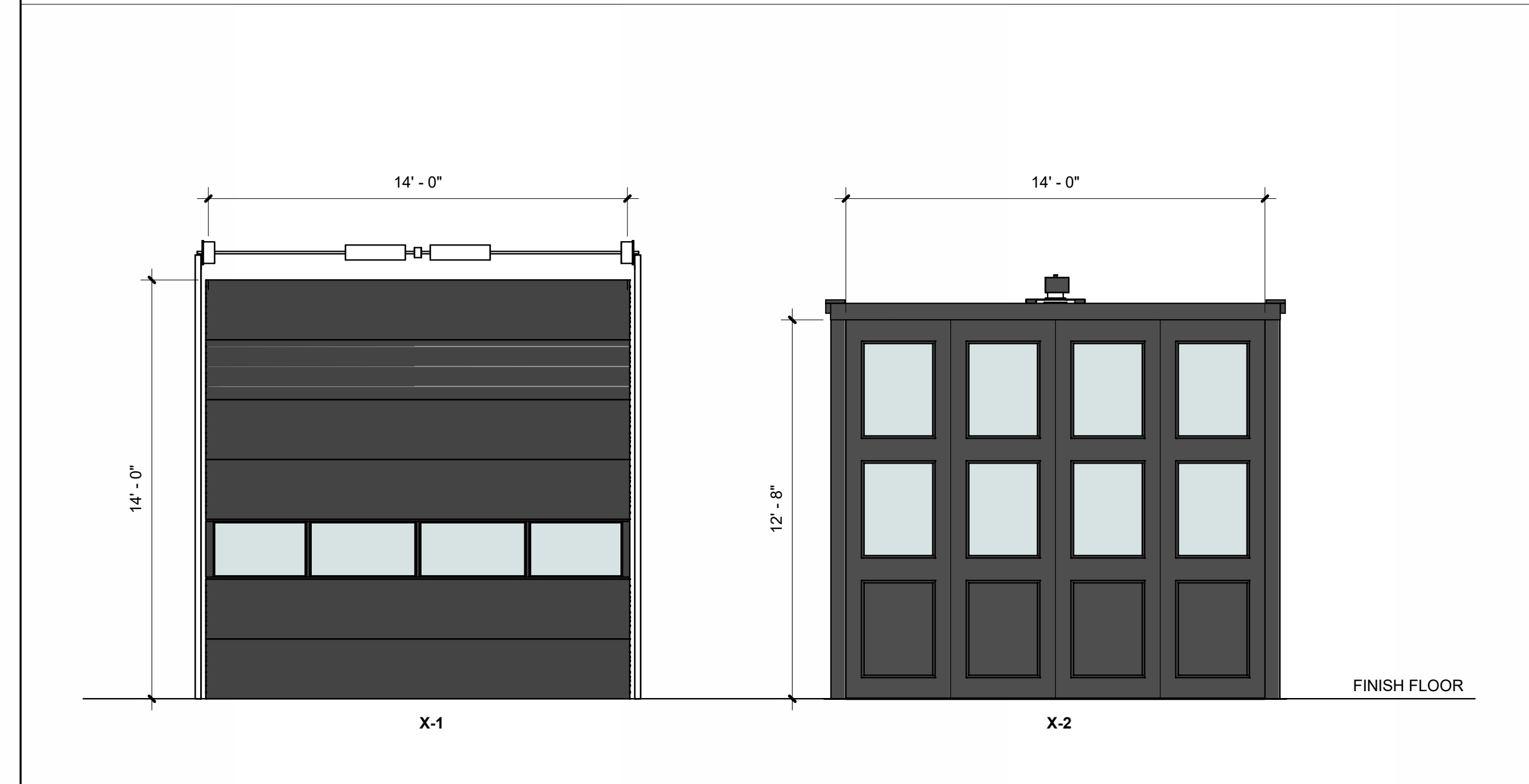
**5 MONUMENTAL SIGN FRONT ELEVATION**  
SCALE: 1" = 1'-0"

**KEYNOTES - EXTERIOR**

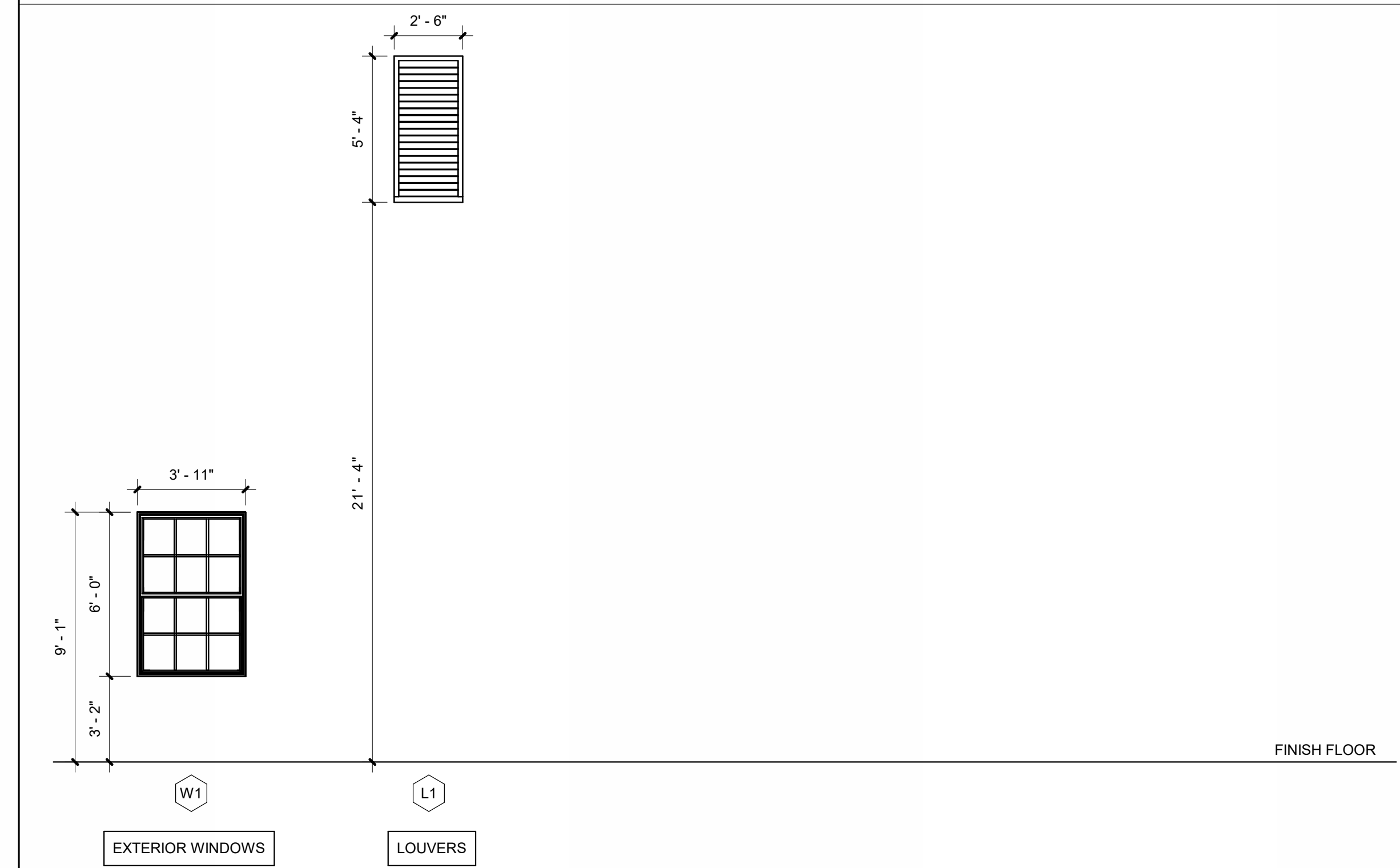
E1	BRICK
E2	FIBER CEMENT HORIZONTAL LAP SIDING
E3	ROWLOCK BRICK WATERTABLE
E4	FIBER CEMENT SILL
E5	FIBER CEMENT TRIM
E6	HVAC UNIT TO BE SCREENED BY EVERGREEN SHRUBS, REFER TO LANDSCAPE
E7	ROUND METAL DOWNSPOUT TO MATCH STANDING SEAM METAL ROOF
E8	FIBERGLASS WINDOW
E9	PIPE BOLLARD
E10	GRAY APPARATUS BAY DOORS WITH CLEAR GLAZING
E11	METAL LOUVER
E12	BLACK ARCHITECTURAL LIGHTING
E13	STANDING SEAM METAL ROOF
E14	BLACK EGRESS LIGHTING
E15	HALF ROUND GUTTERS TO MATCH STANDING SEAM METAL ROOF
E16	SNOW GUARD TO MATCH STANDING SEAM METAL ROOF
E17	FIBER CEMENT-WRAPPED COLUMNS



**OVERHEAD AND BI-FOLD TYPES**



**WINDOW AND LOUVER TYPES**



4020 Aspen Grove Dr.  
Suite 400  
Franklin, Tennessee  
615.377.9773

8131 Lakewood Main St.  
Suite 202  
Lakewood Ranch, Florida  
941.907.9711

www.TMPartners.com

**CITY OF FRANKLIN HISTORIC ZONING COMMISSION - NOT FOR CONSTRUCTION**

**WILLIAMSON COUNTY FIRE AND RESCUE**

EMS AT FFUMC

ALDERSGATE WAY  
FRANKLIN, TN 37069

City of Franklin Project No. 8248

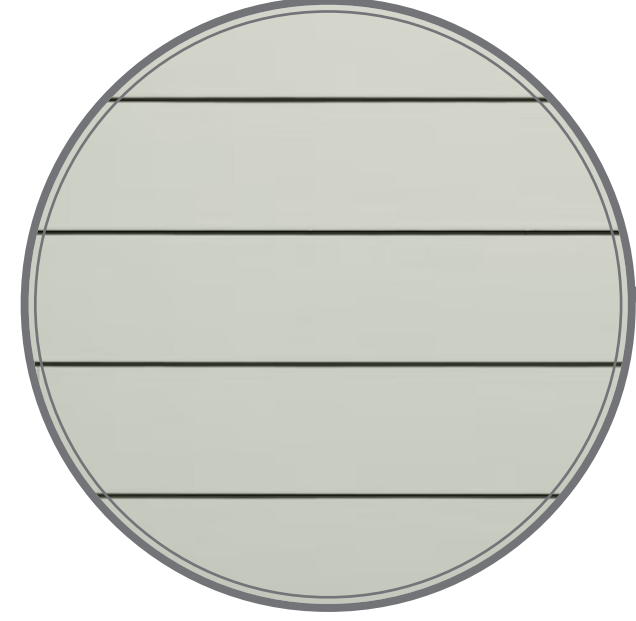
**REVISIONS**


DR. BY	LD
CK. BY	LF, JE
PROJ.	A08221
DATE	04/15/26

**EXTERIOR ELEVATIONS**

**A000**

FIBER CEMENT PLANK  
LAP SIDING  
5" EXPOSURE WIDTH



STANDING SEAM  
METAL ROOF



HALF ROUND  
GUTTER PROFILE  
DANIEL MCMAHAN HOUSE



INSIDE CORNER FIBER  
CEMENT TRIM  
1" X 1"



FIBER CEMENT  
WINDOW TRIM  
1" X 3.5"



APPARATUS BAY DOOR  
FIBER CEMENT TRIM  
1" X 11.25" HEAD TRIM, 1" X 5.5" JAMB TRIM



OUTSIDE CORNER  
FIBER CEMENT TRIM  
1" X 3.5"



ENTRY DOOR FIBER  
CEMENT BRACKET  
PROFILE



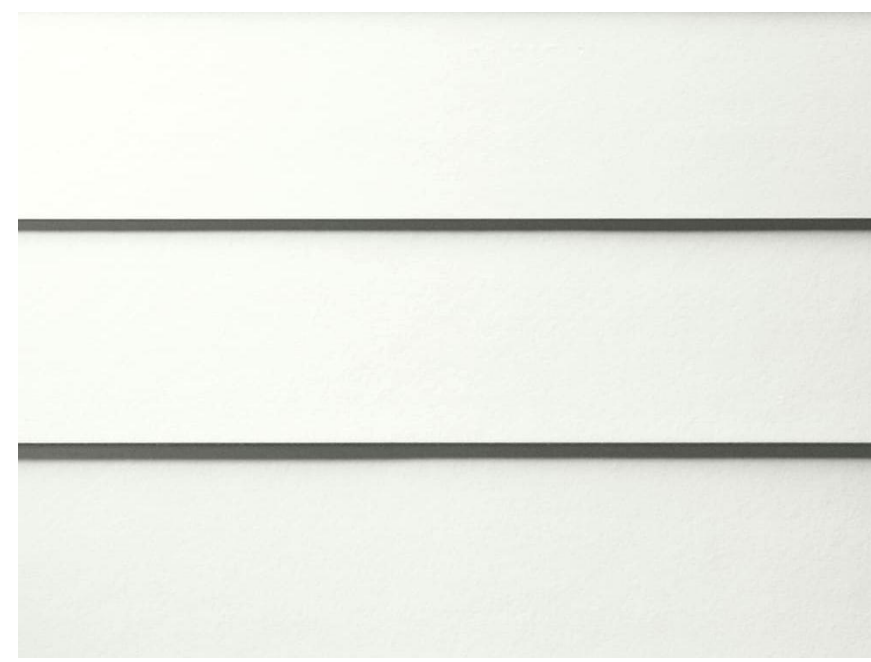
ENTRY DOOR FIBER  
CEMENT TRIM  
1" X 3.5"



FIBER CEMENT  
WINDOW SILL PROFILE  
DANIEL MCMAHAN HOUSE



DOWNSPOUT  
PROFILE



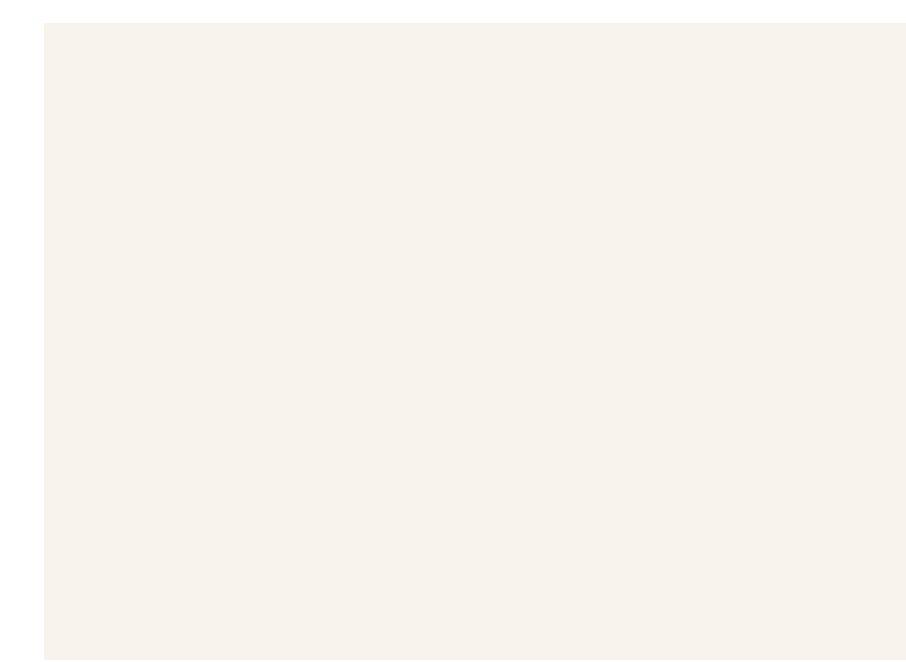
**WHITE/CREAM FIBER  
CEMENT PLANK LAP SIDING**  
JAMESHARDIE  
SMOOTH



**BRICK**  
TRIANGLE BRICK  
EVELYN BAY



**STANDING SEAM METAL  
ROOF**  
PAC-CLAD SNAP-CLAD  
MUSKET GRAY



**BRICK MORTAR**  
ARGOS  
WHITE / BROWN SAND



**EXTERIOR DOORS**  
SHERWIN WILLIAMS  
GRAY



**FIBERGLASS WINDOWS**  
PELLA IMPERVIA  
MORNING SKY GREY

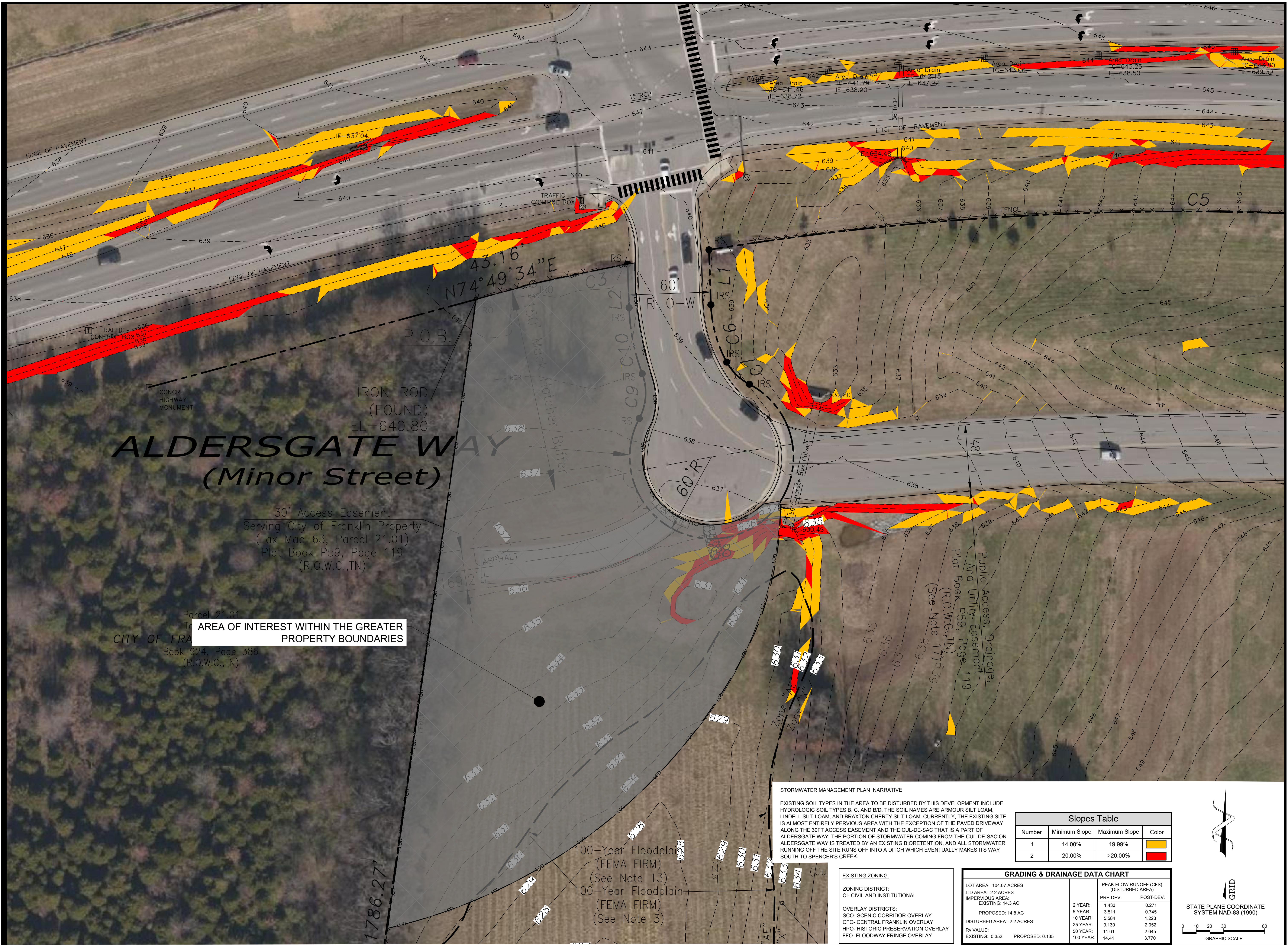
**NOTE: ALL MATERIAL LOCATIONS ARE NOTED ON SHEET A0000 – EXTERIOR ELEVATIONS**



**EMS AT FFUMC**  
**CITY OF FRANKLIN HISTORIC ZONING COMMISSION SUBMITTAL**  
EXTERIOR MATERIALS

APRIL 24, 2026





# ALDERSGATE WAY (Minor Street)

30' Access Easement  
Serving City of Franklin Property  
(Tax Map 63, Parcel 21.01)  
Plat Book P59, Page 119  
(R.O.W.C., TN)

Parcel 21.01  
CITY OF FRANKLIN  
Book 924, Page 386  
(R.O.W.C., TN)

AREA OF INTEREST WITHIN THE GREATER  
PROPERTY BOUNDARIES

### STORMWATER MANAGEMENT PLAN NARRATIVE

EXISTING SOIL TYPES IN THE AREA TO BE DISTURBED BY THIS DEVELOPMENT INCLUDE HYDROLOGIC SOIL TYPES B, C, AND BID. THE SOIL NAMES ARE ARMOUR SILT LOAM, LINDELL SILT LOAM, AND BRAXTON CHERTY SILT LOAM. CURRENTLY, THE EXISTING SITE IS ALMOST ENTIRELY PERVIOUS AREA WITH THE EXCEPTION OF THE PAVED DRIVEWAY ALONG THE 30FT ACCESS EASEMENT AND THE CUL-DE-SAC THAT IS A PART OF ALDERSGATE WAY. THE PORTION OF STORMWATER COMING FROM THE CUL-DE-SAC ON ALDERSGATE WAY IS TREATED BY AN EXISTING BIOTRETENTION, AND ALL STORMWATER RUNNING OFF THE SITE RUNS OFF INTO A DITCH WHICH EVENTUALLY MAKES ITS WAY SOUTH TO SPENCER'S CREEK.

Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	14.00%	19.99%	Yellow
2	20.00%	>20.00%	Red

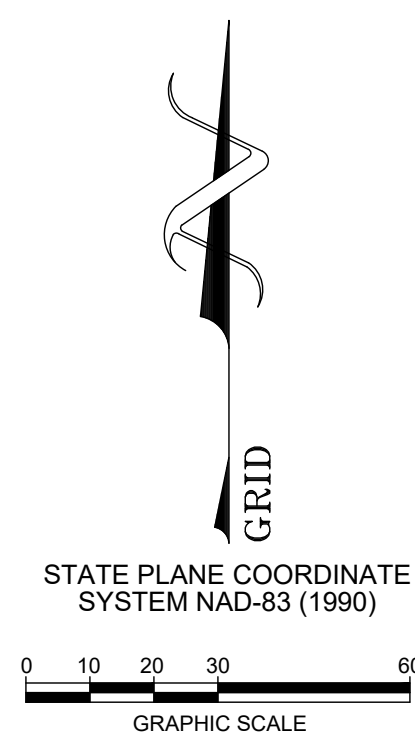
### EXISTING ZONING:

ZONING DISTRICT:  
CI- CIVIL AND INSTITUTIONAL

OVERLAY DISTRICTS:  
SCO- SCENIC CORRIDOR OVERLAY  
CFO- CENTRAL FRANKLIN OVERLAY  
HPO- HISTORIC PRESERVATION OVERLAY  
FFO- FLOODWAY FRINGE OVERLAY

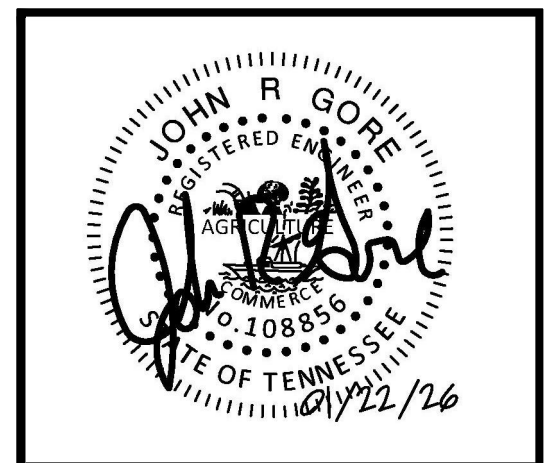
### GRADING & DRAINAGE DATA CHART

LOT AREA: 104.07 ACRES	PEAK FLOW RUNOFF (CFS) (DISTURBED AREA)
LID AREA: 2.2 ACRES	PRE-DEV. POST-DEV.
IMPERVIOUS AREA EXISTING: 14.3 AC	2 YEAR: 1.433 0.271
PROPOSED: 14.8 AC	5 YEAR: 3.511 0.745
DISTURBED AREA: 2.2 ACRES	10 YEAR: 5.584 1.223
Rv VALUE:	25 YEAR: 9.130 2.052
EXISTING: 0.352	50 YEAR: 11.61 2.645
PROPOSED: 0.135	100 YEAR: 14.41 3.770



**TMPartners, PLLC**  
Architecture Interiors Planning

211 Franklin Road  
Suite 200  
Brentwood, TN 37027-5593  
615.377.9773 Office  
615.370.4147 Fax  
www.TMPartners.com



**WILLIAMSON COUNTY FIRE AND RESCUE  
EMS AT FFUMC**

110 ALDERSGATE WAY  
FRANKLIN, TN 37069

COF no. 8248  
PUD  
DEVELOPMENT  
PLAN  
RESUBMITTAL  
08-03-2023

REVISIONS	

DR. BY	AUTHOR
CK. BY	CHECKER
PROJ. NO.	A08221
DATE	08/03/2023

**ENLARGED  
EXISTING  
CONDITIONS**

**C1.10**

EMENT

# ALDERSGATE WAY (or Street)

30' Access Easement  
ing City of Franklin Property  
x Map 63, Parcel 21.01)  
at Book P59, Page 119  
(R.O.W.C.,TN)

ESSEE

IRON ROD  
(FOUND)  
EL=640.80

P.O.B.

43.16  
N74°49'34"E

150' Mack Hatcher Buffer

100-Year Floodplain  
(FEMA FIRM)

Existing Contours  
per Survey (By Others)  
(Outside Limits of Disturbance/C

TRAVERSE NAIL

1786.27'

629



### SITE KEYNOTES:

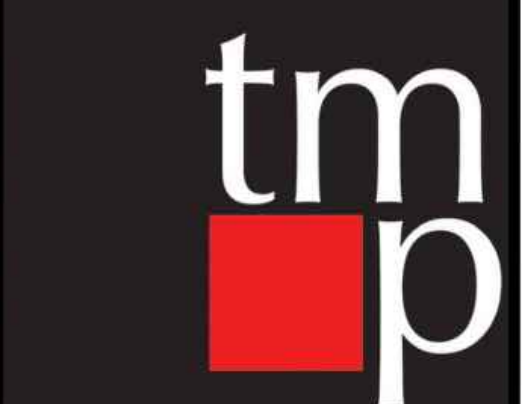
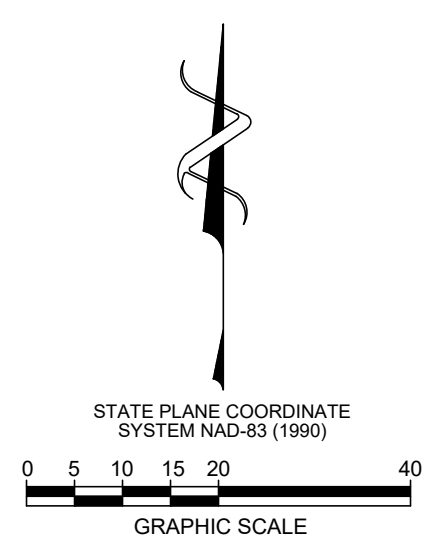
- 1 HEAVY DUTY CONCRETE PAVEMENT
  - 2 LIGHT DUTY ASPHALT PAVEMENT
  - 3 CONCRETE POST CURB
  - 4 SITE SIGN
  - 5 CONCRETE SIDEWALK
  - 6 CONCRETE PAVEMENT
  - 7 ACCESSIBLE SIDEWALK RAMP
  - 8 ACCESSIBLE PARKING SPACE, SIGNAGE AND CONCRETE WHEEL STOP
  - 9 CONCRETE RETAINING WALL, DETAIL BY OTHERS
  - # INDICATES NUMBER OF PARKING SPACES PER BAY
- SEE SHEET C\_\_\_ FOR DETAILS UNLESS OTHERWISE NOTED

### SITE DATA TABLE

<b>PROPERTY INFORMATION:</b>	110 ALDERSGATE WAY WILLIAMSON COUNTY, TN 37069
<b>PARCEL I.D.</b>	TAX MAP 63, PARCEL 21.01
<b>ZONING</b>	CI
<b>PROPOSED USE</b>	ESSENTIAL SERVICES
<b>TOTAL PARCEL AREA</b>	104.07 ± ACRES
<b>TOTAL DISTURBED AREA</b>	1.37 ACRES
<b>TOTAL BUILDING AREA</b>	6,180 SF / SINGLE STORY
<b>BUILDING HEIGHT</b>	35.33 FT
<b>SETBACKS</b>	150' FRONT/ 25' REAR/25' SIDE
<b>PROPOSED PARKING:</b>	MINIMUM PARKING REQUIREMENTS
*VARIABLE*	
<b>PARKING PROVIDED:</b>	
RES. SPACES:	8
ADA SPACES:	1
TOTAL PARKING PROVIDED:	9 SPACES
<b>FEMA DATA FOR PROJECT LOCATION</b>	
THE SUBJECT PROPERTY DOES NOT LIE WITHIN SPECIAL FLOOD HAZARD AREA AS IDENTIFIED ON MAP NUMBERS 47119C0180E AND 47119C0065E OF THE FLOOD INSURANCE STUDY FOR SPRING HILL & MAURY COUNTY, TENNESSEE, DATED APRIL 16, 2007. DATUM IS NAVD 1988.	

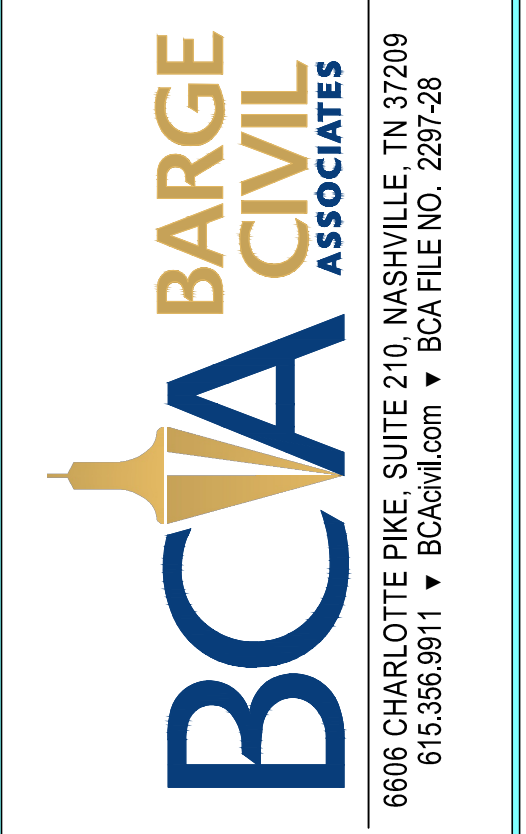
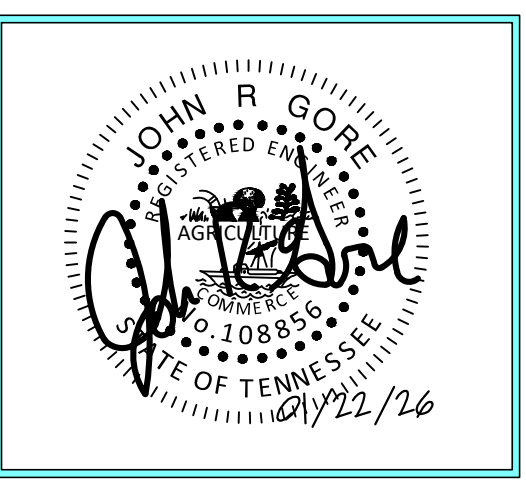
### GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY(S).
3. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. OBTAIN APPROVAL FROM ENGINEER PRIOR TO ANY DEVIATIONS FROM INTENDED GRADES ON PLANS. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
5. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH, UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (4,000 P.S.I.), UNLESS OTHERWISE NOTED.
6. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT, CURB AND GUTTER, AND CONCRETE SIDEWALKS TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
7. DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
9. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
10. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
11. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
12. CONTRACTOR SHALL SAW CUT ANY SIDEWALKS, CURBS, GUTTERS, DRIVEWAYS, OR PAVED STREETS FOR UTILITY CROSSINGS, AND REPLACE WITH SAME SECTION AND MATERIALS AS EXISTING.
13. NO TREES OR VEGETATION SHALL BE DISTURBED WITHOUT OWNERS APPROVAL.
14. CONTRACTOR SHALL HIGH-PRESSURE WASH PARKING LOT, CONCRETE PAVEMENT, AND SIDEWALKS UPON COMPLETION OF CONSTRUCTION AS NEEDED.
15. CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CASSONS, WALKS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT / ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.
16. NO CONSTRUCTION OR STORAGE OF SUPPLIES AND EQUIPMENT SHALL BE PERMITTED OUTSIDE SILT FENCE.
17. ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) IN EFFECT AT THE TIME IN WHICH THE CONSTRUCTION ACTIVITIES ARE PERFORMED.
18. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.



TMPartners, PLLC  
Architecture Interiors Planning

211 Franklin Road  
Suite 200  
Brentwood, TN 37027-5593  
615.377.9773 Office  
615.370.4147 Fax  
www.TMPartners.com



WILLIAMSON COUNTY FIRE AND RESCUE  
EMS AT FFUMC  
ALDERSGATE WAY  
FRANKLIN, TN 37069

## SITE PLAN

REVISIONS	

DR. BY	AUTHOR
CK. BY	CHECKER
PROJ. NO.	A08221
DATE	

C1.0

## Property Description

This property is 104 acres, bounded by Mack Hatcher Parkway to the north, vacant land to the east and west and Spencer Creek to the south. There is a smaller creek, Berry's Chapel Creek which bisects the site running north to south.

The address of this property is 110 ALDERSGATE WAY, WILLIAMSON  
COUNTY, TN 37069  
PARCEL(S): TAX MAP 63, PARCEL 21.01

The eastern half of this property contains The First Franklin United Methodist Church and associated parking. The western half of the site is mostly undeveloped with a small metal barn and gravel driveway. The new Williamson County Fire and Rescue EMS project is proposed on 1.75 acres at the northwest corner of the site. Site access is proposed off of the cul-de-sac at Aldersgate Way which runs south from Mack Hatcher Parkway.

**OWNER AFFIDAVIT**  
**City of Franklin, Tennessee**

We/I Ronald Evan Styers, Trustee Chairperson  
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

Tax Map 63, Parcel 21.01

(Property Parcel/Tax ID Number)

and located at:

120 Aldersgate Way

(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

John Gore ;

(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

Ronald Evan Styers  
Signature

120 Aldersgate Way  
Property Owner Mailing Address

Franklin TN 37069  
City, State & Zip

Subscribed and sworn to before me this

22<sup>nd</sup> day of June, 2023.

Deborah Van Solingen  
Notary Public

My Commission Expires: May 3<sup>rd</sup> 2027



My Commission Exp. May 3, 2027



LOOKING EAST



LOOKING WEST



LOOKING NORTH EAST



LOOKING EAST

LOOKING SOUTH EAST



LOOKING NORTH



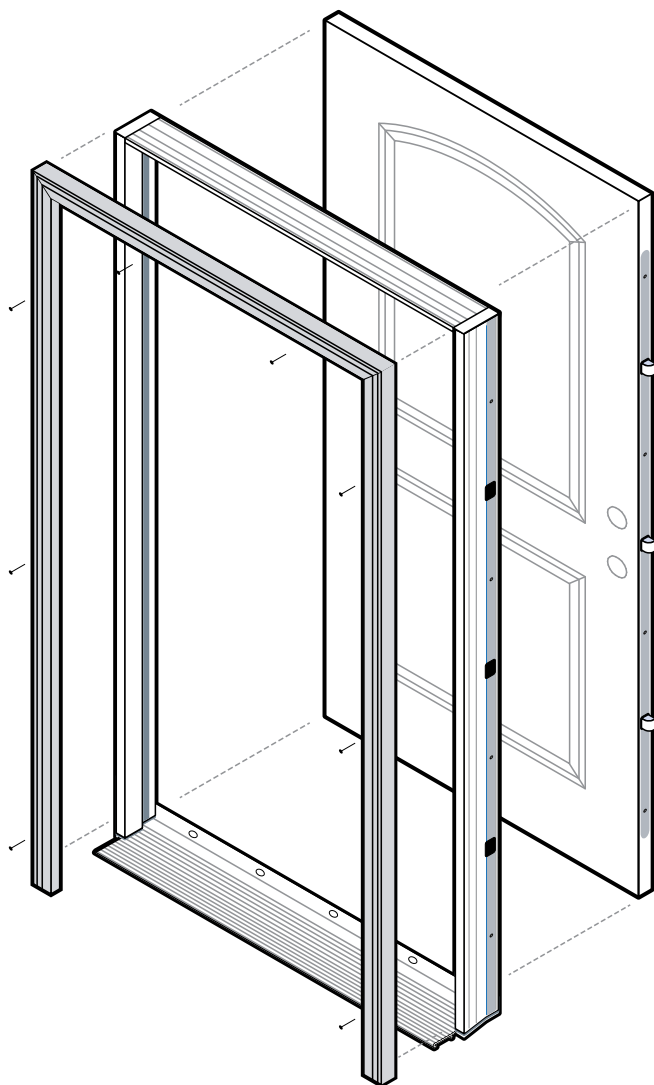
LOOKING EAST

# Pella® Entry Doors



#1 preferred entry door brand by homeowners.\*

A curated collection of fiberglass and steel entry doors delivering dependable performance and inspired designs.



Rendering shown with all available options.

- **Whole home solution**  
Trust Pella to be your whole project solution with our complete offering of windows, patio doors and entry doors. Support is available where and when you need it with trusted national, regional and local partners in sales and installation.
- **Innovative security sensors**  
Our integrated security sensors are factory-installed and integrated directly into the entry door system. Preserving the beauty and warranty of a Pella entry door while increasing peace of mind, they can be used with the free Pella Insynctive® app and integrate with many home security systems.
- **Premium hardware**  
Pella has partnered with Baldwin®, the #1 premium hardware brand to create three stunning collections to complement your project's style, architecture and coordinating window hardware.
- **Variety of panel materials**  
Available in fiberglass and steel, our collection of entry doors can meet the needs of your design vision, while providing exceptional performance and energy efficiency.
- **Rot-resistant frame system**  
Pella's complete panel and frame system for fiberglass and steel entry doors is made of a rigid closed cell poly-fiber material and is engineered to be exceptionally energy efficient. It does not absorb moisture and is rot resistant, reducing potential callbacks.
- **Energy-efficient panels**  
Our fiberglass and steel entry doors feature solid polyurethane foam-filled panels to increase energy efficiency and ensure years of exceptional performance.
- **Desired, on-trend colors**  
Select from a curated color collection, created in collaboration with the team at Sherwin-Williams DesignHouse for Performance Coatings. They are designed to complement Pella windows and patio doors and coordinate with other exterior finishes, including siding, roofing, stone and shingles.
- **Most popular styles**  
With the most popular panel styles, we've made the selection process for your next project faster and easier. With a panel offering that fits every home style, you can help fulfill your customer's desired aesthetic.
- **Available impact options**  
Offering panel and glass options for impact-certification, Pella's fiberglass and steel panels and frame system allow for code compliance. See performance details at [PellaADM.com](http://PellaADM.com) for more information.



Pella® entry doors are backed by some of the strongest warranties in the business.<sup>2</sup>

Pella entry door fiberglass systems with composite exterior frames are backed by the Pella Limited Lifetime Warranty. The Pella 20/10 Limited Warranty is the standard warranty for all steel and wood entry doors from Pella.

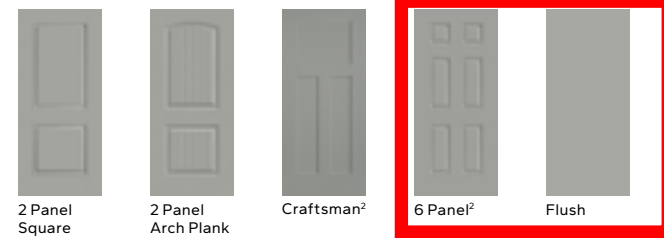
\* Study of homeowner perceptions of leading national brands. Study commissioned by Pella, 2019.

## Product Specifications

Entry Door Styles	Min. Width	Min. Height	Max. Width <sup>1</sup>	Max. Height	Performance Values <sup>1</sup>	
					U-Factor	SHGC
Flush Glazed Full Light <sup>2</sup>	30"	80"	36"	96"	0.25	0.16
Full Light <sup>2</sup>	30"	80"	36"	96"	0.25	0.16
3/4 Light <sup>2</sup>	32"	80"	36"	96"	0.25	0.21
3/4 Deluxe Oval Light <sup>2</sup>	32"	80"	36"	80"	0.24	0.15
1/2 Light 1 Panel Plank	32"	80"	36"	96"	0.23	0.16
Craftsman Light <sup>2</sup>	32"	80"	36"	96"	0.19	0.09
Twin Colonial Light	32"	80"	36"	80"	0.19	0.09
2 Panel Square	32"	80"	36"	96"	0.15	0.01
2 Panel Arch Plank	32"	80"	36"	96"	0.15	0.01
Craftsman <sup>2</sup>	32"	80"	36"	96"	0.15	0.01
6 Panel <sup>2</sup>	30"	80"	36"	96"	0.15	0.01
Flush	30"	80"	36"	96"	0.15	0.01

## Panel Styles

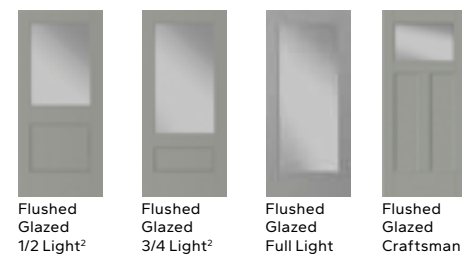
### Solid



### Glazed



### Flush Glazed

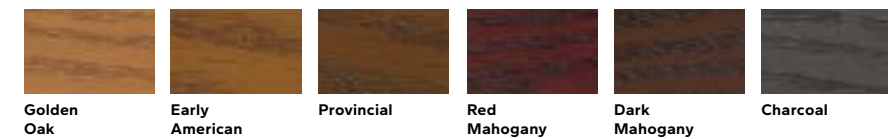


## Colors

### Finishes

Find the color that coordinates best with your project, from modern to traditional styles, across the country. Our curated collection of on-trend colors was created in collaboration with the team at Sherwin-Williams DesignHouse for Performance Coatings.

### Prefinished Stains



### Painted Fiberglass or Steel



## Glass

### Glass

Low-E insulating glass is available on a broad range of glazed entry doors. It provides thermal protection for exceptional energy efficiency, insulating from both heat and cold – making it a great choice for all climates. Decorative and impact-resistant glass options are available.

#### Low-E Glass

Energy-saving Low-E insulating glass is a simple, elegant option that helps protect flooring and furniture from fade damage.



Low-E Glass

#### Low-E Obscure Glass

An elegant way to add privacy, Pella's obscure glass patterns provide unique design simplicity.



Chord Double Water Pear Satin Etch Narrow Reed

## Added Peace of Mind

### Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella Insynctive® mobile app and are compatible with major security panel systems.\* For more information, go to [connectpella.com](http://connectpella.com).

<sup>1</sup> Values shown are for a single door. See your Pella representative for more information.

<sup>2</sup> Availability may be limited. Please contact your local Pella representative for more information.

<sup>3</sup> See written limited warranties for complete details, including exceptions and limitations, at [pella.com/warranty](http://pella.com/warranty) or contact Pella Customer Service at 877-473-5527.

\* Requires the Pella Insynctive App on a smart device, an Insynctive Bridge and a wireless home internet router with internet connection.

# Entry Door Hardware

## Entry Door Hardware

Pella offers four stunning collections to complement your project's style, architecture and coordinating window hardware. Classic, modern and rustic collections created in partnership with Baldwin® the #1 premium hardware brand.

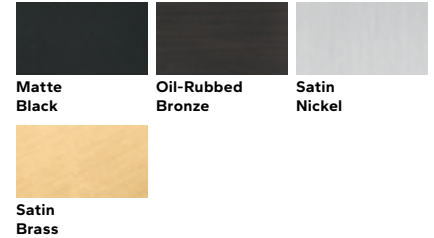
### Classic Hardware Collection

BALDWIN

Choose timeless pieces from the Classic Collection for a look that will never go out of style.



Finishes:



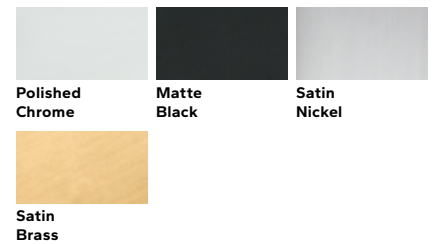
### Modern Hardware Collection

BALDWIN

Achieve the ultimate contemporary look with the sleek finishes of Modern hardware.



Finishes:



### Rustic Hardware Collection

BALDWIN

Stand out with bold looks from the Rustic Collection, and create an utterly unique aesthetic.



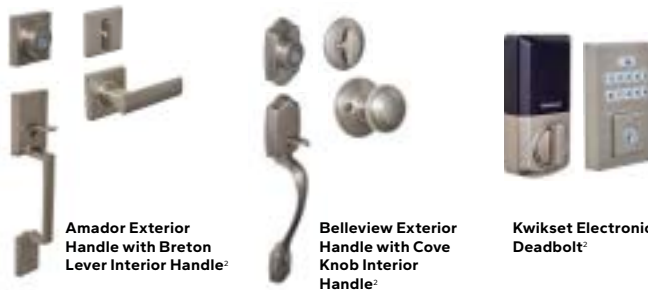
Finishes:



### Essential Hardware Collection

BALDWIN

Elevate your style and transform your home with an elegant selection of Essential hardware.



Finishes:



<sup>1</sup> Availability by product style and line may vary. See your local Pella sales representative for details.

<sup>2</sup> Available Summer 2023

# SNAP-CLAD PANELS

Snap-Clad panels feature architectural aesthetics as well as structural performance. Snap-Clad panels, produced in continuous lengths, are leveled to provide superior flatness and feature an optional factory-applied sealant bead for improved weather resistance. Maximum panel length varies by facility and minimum panel length is 4'. Consult factory for longer lengths.

Snap-Clad panels feature a 1-3/4" leg height and a continuous interlock for improved structural performance and wind resistance. A concealed-fastener clip system allows for thermal expansion/contraction while providing extraordinary hold-down strength. Two clips are available: a standard clip for most mansard and fascia applications, and a high-performance clip for roofing applications and UL 90-rated assemblies.

## TRIM

All flashing and trim shall be fabricated by manufacturer or qualified fabricator. Flashing shall be PAC-CLAD aluminum (.032 - .063 gauge as specified) or PAC-CLAD steel (24 gauge or 22 gauge as specified). A 35-year non-prorated finish warranty can be supplied covering finish performance. Minimum bending radius is 2T; consult rep for details. Vinyl masking is recommended on all fabrication applications where extra handling is expected. NOTE: The strippable film must be removed immediately after installation.

## INSTALLATION

Snap-Clad panels are intended for use in roofing, mansard and fascia applications. Substrates may include 5/8" (min.) plywood, nailboard insulation or equal with an underlayment of ice and water shield applied horizontally from eave to ridge. Other substrates may include metal decking or rigid insulation in conjunction with bearing plates. A minimum 2:12 pitch is recommended in most applications. Contact Petersen for assistance with details on projects requiring lower slopes. For coastal applications, aluminum panels along with stainless steel clips must be used for warranty. Consult a local architect/engineer for compliance with local codes and conditions.

## OIL CANNING

Jobsite factors such as temperature variation, unlevel substrate and/or improper installation may promote oil canning. Oil canning does not affect panel finish or structural integrity and therefore is not cause for rejection.

### PRODUCT FEATURES

- ▶ Architectural/structural panel
- ▶ Factory-applied sealant available
- ▶ Continuous interlock
- ▶ Labor-saving one-piece design
- ▶ Pencil ribs upon request
- ▶ Striations upon request
- ▶ 35-year non-prorated finish warranty
- ▶ Maximum factory-produced panel length varies by facility. Consult rep for details.
- ▶ Weathertightness warranty available

### MATERIAL

- ▶ 24 gauge steel
- ▶ 22 gauge steel
- ▶ Panels available in Galvalume Plus

▶ .032 aluminum

▶ .040 aluminum

### UL CLASSIFICATION

- ▶ UL-580 Class 90 wind uplift
- ▶ UL-1897 wind uplift
- ▶ UL-790 Class A fire rated
- ▶ UL-263 fire resistance rated
- ▶ UL-2218 impact resistance rated
- ▶ UL-90 rated aluminum panel up to 16" O.C.
- ▶ UL-90 rated steel panel up to 18" O.C.

### ASTM TESTS

- ▶ ASTM E1592 tested
- ▶ ASTM E283/1680 tested
- ▶ ASTM E331/1646 tested

### FLORIDA BUILDING & MIAMI-DADE PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Snap-Clad.

Destin Commons, Destin, FL  
 Installing contractor: Roof Specialties  
 Architect: JPR Architects  
 Distributor: CRS - Commercial Roofing Specialties  
 Photo: hortonphotoinc.com  
 Profile: Snap-Clad  
 Colors: Arcadia Green, Slate Gray, Terra Cotta



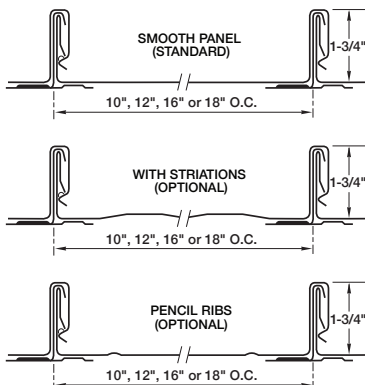
**SNAP-CLAD**

**MATERIALS**

.032 aluminum      24 gauge steel  
 .040 aluminum      22 gauge steel

**SPECS**

10", 12", 16" or 18" O.C.    1-3/4" High



NOTE: Oil canning is not a cause for rejection.



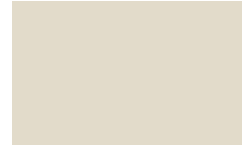
Las Vegas Ballpark, Las Vegas  
 Contractor: Southwest Specialty Contractors  
 Architect: HOK  
 General contractors: Penta Building Group; AECOM Hunt  
 Owner: Howard Hughes Corp.  
 Photo: Alan Blakely  
 Profile: Snap-Clad  
 Color: Custom Chocolate Chip



**PAC-CLAD®**

P E T E R S E N

A **CARLISLE** COMPANY



▲\$ SANDSTONE



▲\$ SIERRA TAN



▲\$ DARK BRONZE



▲\$ BURNISHED SLATE



\$ MIDNIGHT BRONZE



▲\$ MANSARD BROWN



▲\$ CHARCOAL



▲\$ GRAPHITE



✘\$ ONYX (fka Matte Black)



\$ TRADITIONAL BLACK



▲\$ CARDINAL RED



▲✘\$ MILITARY BLUE



\$ AWARD BLUE



▲\$ HEMLOCK GREEN



\$ FOREST GREEN



▲✘\$ PATINA GREEN



✘\$ HARTFORD GREEN



\$ GALVALUME PLUS

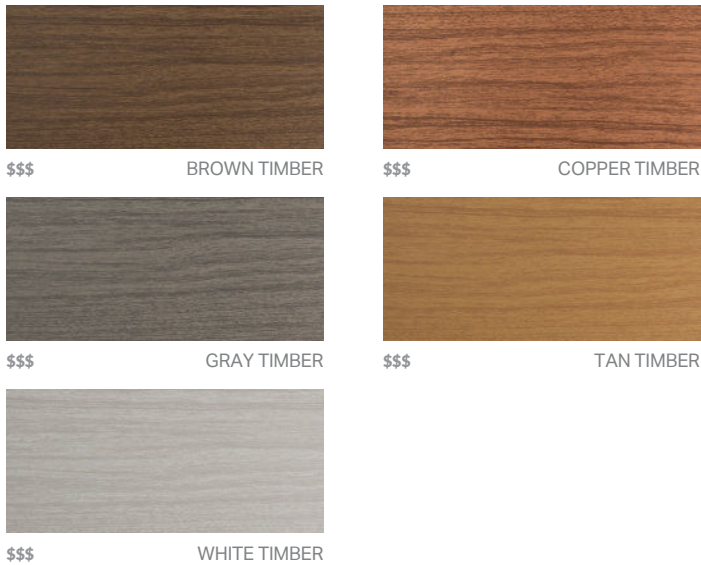
# Color Guide

# Premium Colors



# Timber Series Wood Grain

Available in 24 gauge steel and .032 aluminum



70% polyvinylidene fluoride (PVDF) pre-finished steel and aluminum for all architectural cladding applications

● Metallic Colors    \$ Pricing    ▲ Cool Colors    ✕ Extended Lead Time

See back for color performance and availability chart

# Standard Colors



IL: 800 PAC CLAD    TX: 800 441 8661    MD: 800 344 1400  
 AZ: 833 750 1935    GA: 800 272 4482    WA: 833 750 1935

# Performance and Availability

STANDARD COLORS	REFLECTIVITY	EMISSIVITY	3 YEAR EXPOSURE	SRI	STEEL			ALUMINUM			20-IN. COIL	
					24 GA.	22 GA.	.032	.040	.050	.063	24 GA.	.032
AWARD BLUE †	0.25	0.86	0.23	24	✓		✓					
BLACK (FKA BLACK ALUMINUM)	0.05	0.90	0.04	0	✓	✓	✓	✓	✓	✓	✓	✓
BONE WHITE	0.70	0.86	0.69	85	✓	✓	✓	✓	✓	✓	✓	✓
BURNISHED SLATE	0.32	0.86	0.31	33	✓						✓	
CARDINAL RED †	0.44	0.86	0.44	49	✓		✓				✓	✓
CHARCOAL	0.30	0.87	0.30	31	✓		✓	✓	✓		✓	✓
CITYSCAPE	0.05	0.87	0.50	57	✓	✓	✓	✓	✓		✓	✓
CLASSIC BRONZE * NEW	0.27	0.87	N/A	27	✓						✓	
COLONIAL RED	0.34	0.87	0.31	36	✓		✓	✓	✓		✓	✓
DARK BRONZE	0.27	0.86	0.29	26	✓	✓	✓	✓	✓	✓	✓	✓
FOREST GREEN	0.10	0.88	0.10	5	✓		✓	✓			✓	✓
GRANITE *	0.32	0.86	0.33	33	✓	✓	✓	✓	✓			✓
GRAPHITE	0.25	0.86	0.28	24	✓						✓	
HEMLOCK GREEN	0.31	0.87	0.30	32	✓		✓				✓	
INKWELL * NEW	0.27	0.86	N/A	26	✓						✓	
INTERSTATE BLUE	0.16	0.87	0.15	12	✓		✓		✓		✓	✓
IRON ORE NEW	0.27	0.87	N/A	27	✓		✓	✓	✓		✓	✓
MANSARD BROWN	0.31	0.87	0.31	32	✓		✓	✓	✓		✓	✓
MEDIUM BRONZE	0.30	0.88	0.29	31	✓	✓	✓	✓	✓	✓	✓	✓
MIDNIGHT BRONZE	0.06	0.90	0.06	1	✓			✓			✓	
MUSKET GRAY	0.32	0.87	0.31	33	✓	✓	✓		✓		✓	✓
PACIFIC BLUE (fka SLATE BLUE)	0.28	0.87	0.27	28	✓		✓				✓	✓
SANDSTONE	0.48	0.87	0.48	55	✓	✓	✓	✓	✓	✓		
SIERRA TAN	0.38	0.85	0.31	40	✓	✓	✓	✓	✓		✓	✓
SLATE GRAY	0.41	0.87	0.37	45	✓	✓	✓	✓	✓		✓	✓
STONE WHITE	0.69	0.86	0.67	84	✓	✓	✓	✓	✓	✓		
TERRA COTTA	0.35	0.87	0.33	37	✓		✓	✓		✓		✓
TRADITIONAL BLACK * NEW	0.28	0.87	N/A	28	✓		✓				✓	✓
<b>EXTENDED LEAD TIME</b>												
AGED BRONZE	0.29	0.87	0.27	29	✓						✓	
ALMOND	0.63	0.85	0.55	75	✓	✓	✓	✓	✓			
ANTIQUE BRONZE NEW	0.28	0.86	N/A	27	✓		✓	✓			✓	✓
BERKSHIRE BLUE *	0.29	0.86	0.27	29	✓							
BUCKSKIN NEW	0.37	0.86	N/A	39	✓						✓	✓
BURGUNDY	0.24	0.86	0.13	22	✓						✓	
HARTFORD GREEN	0.08	0.88	0.08	3	✓			✓			✓	
MILITARY BLUE	0.31	0.87	0.30	32	✓		✓				✓	✓
ONYX (fka MATTE BLACK STEEL)	0.26	0.85	0.25	24	✓	✓					✓	
PATINA GREEN	0.33	0.86	0.32	34	✓							
WEATHERED STEEL 🏰	0.26	0.86	N/A	25	✓							
<b>PREMIUM COLORS</b>												
ANODIC CLEAR 🏰	0.53	0.81	0.31	60				✓				
CHAMPAGNE 🏰	0.40	0.78	0.49	40	✓		✓	✓	✓			✓
COPPER PENNY 🏰	0.50	0.86	0.52	57	✓		✓	✓	✓		✓	✓
SILVER 🏰	0.47	0.82	0.46	52	✓	✓	✓	✓	✓		✓	✓
SILVERSMITH 🏰	0.54	0.81	0.32	61				✓				
WEATHERED ZINC 🏰	0.24	0.83	0.46	21	✓		✓		✓		✓	✓
<b>CLEAR-COAT ACRYLIC FINISH (NON-PVDF)</b>												
GALVALUME PLUS	0.68	0.14	0.55	57	✓	✓					✓	

PAC-CLAD Premium finishes are available from stock at a moderate extra cost. PAC-CLAD Copper Penny is a Non-Weathering finish. Solar Reflectance Index calculated according to ASTM E-1980. Reflectivity and solar reflectance index (SRI) values are provided by Sherwin-Williams®.

\* Low Gloss/Low Sheen, 70% PVDF finish † 10-year finish warranty 🏰 Premium Colors

#### TECHNICAL DATA FOR 70% PVDF COATING:

- ▶ South Florida Exposure: Color (ASTM D 2244) - No more than 5ΔE Hunter units at 20 years; Chalk (ASTM D 4214) - Rating no less than 8 at 20 years; Film Integrity - 20 years.
- ▶ Accelerated Weathering (ASTM D 4587, ASTM G 154): 5000 Hours; Chalk, per ASTM D 4214, rating of 6 or better; Color, per ASTM D 2244, < 5ΔE (Hunter Units) color change.
- ▶ Chemical/Acid Pollution Resistance (ASTM D 1308): Pass

- ▶ T-Bend (ASTM D 4145): 1T - 3T with no loss of adhesion
- ▶ Humidity Resistance (ASTM D 2247): Galvalume or HDG, 100% RH, 2000 hours - No field blisters; Aluminum, 100% RH, 3000 hours - No field blisters
- ▶ Salt Spray Resistance (ASTM B 117): Aluminum: 3000 hours, creep from scribe no more than 1/16" (2mm), no field blisters. Galvalume or HDG: 2000 hours, creep from scribe no more than 1/8" (4mm), no field blisters

- ▶ Pencil hardness (ASTM D 3363): HB - 2H
- ▶ Specular Gloss (ASTM D 523) @ 60 degrees: Typical - 20 - 35
- ▶ Abrasion Resistance (ASTM D 968): 80 Liters/Mil +/- 5 Liters
- ▶ Cross Hatch Adhesion (ASTM D 3359): No loss of adhesion
- ▶ Reverse Impact (ASTM D 2794): Galvalume or HDG, 2x metal thickness inch-pounds, no loss of adhesion; Aluminum, 1.5x metal thickness inch-pounds, no loss of adhesion
- ▶ Flame Test (ASTM E 84): Class A Coating

PAC-CLAD® is a registered trademark of Petersen Aluminum Corp. The PAC-CLAD finish is 70% polyvinylidene fluoride (PVDF). Sherwin-Williams® is a trademark of SWIMC LLC. Galvalume Plus® is a registered trademark of BIEC International. 10/25



# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
 CATALOG #: \_\_\_\_\_

## FEATURES

- 4" architectural LED downlight and wall wash cylinder delivering 600 up to 3500 lm
- Five beam distributions from 0.3 to 1.2 Spacing Criteria
- Quiet reflector appearance with 50° optical cutoff
- 2700K–5000K, 80+ and 90+ CRI options
- Available in Surface, Wall, Pendant, or Cord Mount configurations
- Versatile canopy options for recessed and surface-mounted J-box applications
- Variety of dimming protocol options including 0–10V, DALI, DMX, and Lutron EcoSystem



## CONTROL TECHNOLOGY



## SPECIFICATIONS

### CONSTRUCTION

- Seamless heavy gauge aluminum cylinder body with a clean appearance
- Available in Surface (S), Wall (W), Pendant (P), or Cord (CM) mounting types
- Canopy options include Conduit Canopy (CC), Power Canopy (PC), Power Conduit Canopy (PCC), or Recessed Mount Driver (RMD), (See Dimensions section for details)
- For S or CM with CC or PCC options, and P with standard, CC or PCC canopy options, use 4" octagonal junction box (by others).
- All Wall Mount: Die cast aluminum mounting arm allows direct mounting to standard 4" octagonal or square junction box
- Pendant mount with standard canopy allows sloped ceiling up to 45°, and P with CC or PC or PCC allows sloped ceiling up to 35° (5° for RMD)
- Select from 4 standard architectural painted finishes, Brushed Aluminum, or specified custom color

### OPTICS

- Visually pleasing 50° cutoff to source and source image
- The light distribution is free of distracting bright spots or pixelation and the perimeter has a smooth transition
- Optical grade silicone lens integral to light engine
- High purity spun aluminum reflector, self-flanged
- Large selection of anodized finishes and colors
- Painted cones and flange options available

### ELECTRICAL

- Chip-on-board (COB) LED with 2 SDCM
- Multiple CCTs, 80+ or 90+ CRI
- Long LED life: L90 at 55,000 (TM-21)
- Universal voltage 120V–277V driver, 347V optional

### ELECTRICAL (CONTINUED)

- UL Class 2, inherent short circuit and overload protection
- Flicker free 0–10V dimming with 1% or <1% performance
- DALI, DMX, and Lutron EcoSystem options
- NX Lighting Controls provides options for standalone and networked functionality with wired or wireless connectivity for NX system deployments
- Lutron Athena control options also available

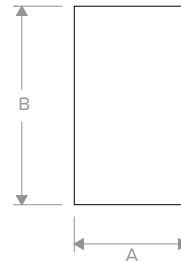
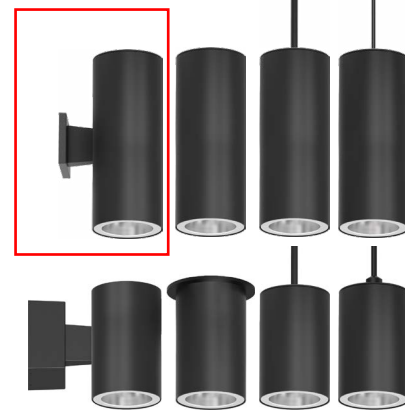
### INSTALLATION

- Light Engine/Trim assembly is mechanically secured with torsion springs for ease of installation
- A quick connect is provided for easy maintenance or upgrade
- Recessed Mount Driver (RMD) is accessible from above or below ceiling; assembly mounts with ¼-20 threaded rod (by others) and requires 6" plenum clearance
- Conduit Canopy options (CC or PCC) allow field selectable conduit entry (up to 4@ 90°) (See Dimensions section)
- Conduit Canopies utilize a patent pending mounting yoke to secure cylinder to the ceiling surface
- Cord can be cut in the field to custom length
- Standard and Custom Pendant lengths available (specify when ordering)

### CERTIFICATIONS

- cCSAus certified to UL 1598
- Cylinder configurations suitable for either damp or wet locations. (See ADDITIONAL INFORMATION section for details.)

## LITEISTRY™



Typical Dimensions and Weights			
Lumen Package	"A" Diameter Inches (mm)	"B" Height Inches (mm)	Weight lbs (kg)
06L–15L	5.6 (140)	14 (356)	19.4 (8)
20L–30L	5.6 (140)	14 (356)	19.8 (9)
35L	5.6 (140)	14 (356)	20.3 (9)

See DIMENSIONS section for complete details

### CERTIFICATIONS (CONTINUED)

- EM: Certified under UL924 standard for emergency lighting and power equipment
- EM: Emergency battery packs are California Energy Commission (CEC) Title 20 Compliant
- For -BAA Option: This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9). [See Buy American\(n\) Solutions](#)
- For -TAA Option: Product configurations meet federal procurement law requirements under the Trade Agreements Act (FAR 52.225-11). [See Buy American\(n\) Solutions](#)

### WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	600-3500
Wattage Range	8-43
Efficacy Range (LPW)	90–99*
Reported Life (Hours)	L90 / >55,000
Input Current (mA)	67-345 (120V)

\*Based on Specular, 35K, 80 CRI

# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_

TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_

CATALOG #: \_\_\_\_\_

## ORDERING GUIDE

Example: LTC-4RD-CM15WHPCC-15L35K9WD-DM1-SS-WH

CATALOG #

LTC-4RD		Aperture/Shape/Function	Cylinder Mounting	Canopy Option	Lumen Output	CCT	CRI
LTC-4RD	4" Round Downlight Cylinder		<b>S</b> Surface	Refer to chart on Page 3 for available canopy options based on driver/controls selection	<b>06L</b> 600 Lumens <sup>3</sup>	<b>27K</b> 2700K	<b>8</b> 80+ CRI
LTC-4RDS	4" Round Shallow Downlight Cylinder		<b>W</b> Wall			<b>10L</b> 1000 Lumens <sup>3</sup>	<b>30K</b> 3000K
LTC-4RW	4" Round Wall Wash Cylinder		<b>P</b> Pendant (Standard) Nominal 18" length from cylinder top to ceiling <sup>10</sup>	<i>Standard Canopy</i> <sup>3,9</sup>	<b>15L</b> 1500 Lumens <sup>3</sup>	<b>35K</b> 3500K	
LTC-4RWS	4" Round Shallow Wall Wash Cylinder		<b>P_</b> Pendant (Custom) Specify length from cylinder top to ceiling in 1 inch increments from 15 to 60 <sup>10</sup>	<b>CC</b> Conduit Canopy <sup>3,9</sup>	<b>20L</b> 2000 Lumens <sup>3</sup>	<b>40K</b> 4000K	
			<b>Cord</b> <sup>5</sup>	<b>PC</b> Power Canopy <sup>3,9</sup>	<b>25L</b> 2500 Lumens <sup>3</sup>	<b>50K</b> 5000K <sup>1</sup>	
			<b>CM</b> 6ft Clear Cord	<b>PCC</b> Power Conduit Canopy <sup>3,9</sup>	<b>30L</b> 3000 Lumens <sup>3,8</sup>		
			<b>CMBL</b> 6ft Black Cord	<b>RMD</b> Recessed Mount Driver <sup>3,9</sup>	<b>35L</b> 3500 Lumens <sup>3,8</sup>		
			<b>CMWH</b> 6ft White Cord				
			<b>CM15</b> 15ft Clear Cord				
			<b>CM15BL</b> 15ft Black Cord				
			<b>CM15WH</b> 15ft White Cord				

Distribution	Driver Options	Control Options	Voltage	Options	Reflector Finish	Reflector Color
<b>VNR</b> Very Narrow (0.3 SC/20°) <sup>12</sup>	<b>DM1</b> 0-10V Dimming to 1% <sup>3</sup>	<b>NX Lighting Controls</b> <u>Networked Wireless</u>	<i>Standard 120-277V</i>	<b>EM</b> 6W Emergency Battery Pack (CEC Title 20 Compliant) with integral test switch and indicator light, self-diagnostic feature <sup>3,13,14</sup>	<i>Finish not applicable with painted reflectors (WC or BC)</i>	<i>Standard Semi-Spec</i>
<b>NR</b> Narrow (0.4 SC/29°)	<b>DM01</b> 0-10V Dimming to <1% <sup>3</sup>	<b>NXW</b> NX Networked Wireless Radio Module NXRM2 and Bluetooth® Programming, without Sensor <sup>2,3,7</sup>	<b>34</b> 347V <sup>3,6</sup>	<b>EMC</b> Emergency Battery pack (CEC Title 20 Compliant) with canopy mounted test switch assembly, self-diagnostic feature <sup>3,13,16</sup>	<b>S</b> Specular	<b>LW</b> Light Wheat <sup>18</sup>
<b>MD</b> Medium (0.7 SC/44°)	<b>DMX</b> DMX with RDM Dimming to <0.1% <sup>3,7</sup>	<u>Networked Wired</u>			<b>SS</b> Semi-Specular	<b>PW</b> Pewter <sup>18</sup>
<b>WD</b> Wide (0.9 SC/61°)	<b>DALI</b> DALI Dimming to 1% <sup>3</sup>	<b>NXE</b> NX Wired Enabled, Dual RJ45 SmartPORTS, without Sensor <sup>2,3,7</sup>			<b>MFC</b> American Matte™	<b>WC</b> Painted Matte White Cone and Flange
<b>XW</b> Extra Wide (1.2 SC/78°)	<b>EDM</b> Lutron Hi-Lume EcoSystem Dimming to 1% <sup>3</sup>	<b>Other Lighting Controls</b> <u>Networked Wireless</u>			<b>VS</b> Softglow®	<b>BC</b> Painted Matte Black Cone and Flange
<b>WW</b> Wall Wash <sup>8,14</sup>	<b>DM00</b> Lutron Athena compatible driver option <sup>3,15</sup>	<b>AWN</b> Lutron Athena Enabled <sup>3,7,15</sup>			<b>VSS</b> SoftSheen™	

**Notes:**

- 5000K available in 80+ CRI only.
- NX requires DM1 driver option.
- For lumen outputs/configurations available, see chart on page 3.
- WT not needed for WC, BT not needed for BC.
- Cord can be cut in the field to custom length.
- 347V requires DM1 driver; not available with Controls or EM.
- Standard S, P, CM with DMX or controls options require RMD. (PC or PCC highly recommended), see Dimensions section for details.
- 30L and 35L require vented cylinder. Not available with WW.
- See Dimensions section for canopy configuration details.
- Stem length varies by canopy configuration. See Dimensions section for details.
- Canopy and metal accent color for Brushed Aluminum is Black.
- VNR available up to 30L.
- EM for use with DM1 driver option only. Not available with Controls.
- EM and EMC not available with WW.
- DM00 must be selected with AWNR Lutron Athena controls option.
- EMC available only with PC & PCC canopy option.
- For BAA and TAA options, please consult factory for lead times.
- Only available in SS Semi-Specular reflector finish.

Flange Color Options	Exterior Cylinder Color	Options
<i>Standard matches reflector color</i>	<b>BA</b> Brushed Aluminum <sup>11</sup>	<b>BAA</b> Buy American Act (FAR 52.225-9) Compliant <sup>17</sup>
<b>WT</b> Matte White Flange <sup>4</sup>	<b>BZ</b> Bronze	<b>TAA</b> Trade Agreements Act (FAR 52.225-11) Compliant <sup>17</sup>
<b>BT</b> Matte Black Flange <sup>4</sup>	<b>BL</b> Matte Black	
	<b>WH</b> Matte White	
	<b>SVR</b> Silver	
	<b>CC_</b> Custom Color (Specify RAL#, Example: CCRAL1073)	
	<b>TCC_</b> True Custom Color (Specify description, Example: TCC BABY BLUE, Paint chip must be provided to match)	

# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

## DRIVER/CONTROL OPTION AVAILABILITY

Driver and Control options listed below are available in the configurations and lumen packages as shown.

### For LTC-4RD and LTC-4RW (14" cylinder body):

Driver/Control Option		Cylinder Mounting <sup>1</sup>	Canopy Options <sup>2</sup>	06L	10L	15L	20L	25L	30L	35L
DM1	0-10V 1%	W	Standard/CC	●	●	●	●	●	▼	▼
		P/S/CM	Standard/CC	●	●	●	●	●	▼	▼
DM01	0-10V <1%	W	Standard/CC	●	●	●	●	●		
		P/S/CM	Standard/CC	●	●	●	●	●		
DALI	DALI 1%	W	Standard/CC	●	●	●	●	●		
		P/S/CM	Standard/CC	●	●	●	●	●		
DMX	DMX w/ RDM <0.1%	W	Standard/CC	●	●	●	●	●	▼	▼
		P/S/CM	PC/PCC	●	●	●	●	●	▼	▼
			RMD	●	●	●	●	●	▼	▼
EDM	Lutron Hi-Lume EcoSystem 1%	W	Standard/CC		●	●	●	●		
		S/P/CM	Standard/CC		●	●	●	●		
347V <sup>3</sup>	347 Volts (DM1 required)	W	Standard/CC	●	●	●	●	●	▼	
		P/S/CM	Standard/CC	●	●	●	●	●	▼	
NXE	NX Wired (DM1 required)	W	PC/PCC	●	●	●	●	●	▼	▼
		P/S/CM	PC/PCC/RMD	●	●	●	●	●	▼	▼
NXW	NX Wireless (DM1 required)	W	PC/PCC	●	●	●	●	●	▼	▼
		S	RMD	●	●	●	●	●	▼	▼
		P/CM	PC/PCC/RMD	●	●	●	●	●	▼	▼
DM00/AWNR	Lutron Athena 0-10V Dim to Off	W	PC/PCC	●	●	●	●	●	▼	▼
		S	RMD	●	●	●	●	●	▼	▼
		P/CM	PC/PCC/RMD	●	●	●	●	●	▼	▼
Driver/EM/EMC Option		Cylinder Mounting <sup>1</sup>	Canopy Options <sup>2</sup>	06L	10L	15L	20L	25L	30L	35L
DM1 with EM option <sup>4</sup>	0-10V 1%	W	Standard/CC	●	●	●	▼			
		P/S/CM	Standard/CC	●	●	●	▼			
DM1 with EMC option <sup>4</sup>	0-10V 1%	W	PC	●	●	●	●	●	▼	▼
		W	PCC	●	●	●	●	●	▼	▼
		P/S/CM	PC <sup>5</sup>	●	●	●	●	●	▼	▼

### For LTC-4RDS and LTC-4RWS Shallow (9" cylinder body):

Driver/Control Option		Cylinder Mounting	Canopy Options	06L	10L	15L	20L	25L
DM1	0-10V 1%	W	PC/PCC	●	●	●	●	●
		P/S/CM	PC/PCC	●	●	●	●	●
DM01	0-10V <1%	W	PC/PCC	●	●	●	●	●
		P/S/CM	PC/PCC	●	●	●	●	●
DALI	DALI 1%	W	PC/PCC	●	●	●	●	●
		P/S/CM	PC/PCC	●	●	●	●	●
DMX	DMX w/ RDM <0.1%	W	PC/PCC	●	●	●	●	●
		P/S/CM	PC/PCC	●	●	●	●	●
			RMD	●	●	●	●	●
EDM	Lutron Hi-Lume EcoSystem 1%	W	PC/PCC		●	●	●	●
		P/S/CM	PC/PCC		●	●	●	●
347V <sup>3</sup>	347 Volts (DM1 required)	W	PC/PCC	●	●	●	●	●
		P/S/CM	PC/PCC	●	●	●	●	●
NXE	NX Wired (DM1 required)	W	PC/PCC	●	●	●	●	
		P/S/CM	PC/PCC	●	●	●	●	
			RMD	●	●	●	●	
NXW	NX Wireless (DM1 required)	W	PC/PCC	●	●	●	●	
		S	RMD	●	●	●	●	
		P/CM	PC/PCC/RMD	●	●	●	●	
DM00/AWNR	Lutron Athena 0-10V Dim to Off	W	PC/PCC	●	●	●	●	
		S	RMD	●	●	●	●	
		P/CM	PC/PCC/RMD	●	●	●	●	

▼ Vented cylinder required, see line art for more details.

1 See Cylinder Mounting chart.

2 See Canopy Options chart and Dimensions section for details.

3 Not available with Controls or EM.



4 EM option not available with controls.

5 PC = PCC tall canopy with conduit openings plugged. (See DIMENSIONS section.)

Cylinder Mounting	
S	Surface Mount
W	Wall Mount
P	Pendant Mount
CM	Cord Mount

Canopy Options	
(Blank)	Standard Canopy
CC	Conduit Canopy
PC	Power Canopy
PCC	Power Conduit Canopy
RMD	Recessed Mount Driver

**NX LIGHTING CONTROLS**

Control Option Ordering Logic & Description			Control Option Functionality								Control Option Components	
			Networkable	Grouping	Scheduling	Occupancy/ Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming		
NX Wireless	NXW	NX Networked Wireless Radio Module NXRM2 and Bluetooth® Programming, without Sensor	✓	✓	✓	-	-	✓	✓	✓		NXRM2-H
NX Wired	NXE	NX Wired Dual RJ45 SmartPORTS, without Sensor	✓	✓	✓	-	-	✓	✓	✓ <sup>1</sup>		NXDSP

<sup>1</sup> Requires NXBTC, order separately.

**NX LIGHTING CONTROLS APP**



The NX Lighting Controls App is a free to use mobile application for programming both an NX Lighting Controls System or Standalone Bluetooth® Sensors. The mobile app allows you to configure devices, discover and setup wireless enabled luminaires and program your NX system settings.




Android



Apple iOS

**OTHER LIGHTING CONTROLS**

Control Option Ordering Logic & Description			Control Option Functionality								Control Option Components	
			Networkable	Grouping	Scheduling	Occupancy/ Motion	Daylight Harvesting	0-10V Dimming	On/Off Control	Bluetooth App Programming		
Other	AWNDR	The Athena wireless node is a radio frequency (RF) device that enables simple, digital control of individual light fixtures in an Athena control system. <sup>1</sup>	✓	✓	-	-	-	✓	✓	-		A-WN-D01-RF-WH

<sup>1</sup> Lutron Athena Hub required to enable Networking, Grouping and Scheduling.

# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

## PERFORMANCE DATA TABLE

Performance data provided below is for 3500K, 80 CRI with Specular Clear reflector finish/color

Lumen Package	Nominal Lumens	Distribution	Delivered Lumens	Watts	LPW
06L	600	Very Narrow	691	7.6	91
		Narrow	785	7.8	101
		Medium	726	7.8	93
		Wide	664	7.8	85
		Extra Wide	644	7.8	83
		Open Single Wall Wash	620	7.8	79
10L	1000	Very Narrow	1132	11.8	96
		Narrow	1255	12.0	105
		Medium	1160	12.0	97
		Wide	1062	12.0	89
		Extra Wide	1030	12.0	86
		Open Single Wall Wash	991	12.0	83
15L	1500	Very Narrow	1623	17.2	94
		Narrow	1795	18.6	97
		Medium	1660	18.6	89
		Wide	1519	18.6	82
		Extra Wide	1474	18.6	79
		Open Single Wall Wash	1418	18.6	76
20L	2000	Very Narrow	2032	22.4	91
		Narrow	2238	22.5	99
		Medium	2152	22.5	96
		Wide	2059	22.5	92
		Extra Wide	2028	22.5	90
		Open Single Wall Wash	1989	22.7	87
25L	2500	Very Narrow	2447	28.6	86
		Narrow	2985	27.8	107
		Medium	2760	27.8	99
		Wide	2526	27.8	91
		Extra Wide	2451	27.8	88
		Open Single Wall Wash	2357	27.8	85
30L	3000	Very Narrow	2855	35.9	80
		Narrow	3583	34.6	104
		Medium	3313	34.6	96
		Wide	3032	34.6	88
		Extra Wide	2941	34.6	85
		Open Single Wall Wash	2829	34.6	82
35L	3500	Narrow	4280	42.9	100
		Medium	3957	42.9	92
		Wide	3622	42.9	84
		Extra Wide	3514	42.9	82
		Open Single Wall Wash	3380	42.9	79

# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

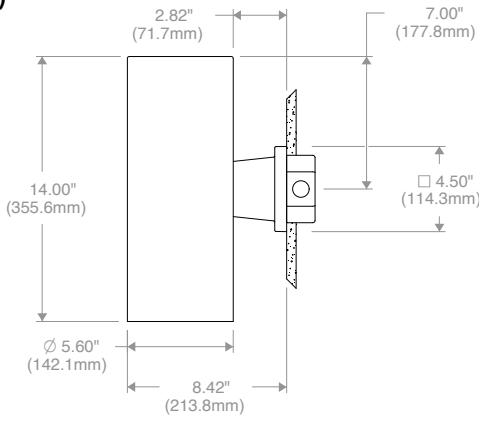
DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_

TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_

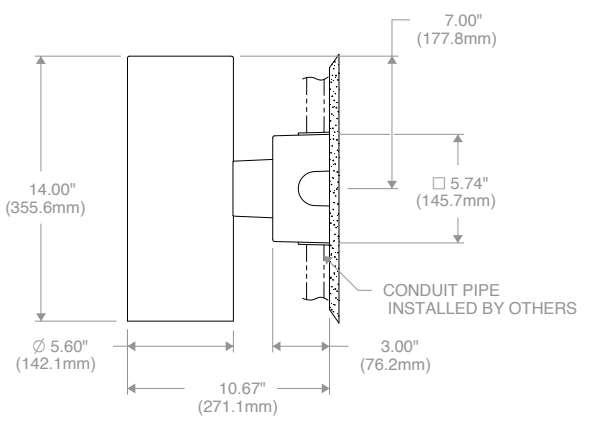
CATALOG #: \_\_\_\_\_

## DIMENSIONS

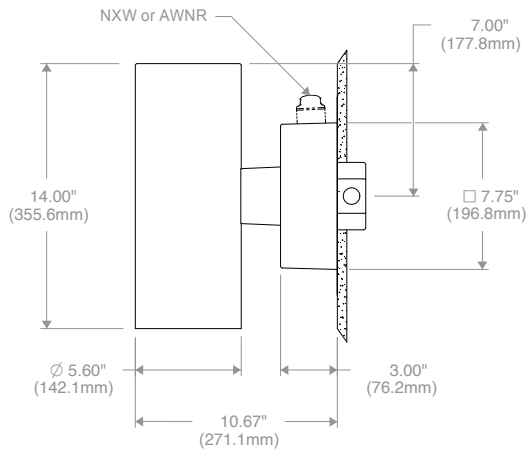
### LTC-4RD (14" CYLINDER BODY) WALL (W)



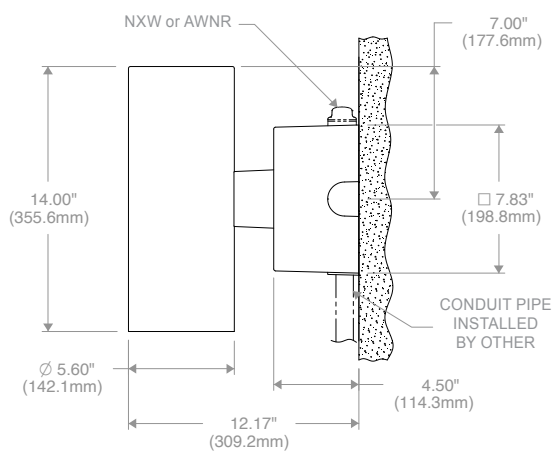
**Wall  
(Standard Canopy)  
W**



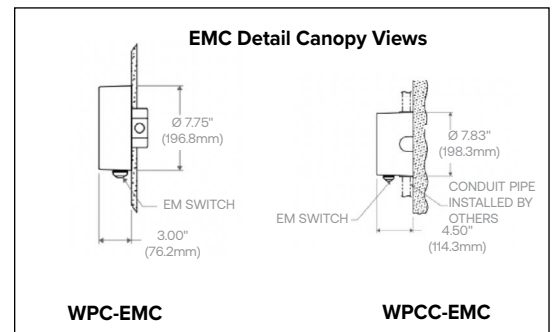
**Wall  
Conduit Canopy  
WCC**



**Wall  
Power Canopy  
WPC**



**Wall  
Power Conduit Canopy  
WPCC**



# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

## PHOTOMETRY

### LTC-4RD-P-20L35K8VNR-DM1-S-BL

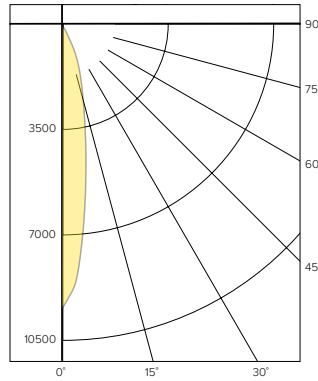
#### LUMINAIRE DATA

Test No.	R20.01331-C01
Description	2000 lm, Very Narrow, 3500K, 80 CRI
Delivered Lumens	2032
Watts	22.4W
Efficacy	91
Mounting	Pendant
Spacing Criterion	0.3
Beam Angle (FWHM)	20

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2011	99.0
0-60	2032	100.0
0-90	2032	100.0
0-180	2032	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	9388
5	7360
15	2780
25	1073
35	198
45	20
55	0
65	0
75	0
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	3489
55°	0
65°	0
75°	0
85°	0

\*Candela/Square Meter

### LTC-4RD-P-20L35K8NR-DM1-S-BL

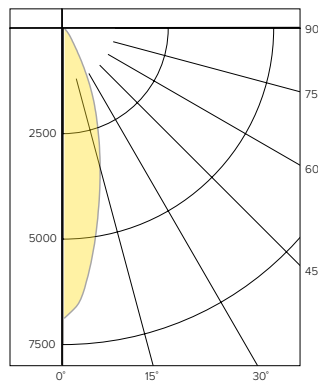
#### LUMINAIRE DATA

Test No.	R19.00532-01
Description	2000 lm, Narrow, 3500K, 80 CRI
Delivered Lumens	2238
Watts	22.5W
Efficacy	99.3
Mounting	Pendant
Spacing Criterion	0.4
Beam Angle (FWHM)	29

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2208	98.6
0-60	2237	99.9
0-90	2238	100.0
0-180	2238	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	6877
5	6035
15	3284
25	1313
35	260
45	26
55	3
65	1
75	0
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	4535
55°	645
65°	292
75°	0
85°	0

\*Candela/Square Meter

### LTC-4RD-P-20L35K8MD-DM1-S-BL

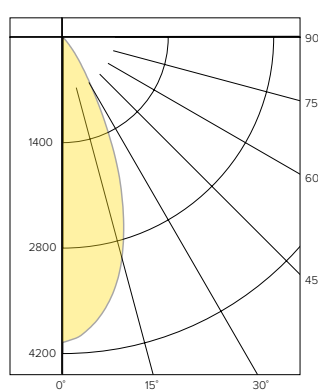
#### LUMINAIRE DATA

Test No.	R19.00533-01
Description	2000 lm, Medium, 3500K, 80 CRI
Delivered Lumens	2152
Watts	22.5W
Efficacy	95.6
Mounting	Pendant
Spacing Criterion	0.7
Beam Angle (FWHM)	44

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2113	98.2
0-60	2151	99.9
0-90	2152	100.0
0-180	2152	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	4053
5	3893
15	3037
25	1493
35	366
45	34
55	3
65	1
75	0
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	5931
55°	645
65°	292
75°	0
85°	0

\*Candela/Square Meter

# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

## PHOTOMETRY CONTINUED

### LTC-4RD-P-20L35K8WD-DM1-S-BL

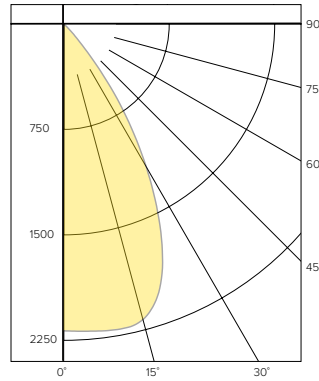
#### LUMINAIRE DATA

Test No.	R19.00534-01
Description	2000 lm, Wide, 3500K, 80 CRI
Delivered Lumens	2059
Watts	22.5W
Efficacy	91.6
Mounting	Pendant
Spacing Criterion	0.9
Beam Angle (FWHM)	61

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1983	96.3
0-60	2056	99.8
0-90	2059	100.0
0-180	2059	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	2201
5	2210
15	2051
25	1504
35	692
45	169
55	10
65	3
75	1
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	11338
55°	1075
65°	584
75°	477
85°	0

\*Candela/Square Meter

### LTC-4RD-P-20L35K8XW-DM1-S-BL

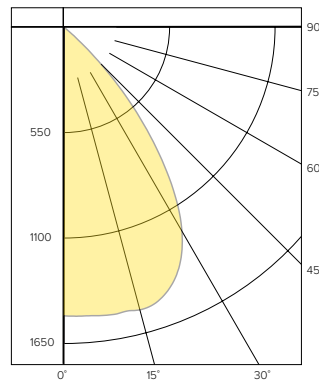
#### LUMINAIRE DATA

Test No.	R19.00535-01
Description	2000 lm, Extra Wide, 3500K, 80 CRI
Delivered Lumens	2028
Watts	22.5W
Efficacy	90.2
Mounting	Pendant
Spacing Criterion	1.2
Beam Angle (FWHM)	78

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1794	88.5
0-60	2025	99.8
0-90	2028	100.0
0-180	2028	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	1235
5	1252
15	1392
25	1454
35	1010
45	256
55	6
65	2
75	1
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	44656
55°	1290
65°	584
75°	231
85°	477

\*Candela/Square Meter

#### LUMEN MULTIPLIER

Option	27K8	30K8	35K8	40K8	50K8	27K9	30K9	35K9	40K9
Multiplier	0.94	0.98	1.00	1.01	1.02	0.81	0.84	0.85	0.85

Photometrics are published below at a nominal 3500 Kelvin, 80+ CRI. This table may be used to approximate the lumen values at different Kelvin temperatures. Power consumption would stay the same.

#### REFLECTOR FINISH MULTIPLIER (BASED ON CLEAR (STANDARD) COLOR)

Option	Specular (S)	Semi-Specular (SS)	American Matte (MFC)	Softglow (VS)	Softsheen (VSS)
Multiplier	1	1	0.984	0.888	0.938

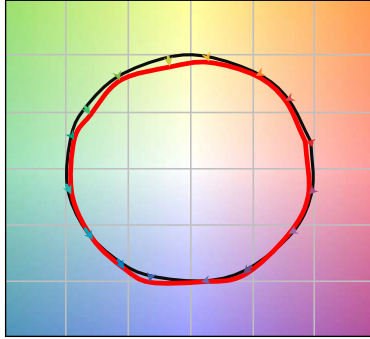
#### REFLECTOR COLOR MULTIPLIER (BASED ON SEMI-SPECULAR (SS) FINISH)

Option	Clear (Standard)	Light Wheat (LW)	Pewter (PW)	White Cone (WC)	Black Cone (BC)
Multiplier	1	.861	0.915	0.984	0.442

Multiply FINISH xCOLOR to calculate other reflector finish and color combinations. Example: SoftGlow Pewter (VSPW) = 0.888 (VS) x 0.915 (PW) = 0.813

**TM-30 DATA**

**COLOR VECTOR GRAPHIC**  
3500K, 90 CRI



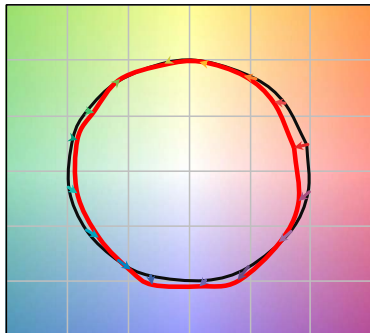
— Reference Illuminant — Test Source

**COLOR DISTORTION GRAPHIC**  
3500K, 90 CRI



TEST RESULTS - 3500K		
Value	80+ CRI	90+ CRI
$R_t$	84	88
$R_g$	95	95
CCT (K)	3411	3419
$D_{uv}$	0.0015	0.0042
x	0.4120	0.4147
y	0.3974	0.4052
CIE $R_a$	84	93
CIE $R_g$	11	62

**COLOR VECTOR GRAPHIC**  
3500K, 80 CRI



— Reference Illuminant — Test Source

**COLOR DISTORTION GRAPHIC**  
3500K, 80 CRI



**ELECTRICAL DATA**

DRIVER DATA		
Input Voltage	120–277 V	347 V
Input Frequency	50/60 Hz	50/60 Hz
Power Factor	≥0.90	≥0.90
THD	<20%	<20%
EMI Filtering (FCC 47 CFR Part 15)	Class A	Class A

\* Values for DM1 option shown, values for other dimming options may vary.

**ADDITIONAL INFORMATION**

**Dimming Compatibility**

For more details and recommended dimmer list, see Dimming Compatibility Information on [currentlighting.com/prescolite](http://currentlighting.com/prescolite).

**DMX**

See instruction sheet on [currentlighting.com/prescolite](http://currentlighting.com/prescolite) for connection & installation information.

**Central Inverters**

For full fixture output in back-up mode, we recommend you visit [currentlighting.com/dual-lite](http://currentlighting.com/dual-lite) for your Central Lighting Inverter options. Please contact your local Current representative for any assistance with proper sizing and loading of your inverter selection. Central lighting inverters must be ordered separately.

**Lumen Output in Emergency Mode**

To determine the lumen output in emergency mode multiply the battery pack wattage by the fixture lumens per watt (LPW). For example, 6W x 120 LPW = 720 lumens in emergency mode.

	SUITABLE FOR WET	SUITABLE FOR DAMP
<b>SURFACE*</b>	Up to 25L	30L-35L; All CC and PCC
<b>CORD</b>		All
<b>PENDANT*</b>	Up to 25L (excl. CC and PCC)	30L-35L
<b>WALL</b>	Up to 25L (excl. CC and PCC)	
<b>OPTIONS</b>		All EM/EMC; All WW

\* Wet under covered ceiling

Wall luminaire · Light emission on one side

**Application**

This wall mounted luminaire has light output in one direction. Arranged individually or in groups, it is a great design element for a host of lighting applications. Downward orientation only.

**Materials**

Clear safety glass with matte finish  
 Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
 High temperature silicone gasket  
 Mechanically captive stainless steel fasteners

**NRTL** listed to North American Standards, suitable for wet locations  
 Protection class IP 65

**Weight:** 4.2 lbs.

**Electrical**

Operating voltage 120-277VAC  
 Minimum start temperature -30° C  
 LED module wattage 15.4 W  
 System wattage 20.5 W  
 Controllability 0-10V, TRIAC, and ELV dimmable  
 Color rendering index Ra > 80  
 Luminaire lumens 1024 lm  
 LED service life (L70) 60000hrs

**LED color temperature**

- 4000K (K4)
- 3500K (K35)
- 3000K (K3)
- 2700K (K27)

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL, custom, and premium colors provided in polyester powder and/or liquid paint.

**Available colors**

- Black (BLK)
- Silver (SLV)
- Natural Bronze (NTB)
- CUS:
- Bronze (BRZ)
- White (WHT)
- RAL:

Type:

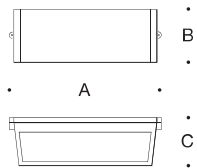
BEGA Product:

Project:

Modified:

**Available options**

- AMB Amber LED
- CUS Custom finish
- FSC Fusing
- MGU Marine grade undercoat
- NTB Natural bronze (premium finish)
- RAL RAL Classic, matte finish



Wall luminaire · Light emission on one side		LED	A	B	C
<b>B22360</b>	ADA	15.4 W	12 <sup>1</sup> / <sub>2</sub>	4 <sup>3</sup> / <sub>8</sub>	4

**Compact floodlight · Very narrow beam**

**Application**

Compact floodlight with mounting canopy for direct mounting to horizontal or vertical surfaces. Designed to illuminate architectural features, signage, landscaping, or to provide general illumination in a space. Pair with a variety of optical accessories.

**Materials**

- Clear safety glass
- Marine grade, copper free ( $\leq 0.3\%$  copper content) A360.0 aluminum alloy
- High temperature silicone gasket
- Mechanically captive stainless steel fasteners
- Pure anodized aluminum reflector
- Silicone optic with excellent high temperature and UV stability
- Composite concentric ring louver

**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP 65

**Weight:** 5.1 lbs.

**EPA (Effective projection area):** 0.3 sq. ft.

**Electrical**

Operating voltage	120-277VAC
Minimum start temperature	-30° C
LED module wattage	12.5W
System wattage	15.0W
Controllability	0-10V, TRIAC, and ELV dimmable
Color rendering index	Ra > 80
Luminaire lumens	1132lm
LED service life (L70)	60000hrs

**LED color temperature**

- 4000K (K4)
- 3500K (K35)**
- 3000K (K3)
- 2700K (K27)

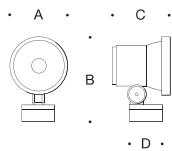
**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL, custom, and premium colors provided in polyester powder and/or liquid paint.

**Available colors**

<b>Black (BLK)</b>	Bronze (BRZ)
Silver (SLV)	White (WHT)
Natural Bronze (NTB)	RAL:
CUS:	



**Compact floodlight · Very narrow beam**

	LED	$\beta$	A	B	C	D
<b>B77700</b>	12.5W	9°	6 <sup>1</sup> / <sub>4</sub>	8 <sup>7</sup> / <sub>8</sub>	6 <sup>1</sup> / <sub>2</sub>	3 <sup>7</sup> / <sub>8</sub>

Type:

BEGA Product:

Project:

Modified:

**Available options**

B70076	Elliptical spread lens
<b>B70720</b>	<b>Glare shield · 360°</b>
B70757	Glare shield · 180°
CUS	Custom finish
MGU	Marine grade undercoat
NTB	Natural bronze (premium finish)
RAL	RAL Classic, matte finish





**SITE KEYNOTES:**

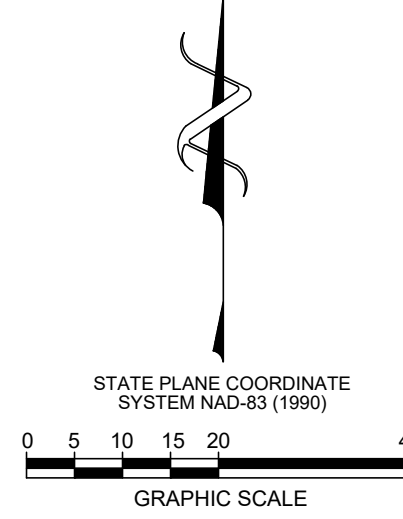
- ① HEAVY DUTY CONCRETE PAVEMENT
  - ② LIGHT DUTY ASPHALT PAVEMENT
  - ③ CONCRETE POST CURB
  - ④ SITE SIGN
  - ⑤ CONCRETE SIDEWALK
  - ⑥ CONCRETE PAVEMENT
  - ⑦ ACCESSIBLE SIDEWALK RAMP
  - ⑧ ACCESSIBLE PARKING SPACE, SIGNAGE AND CONCRETE WHEEL STOP
  - ⑨ CONCRETE RETAINING WALL, DETAIL BY OTHERS
  - # INDICATES NUMBER OF PARKING SPACES PER BAY
- SEE SHEET C\_\_\_ FOR DETAILS UNLESS OTHERWISE NOTED

**SITE DATA TABLE**

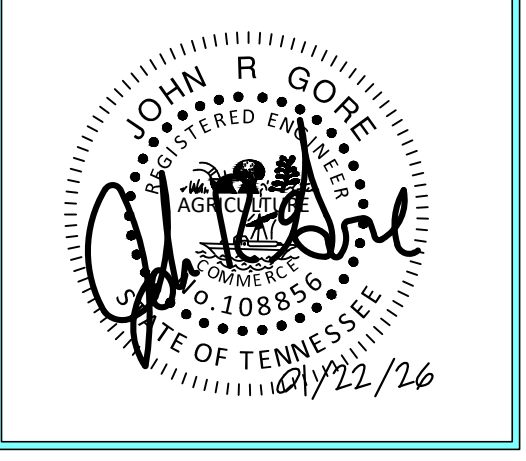
<b>PROPERTY INFORMATION:</b>	110 ALDERSGATE WAY WILLIAMSON COUNTY, TN 37069
<b>PARCEL I.D.:</b>	TAX MAP 63, PARCEL 21.01
<b>ZONING:</b>	CI
<b>PROPOSED USE:</b>	ESSENTIAL SERVICES
<b>TOTAL PARCEL AREA:</b>	104.07 ± ACRES
<b>TOTAL DISTURBED AREA:</b>	1.37 ACRES
<b>TOTAL BUILDING AREA:</b>	6,180 SF / SINGLE STORY
<b>BUILDING HEIGHT:</b>	35.33 FT
<b>SETBACKS:</b>	150' FRONT/ 25' REAR/25' SIDE
<b>PROPOSED PARKING:</b>	MINIMUM PARKING REQUIREMENTS
*VARIABLE*	
<b>PARKING PROVIDED:</b>	
RES. SPACES:	8
ADA SPACES:	1
TOTAL PARKING PROVIDED:	9 SPACES
<b>FEMA DATA FOR PROJECT LOCATION</b>	
THE SUBJECT PROPERTY DOES NOT LIE WITHIN SPECIAL FLOOD HAZARD AREA AS IDENTIFIED ON MAP NUMBERS 47119C0180E AND 47119C0065E OF THE FLOOD INSURANCE STUDY FOR SPRING HILL & MAURY COUNTY, TENNESSEE, DATED APRIL 16, 2007.	
DATUM IS NAVD 1988.	

**GENERAL CONSTRUCTION NOTES:**

- THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES.
- THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. OBTAIN APPROVAL FROM ENGINEER PRIOR TO ANY DEVIATIONS FROM INTENDED GRADES ON PLANS. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
- CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH, UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (4,000 P.S.I.), UNLESS OTHERWISE NOTED.
- ALL DAMAGE TO EXISTING ASPHALT PAVEMENT, CURB AND GUTTER, AND CONCRETE SIDEWALKS TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
- IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
- THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
- CONTRACTOR SHALL SAW CUT ANY SIDEWALKS, CURBS, GUTTERS, DRIVEWAYS, OR PAVED STREETS FOR UTILITY CROSSINGS, AND REPLACE WITH SAME SECTION AND MATERIALS AS EXISTING.
- NO TREES OR VEGETATION SHALL BE DISTURBED WITHOUT OWNERS APPROVAL.
- CONTRACTOR SHALL HIGH-PRESSURE WASH PARKING LOT, CONCRETE PAVEMENT, AND SIDEWALKS UPON COMPLETION OF CONSTRUCTION AS NEEDED.
- CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CASSONS, WALKS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT / ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.
- NO CONSTRUCTION OR STORAGE OF SUPPLIES AND EQUIPMENT SHALL BE PERMITTED OUTSIDE SILT FENCE.
- ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) IN EFFECT AT THE TIME IN WHICH THE CONSTRUCTION ACTIVITIES ARE PERFORMED.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.



**tm p**  
**TMPartners, PLLC**  
 Architecture Interiors Planning  
 211 Franklin Road  
 Suite 200  
 Brentwood, TN 37027-5593  
 615.377.9773 Office  
 615.370.4147 Fax  
 www.TMPartners.com



**BCA** BARGE CIVIL ASSOCIATES  
 6608 CHARLOTTE PINE, SUITE 210, NASHVILLE, TN 37209  
 615.556.8911 • BCAtnc.com • BCATILENO. 2287-28

**WILLIAMSON COUNTY FIRE AND RESCUE**  
**EMS AT FFUMC**  
 ALDERSGATE WAY  
 FRANKLIN, TN 37069

**SITE PLAN**

**REVISIONS**

NO.	DESCRIPTION	DATE

<b>DR. BY</b>	<b>AUTHOR</b>
<b>CK. BY</b>	<b>CHECKER</b>
<b>PROJ. NO.</b>	<b>A08221</b>
<b>DATE</b>	

**C1.0**



---

**File #: 26-0543**

---

**DATE:** 5/11/2026

**TO:** Historic Zoning Commission

**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner

**SUBJECT:**

Consideration Of Ramp Installation At 210 3rd Ave. N.; Brandon Priddy, Applicant.

**PURPOSE:**

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning the installation of a ramp at 210 3rd Avenue North.

**APPLICABLE DESIGN GUIDELINES:**

2022 Franklin Historic District Design Guidelines:

Chapter 6: Site & Setting

Chapter 9: Modern Features

**PROJECT INFORMATION:**

COF Project Number: 9058

Applicant: Brandon Priddy Studio 906 Architects, Rep.

Owner: Franklin Legal Holdings, LLC., Sean Aiello, Rep.

**BACKGROUND:**

The property at 210 3rd Avenue North is located within the Downtown Franklin National Register Historic District. The National Register describes the principal building as a frame gabled-ell dwelling that was constructed circa 1890. The application has come before the Historic Zoning Commission for review and approval of other alterations to the building and the site. The proposal includes the installation of a ramp at the front of the building.

At the front of the building, a low-slope ramp is proposed. The ramp is proposed to be constructed out of concrete and is a low slope that will not require handrails. Between the switchbacks of the ramp, landscaping is proposed to help screen the site alteration. The applicant has attended a previous Design Review Committee meeting to discuss the placement of the ramp at various other locations on the property and the feasibility of each location. At the last DRC meeting, information was requested on how the ramp will transition to the wooden porch. This information was provided that a horizontal wood piece of the same width as the porch flooring will transition the ramp to the porch. The Guidelines recommend:

- For residential buildings, provide a landscaped front yard and minimize paved or hardscape areas. Do not fully remove and replace traditional lawn areas with hardscape.

- Position ramps and lifts on rear or side facades where not readily visible.

The proposed location of the ramp does not align with the Guidelines' recommendation for placing modern features in locations that are not readily visible; however, the position of the ramp appears to be the only feasible option for the site. Additional landscaping should be added between the sidewalk and the side of the ramp to help soften and screen the ramp.

**RECOMMENDATION:**

Staff recommends approval of the application based on the following conditions:

1. Additional landscaping shall be provided between the sidewalk and the ramp, subject to approval by the Preservation Planner.
2. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
3. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

**Project Consideration:**

1. Please be aware all applicable codes will not be reviewed and cannot be verified at this time.

# 906

## 210 3<sup>rd</sup> Avenue North: Project Narrative Prepared for the Franklin Historic Zoning Commission 906 Studio Architects : April 25, 2026

The applicant, Sean R. Aiello, is a lifelong Franklin resident and managing partner of the local law firm Schell & Oglesby, LLC. His family, the Hendersons, have produced a continuing line of practicing lawyers servicing Franklin and the surrounding area since the 1870s. Beginning with prior Tennessee Supreme Court Judge John Hughes Henderson, notable practitioners have included Judge John Henderson, Captain Tom Henderson, and Public Defender John Henderson who have all practiced off the Square. Sean envisions a return of downtown practice in a historic location to preserve both the history of the building and his family's legacy in the greater Franklin legal and civic community. He is currently working with our team to design a renovation of the property at 210 3<sup>rd</sup> Ave North where he will create a new home for his practice.

A COA has been approved for a majority of the renovation, but one item which remaining unresolved is the accessible ramp. There was a concern expressed by the Commission that the ramp as shown in the proposed design on the front of the building would interrupt the façade. We understood this concern and studied alternative locations at all sides of the building. Here is a brief summary of these options:

North (side of building): shared access easement does not allow for ramp

South(side of building): setback requirements as outlined in zoning ordinance do not allow space for ramp

East (rear of building): due to the greater difference in elevation, the length of ramp required will not physically fit in the available space between the building and the rear setback as outlined in zoning ordinance.

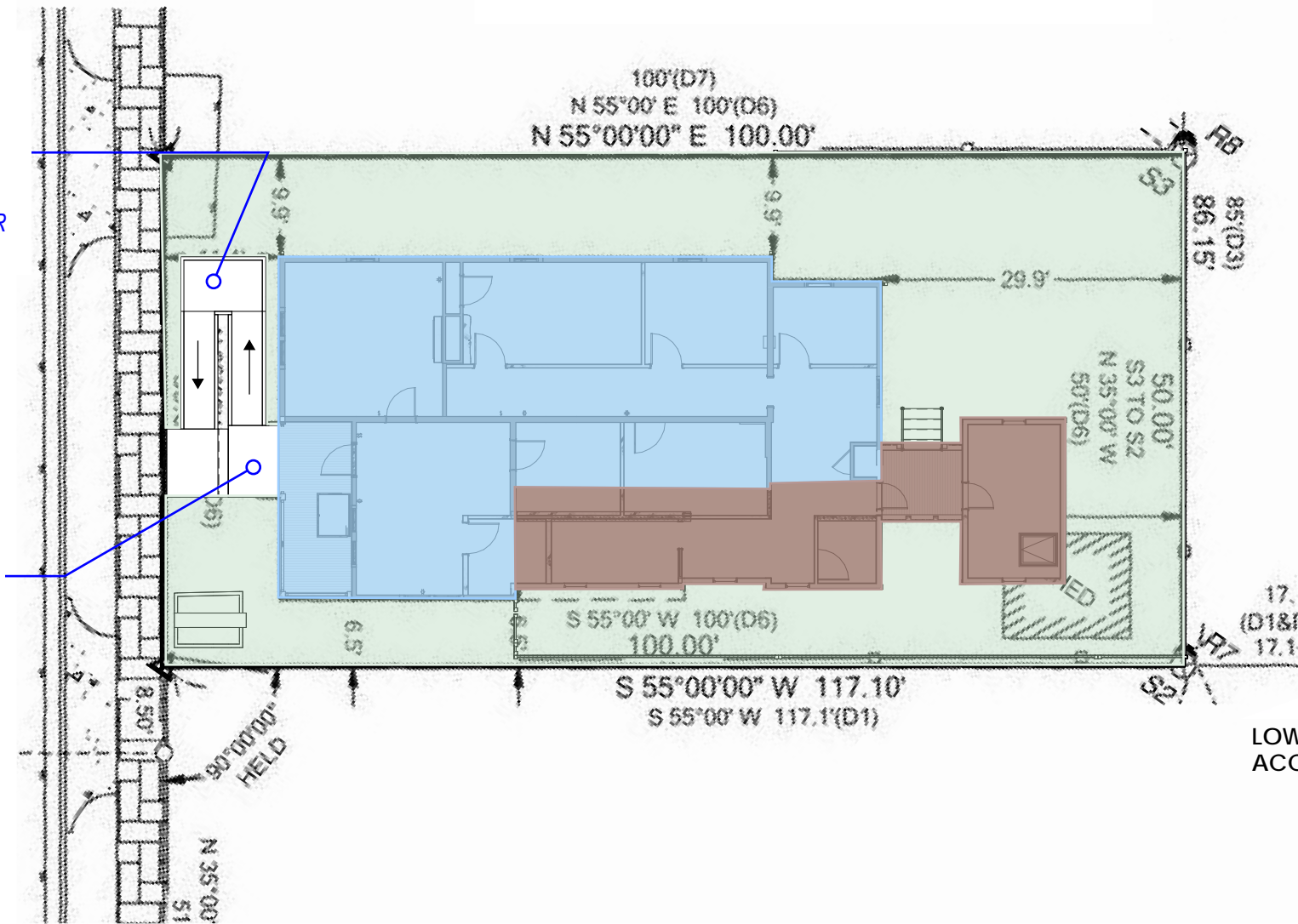
Additionally a lift was studied, but the existing fence makes the turning radius which would be required to park in the rear to access a lift impossible.

Front of the building: a low 20:1 slope eliminates the need for railings which are visual obstructions and the low height of the ramp (approximately 14 inches) makes it all but invisible along the front façade. While we understand the design guidelines recommend against a ramp on the front, we feel that because the lack of railings minimizes the visual impact and because access from other points is infeasible a front ramp is the best option for accessibility.

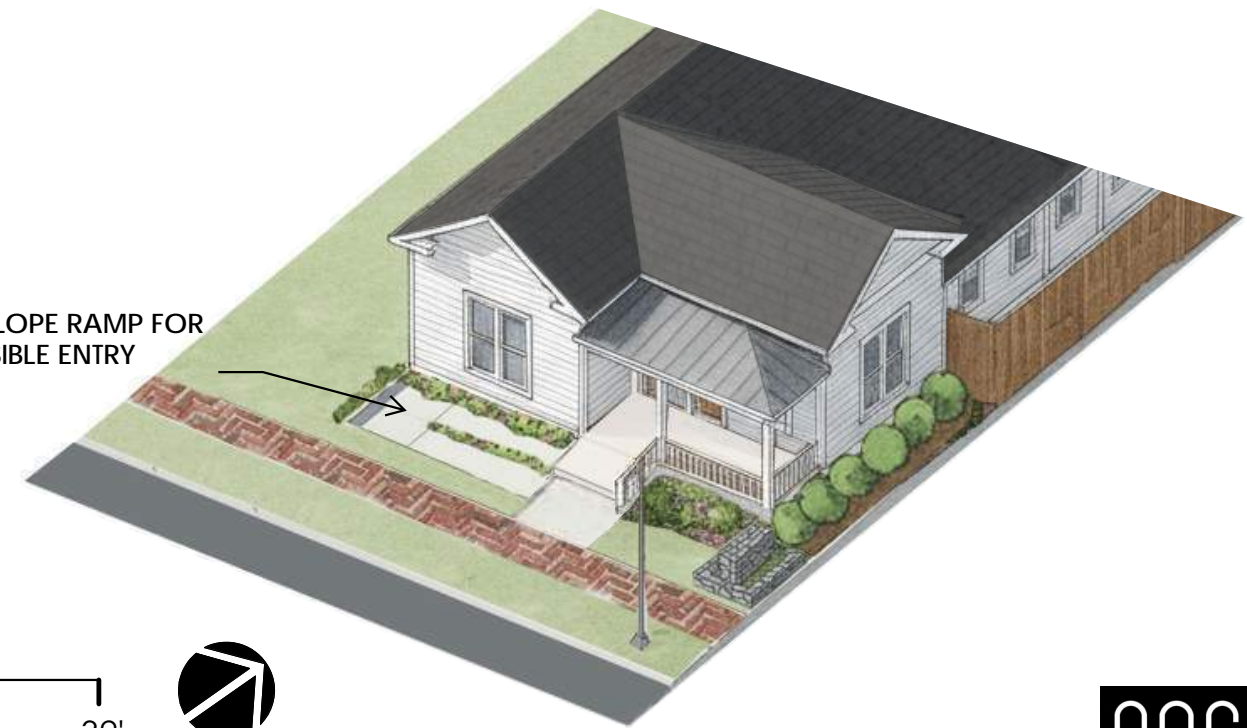
20:1 RAMP DOES NOT REQUIRE GUARDRAILS OR HANDRAILS REDUCING VISIBILITY ON FRONT FACADE

SEE FOLLOWING PAGE FOR ENLARGED PLAN

TIES INTO EXISTING PORCH ON FRONT OF BUILDING.



EXISTING VIEW FROM STREET

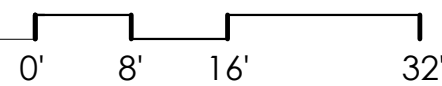


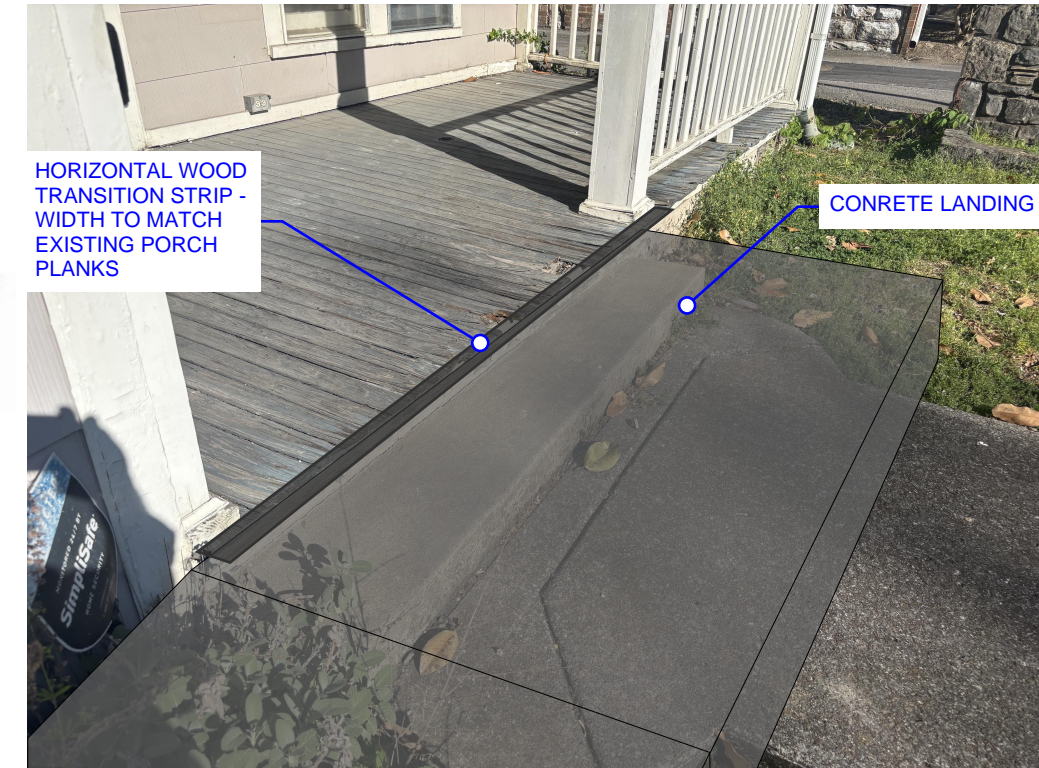
LOW SLOPE RAMP FOR ACCESSIBLE ENTRY

### OPTION 2 - FRONT RAMP

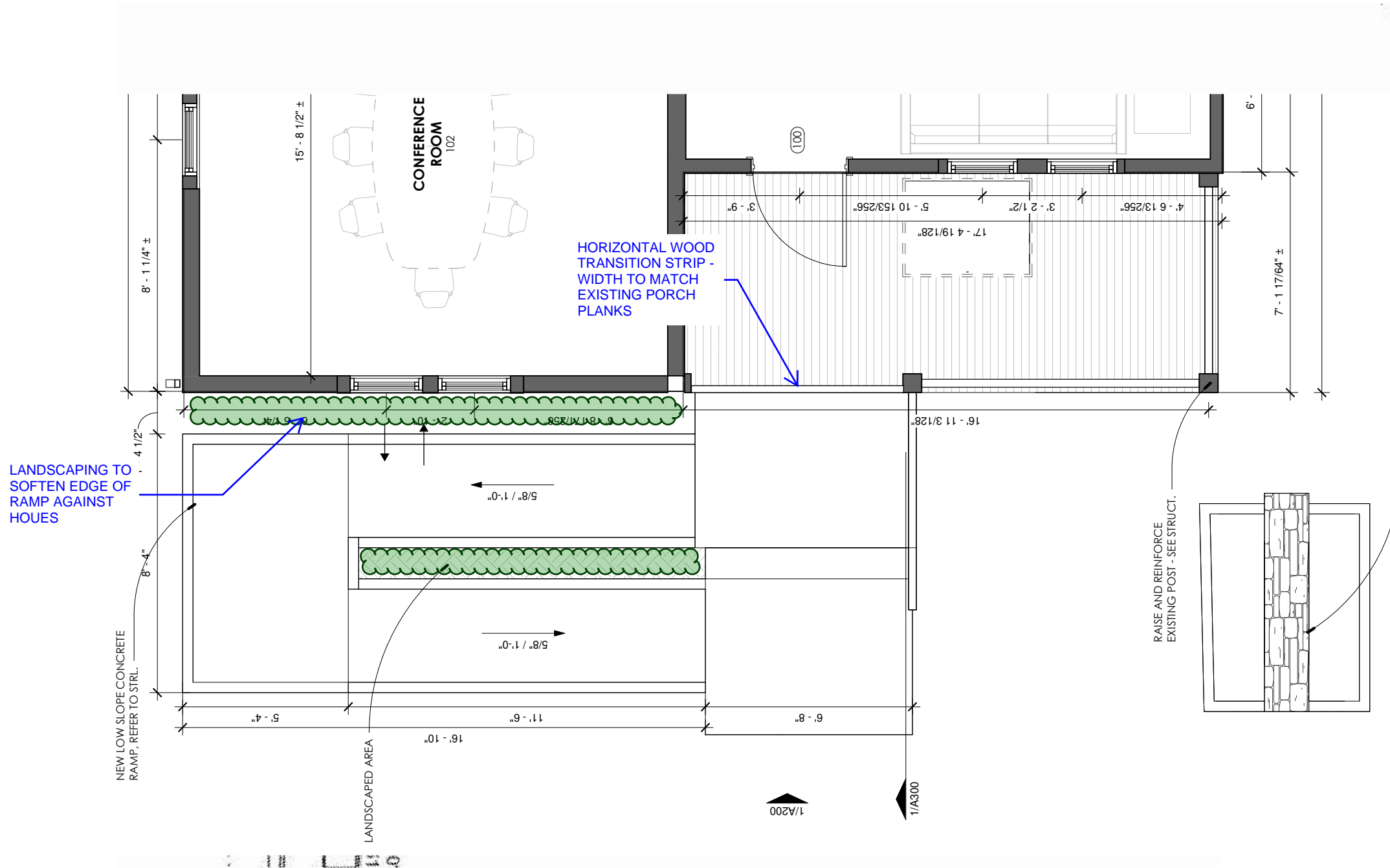
1/16" = 1'-0"

(RECOMMENDED OPTION)





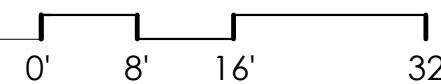
CONCRETE LANDING TO WOOD PORCH TRANSITION



OPTION 2 - FRONT RAMP

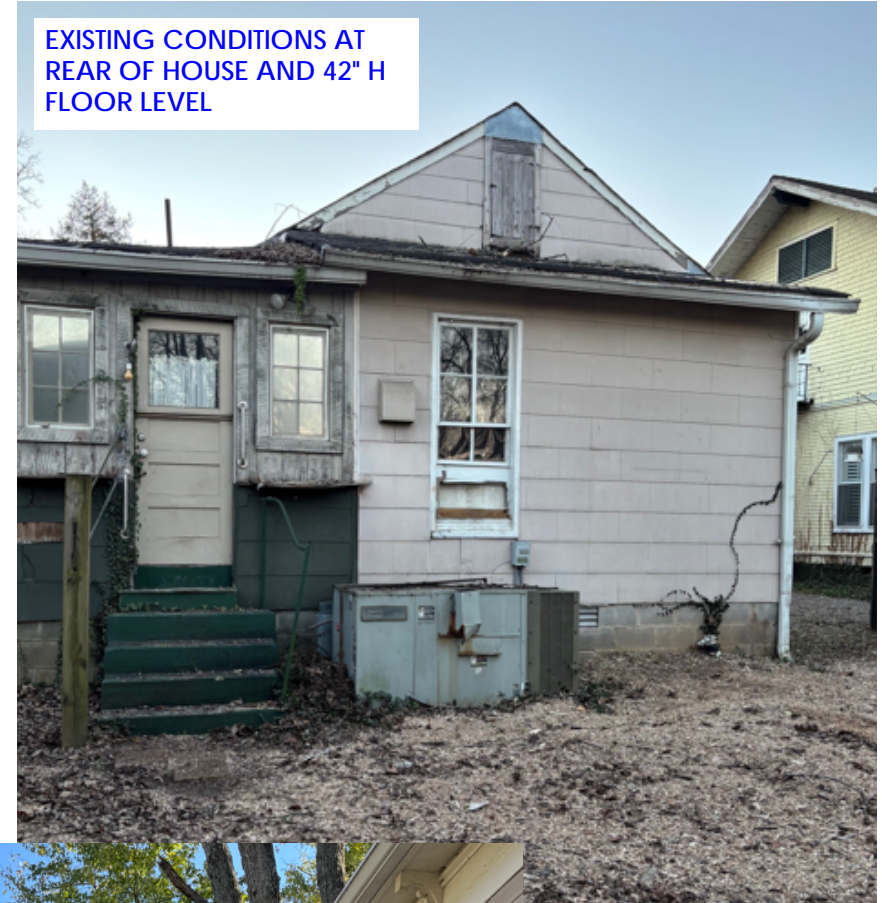
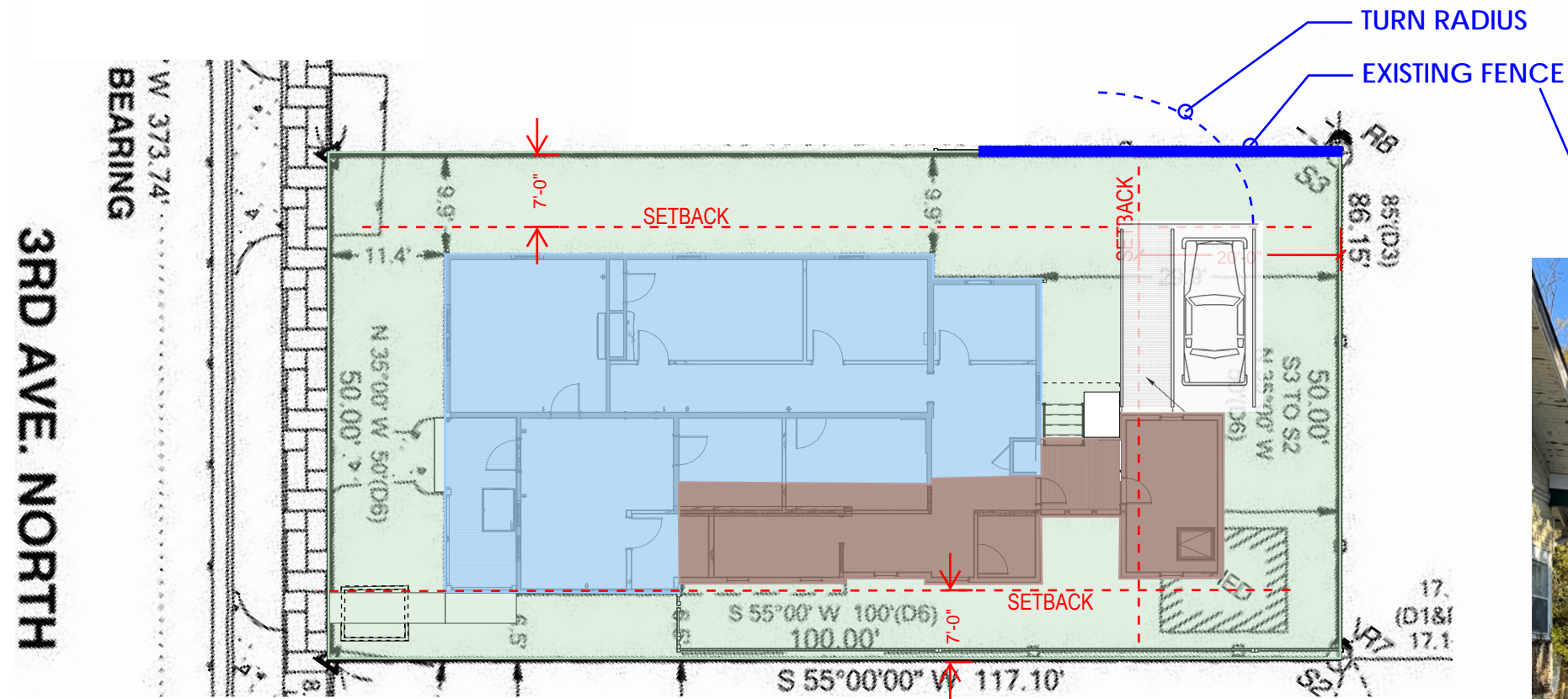
1/16" = 1'-0"

(RECOMMENDED OPTION)



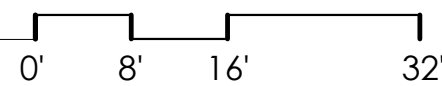
**DESIGN CONSTRAINT:**

ACCESS FROM THE REAR WOULD NECESSITATE A PARKING SPOT IN THE ADJACENT LOT, HOWEVER THE EXISTING FENCE PREVENTS A TURNING RADIUS THAT WOULD BE NECESSARY TO ACCESS THIS PARKING.



REAR ACCESS: PROVIDED FOR REFERENCE

1/16" = 1'-0"





---

**File #: 26-0542**

---

**DATE:** 5/11/2026  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner

**SUBJECT:**  
Consideration Of Window Replacement and Alterations At 334 Main St.; Jenna Lee, Applicant.

**PURPOSE:**  
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning the replacement of windows at 334 Main Street.

**APPLICABLE DESIGN GUIDELINES:**  
2022 Franklin Historic District Design Guidelines:  
Chapter 3: Historic Commercial Building

**PROJECT INFORMATION:**  
COF Project Number: 9118  
Applicant: Lee Restoration, Jenna Lee, Rep.  
Owner: F.C. Franklin, LLC, Aubrey Preston, Rep.

**BACKGROUND:**  
The building at 334 Main Street is in the Downtown Franklin National Register Historic District and is considered a contributing building. The proposal includes the replacement of 12 of the upper-floor windows and the replacement of roofing/flashing materials above the architectural element located above the storefront windows and below the proposed windows that are to be replaced.

The building was altered in the 1990s to remove the existing windows and replace them with windows without a lite pattern. The application includes historic images of the building with a six-over-six, true-divided-lite, double-hung windows that will be custom made to match the historic windows. The proposal aligns with the Guidelines as the building is being restored using photographic evidence.

The proposal includes removing the existing EPDM roofing on one portion of the architectural element and installing copper roofing/flashing across the entire architectural element to ensure the preservation and maintenance of the building. The application states that the alteration will not be seen from the street. This proposal is supported by the Guidelines as it ensures the preservation of the building and its architectural features.

**RECOMMENDATION:**  
Staff recommends approval of the application with the following conditions:

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

# 334 Main Street

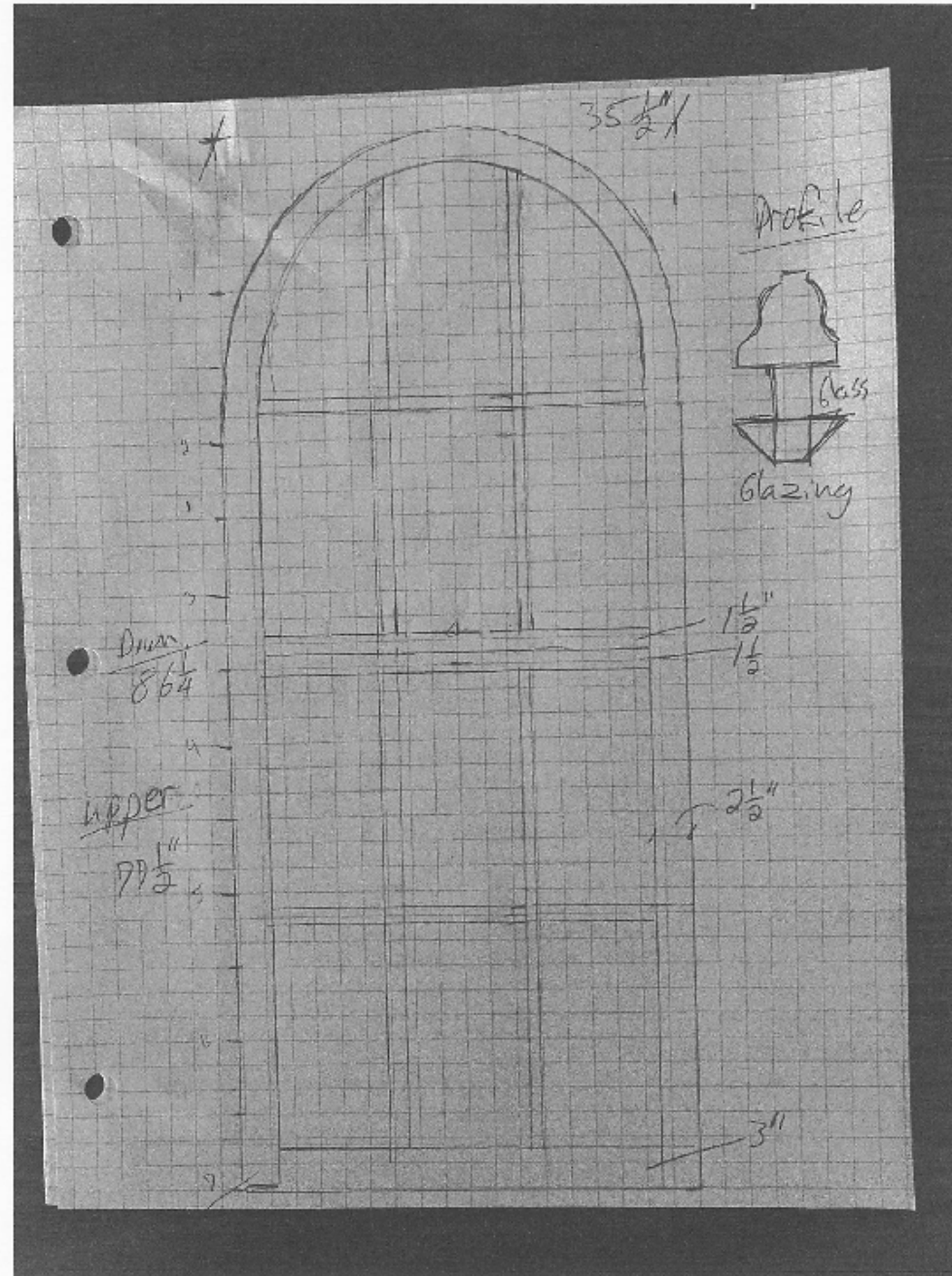


# 334 Main Street



- Proposal is to replace the 12 windows on the upper floors with custom-built divided lite windows that are seen in the historic photos and replace the flashing on the architectural element.

Sketch of the design and profile of windows.









1990s



1991 Streetscape



1979

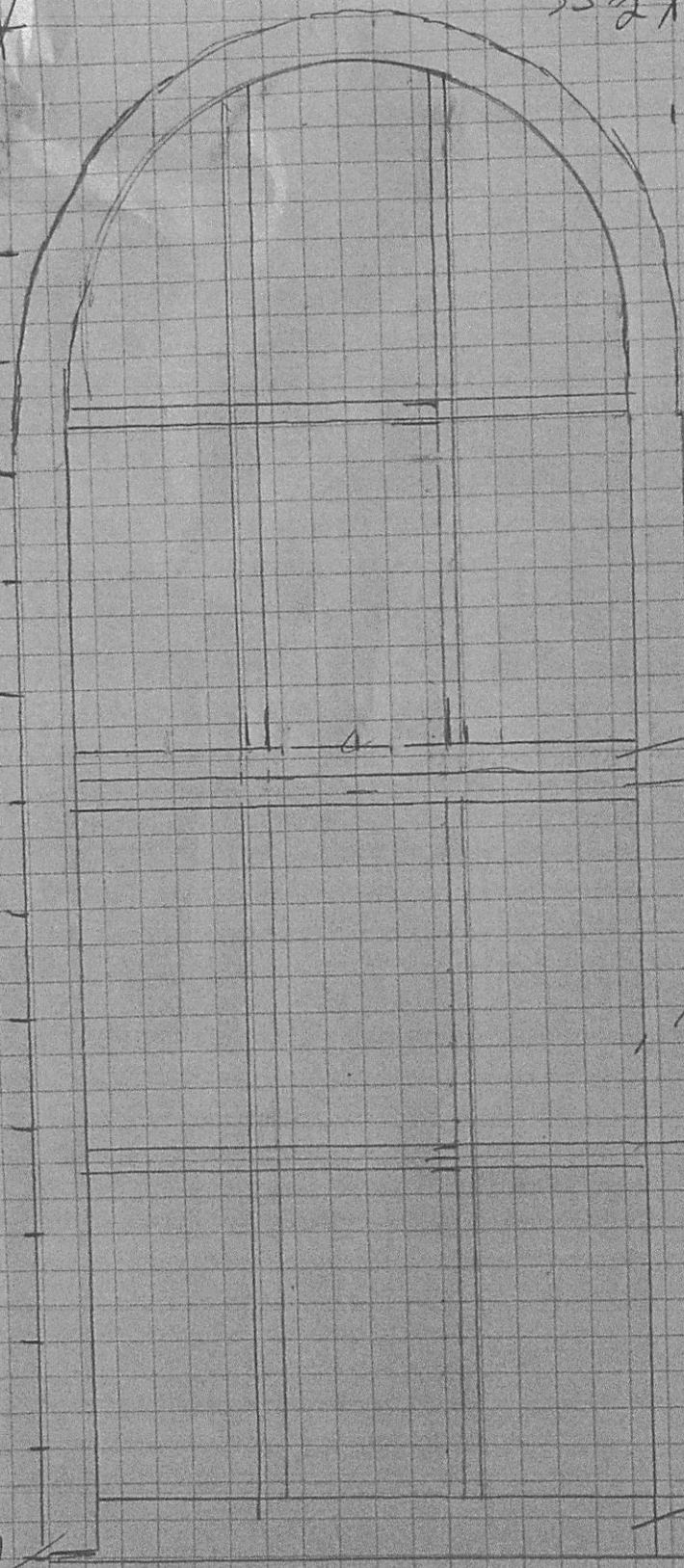


Firemen continued a watch at the Ben Franklin Store up into the morning Saturday to be sure the blaze that gutted the building and destroyed its contents was completely out. The block of Main Street just west of the Public Square was closed much of the day. After firemen left a large crane was brought in to remove the awning and the roofing that had collapsed inside the building.

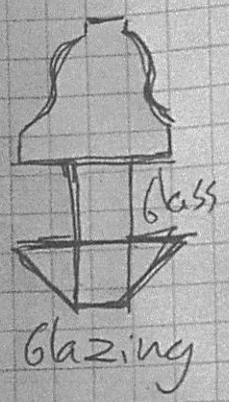


The top of the architectural element is proposed to have new copper flashing/roofing to prevent water intrusion. The new material will not be seen.

35 1/2"



Profile



Down  
864

Upper  
77 1/2"

1 1/2"  
1 1/2"

2 1/2"

3"



---

**File #: 26-0552**

---

**DATE:** 5/11/2026

**TO:** Historic Zoning Commission

**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner  
Elizabeth Bulay, Assistant Preservation Planner

**SUBJECT:**

Consideration Of Principal Building Alterations (Porch Railings) At 157 4th Ave. S. (Dan German Building); Jenna Lee, Applicant.

**PURPOSE:**

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning a retroactive request for the installation of front porch and step railings and a new request for front porch roof railings at 157 4th Ave. S.

**APPLICABLE DESIGN GUIDELINES:**

2022 Franklin Historic District Design Guidelines:  
Chapter 2: Historic Residential Buildings

**PROJECT INFORMATION:**

COF Project Number: 9120  
Applicant: Jenna Lee  
Owner: Williamson County

**BACKGROUND:**

The property located at 157 4<sup>th</sup> Avenue South is located in the Downtown Franklin National Register Historic District and is commonly referred to as the Dan German Building. The site features a ca. 1890 stone 1 ½ story residential building in form. The National Register lists the building as contributing to the district. The applicant attended the March 2026 DRC meeting and additional information has been provided for review.

The proposal includes a retroactive request for the installation of railings on the front porch and front steps as well as a new request for the installation of a porch roof railing based on historic photographs.

**Retro-Active Request for Front Porch and Step Railing:**

The proposal includes a retroactive request to install a front porch and step railing that was completed without a Certificate of Appropriateness (COA). The front porch railing, installed between

the stone columns, is made of wood and painted a light color. The handrail installed along the front steps is made of steel and painted black. The Guidelines recommend the following:

- Avoid installing porch railings on porches where railings were not historically present unless required for safety or access reasons. Required railings should be simple in design with square balusters.

Based on historic imagery, the railing between the stone columns does not appear to have been historically present on the front porch, and is not required by Building and Neighborhood Services (BNS). The white wood porch railing is not appropriate. A handrail must be installed for the steps in accordance with building codes. Although the guardrail installed for the front steps matches the guardrail installed for the recently approved ramp, a guardrail is not required by building codes and is not appropriate. The design of this guardrail should be simplified to a minimal handrail, with minimal vertical members, and be pulled back off of the walkway to the minimum required distance from the bottom of the steps, so as not to overwhelm the historic building.

### **Porch Roof Railing:**

The proposal includes a request to install a porch roof railing with the intent of matching historic photographs of the detail present on the building. The railing will be made of wood, and the height of the element will not exceed 30". Based on the included historic documentation and historic images of the building, the replication of the element to reintroduce a historic detail is appropriate. The railing should not be taller than how it appears in historic photos, as it appears to not exceed the top of the adjacent roof form.

### **RECOMMENDATION:**

**Staff recommends denial of the white wooden porch railing and step railing based on the following Guidelines:**

- Avoid installing porch railings on porches where railings were not historically present unless required for safety or access reasons. Required railings should be simple in design with square balusters.

**Staff recommends approval of the step railing and porch roof railing with the following conditions:**

1. The step guardrail must be pulled back off of the walkway and simplified to a handrail. The updated design shall be submitted to the Preservation Planner for review and approval.
2. The porch roof railing height should not be taller than it appears in historic images, with the top of the railing being below the fascia of the gable ends.
3. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
4. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

# 137 4<sup>th</sup> Avenue South

Porch Alterations

- Retroactive Request for Porch and Stair Railing
- New request for porch roof railing detail

# Historic Photo of Building



# Building with new porch and stair railings

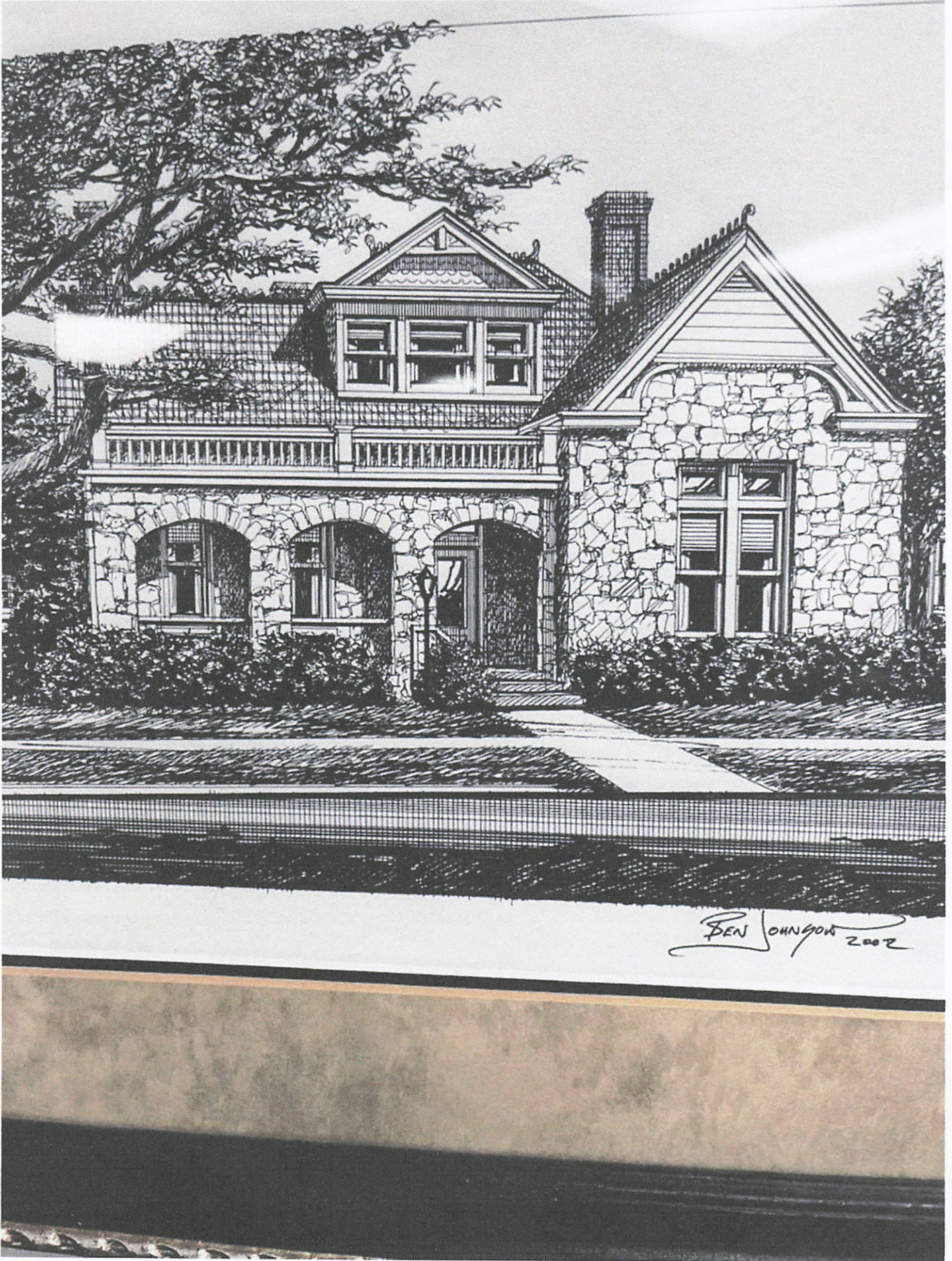


# Railing at Front Steps



# Retroactive Request for Porch Railing







---

**File #: 26-0559**

---

**DATE:** 5/11/2026  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner

**SUBJECT:**  
Consideration Of Mechanical Equipment Screening At 230 Franklin Rd. (Building 1 At The Factory);  
David Click, Applicant.

**PURPOSE:**  
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning screening of mechanical equipment on the rooftop of building one at The Factory, located at 230 Franklin Road.

**APPLICABLE DESIGN GUIDELINES:**  
2022 Franklin Historic District Design Guidelines:  
Chapter 2: New Residential Building  
Chapter 9: Modern Features

**PROJECT INFORMATION:**  
COF Project Number: 9121  
Applicant: David Click  
Owner: Factory Partners, LLC.

**BACKGROUND:**  
The property located at 230 Franklin Road is home to the Factory at Franklin and is located in the Franklin Road Local Historic District. The Factory is also listed on the National Register of Historic Places (NRHP). Building 1 on the Factory's campus is considered non-contributing within the NRHP listing. Several building alterations have been approved within the past year to restore and alter the building. The proposal is to install screening with planting for the mechanical equipment on the roof of the building.

The previous rooftop screening consisted of vertical wooden plank fencing. With an approved Certificate of Appropriateness (COA), metal screening in a dark color was approved to screen the equipment on the roof. The Guidelines support the use of the dark metal screen panels around the equipment, but the application indicates that "Due to constructability issues and structural requirements, extending the metal panels along the western perimeter of the platform is not feasible." The proposal is to screen the equipment with matte black planters with foliage planted in the planters. The material of the planters was not provided within the application. The Guidelines recommend:

- Place roof-mounted systems such that distance or architectural elements like parapets keep them from view.
- Avoid installing a green roof or other roof landscaping, railings, or furnishings that would be visible from any street view.
- Generally, modern features should be placed so that they are screened from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts.

Screening the equipment is required by the Zoning Ordinance and is also recommended by the Guidelines. While the use of planters with foliage is not recommended per the Guidelines, it may be appropriate to use a metal planter in a matte finish without plantings to screen the equipment, provided the planter is sufficient to fully screen it.

**RECOMMENDATION:**

Staff recommends approval of the application with the following conditions:

1. The planter shall be a dark metal material with a matte finish.
2. The planter shall not utilize plant materials within the planter.
3. The planter shall be tall enough to meet the requirements within the Zoning Ordinance to fully screen the equipment.
4. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
5. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

1009 3rd Avenue N. Suite 200 | Nashville, TN 37201

PHONE (615) 244-9620 | FAX (615) 365-3234

4.23.2026

**Owner:**Holladay Properties  
David Click**Project: Building 1 – Mechanical Screen**

## Design Narrative:

COA #8700 approved the in-kind replacement of the previous wood planked screen, which was in a state of disrepair, with a corrugated metal screen. Once it was installed, City Zoning brought to our attention that sight lines to the HVAC equipment remained and requested additional screening. Due to constructability issues and structural requirements, extending the metal panels along the western perimeter of the platform is not feasible. This is likely the reason the previous wood screen had partially fallen.

The proposed scope includes the installation of three planters directly adjacent to the existing panels, extending the screening and addressing the limited sight lines along Franklin Road, while avoiding any negative impacts to the historic character of the building.

City Zoning has approved the use of planters for additional screening pending a COA from the HZC.

Additional information and photographs are provided within this submittal.

Thank you,

David Click  
813.579.0588  
[dclick@holladayproperties.com](mailto:dclick@holladayproperties.com)  
Holladay Properties Services Midwest, Inc.

# The Factory at Franklin

Building 1 Mechanical Screen  
Historic Zoning Commission Presentation - May 11, 2026





THE FACTORY AT FRANKLIN - SITE PLAN  
BUILDING 1 MECHANICAL SCREEN





## Franklin Historic Zoning Commission Certificate of Appropriateness (COA)

**Address:** 230 Franklin Rd. Bldg. 1 (Franklin Road Historic District)  
**Applicant:** David Click  
**Owner:** Factory Partners, LLC.  
**Project #:** 8700

**Type of Work:** Consideration of Alterations (Building 1)

**Status:** Approved with Conditions  
(See "Approved Work Specifications" below)

**Approval Date:** February 10, 2025  
**Expiration Date:** February 10, 2027 (if work has not commenced)

### BACKGROUND

The applicant is requesting a Certificate of Appropriateness (COA) for a series of alterations proposed to Building 1 located at the Factory at 230 Franklin Road. The alterations include the following items:

- Roof replacement with a dark bronze standing seam metal roof material
- Vinyl canopy removal
- Removal of existing equipment and screening
- Installation of new screening
- In-kind repair of select windows, columns, and siding

### APPLICABLE DESIGN GUIDELINES

2022 Historic District Guidelines:  
Chapter 3: Historic Residential Buildings

### APPROVED WORK SPECIFICATIONS

The alterations are approved with the following conditions:

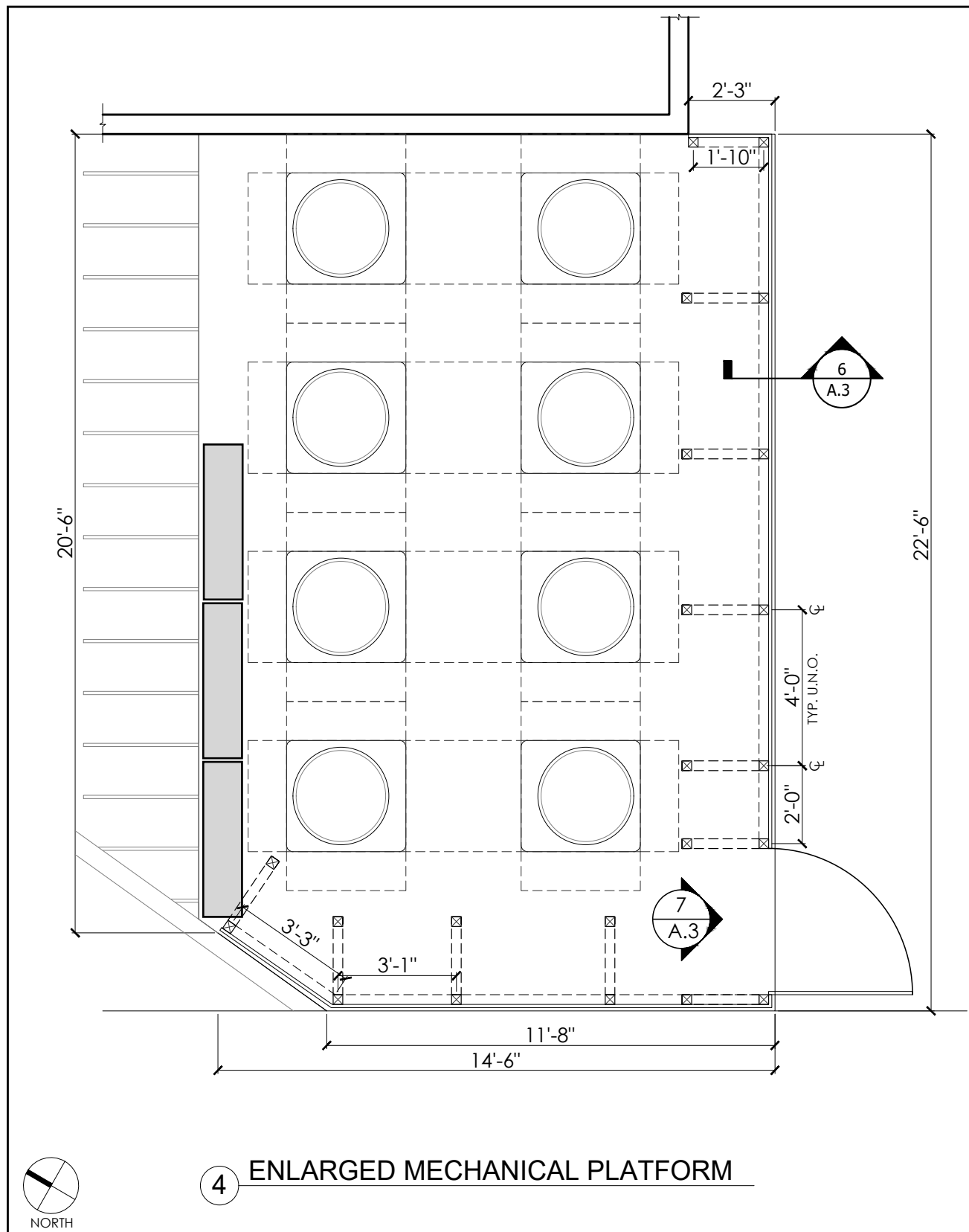
1. If the metal roof is approved in the dark bronze color, the metal screening must match that color.
2. If the deterioration of the elements on the original portion does not allow for repair and replacement is needed, the Preservation Planner must be contacted prior to any removal.
3. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
4. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval

Emily Huffer  
Preservation Planner  
City of Franklin Planning & Sustainability Department  
615.550.6795 | [www.franklintn.gov/planning](http://www.franklintn.gov/planning)

COA #8700  
APPROVAL FOR THE IN-KIND REPLACEMENT OF  
THE PREVIOUS, WOOD MECHANICAL SCREEN  
WITH A CORRUGATED METAL SCREEN.

EXISTING: NEWLY INSTALLED METAL SCREENING AS SEEN FROM THE 2nd FLOOR DECK.





- CITY ZONING INSPECTOR REQUESTED ADDITIONAL SCREENING AT WESTERN PERIMETER OF THE HVAC PLATFORM.

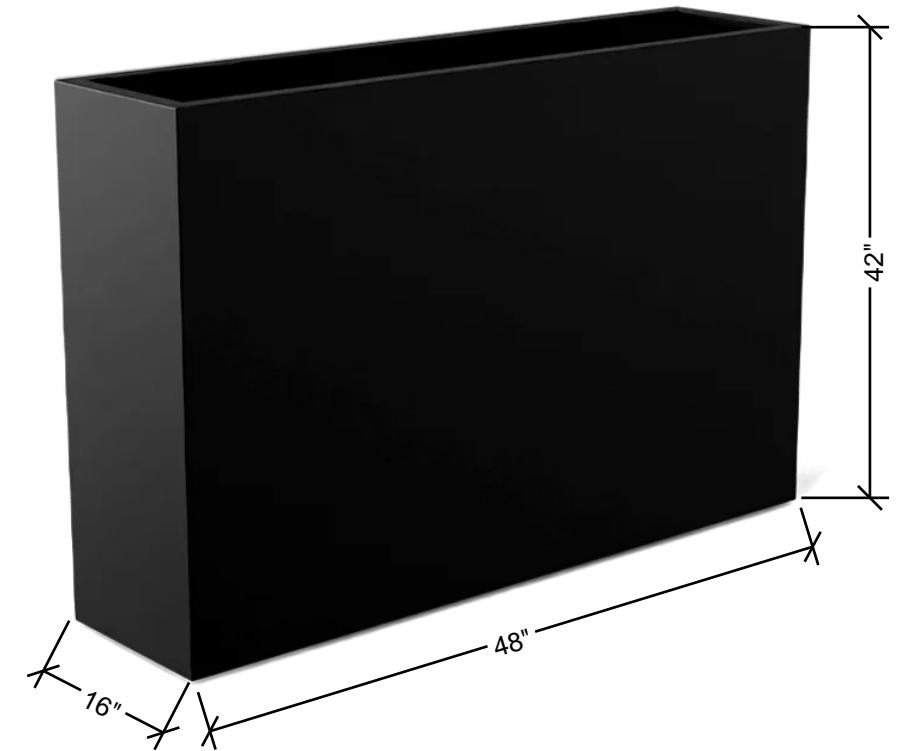
- EXTENDING THE METAL SCREEN, NEXT TO THE STANDING SEAM ROOF, CREATES CONSTRUCTABILITY ISSUES IN THE SCREEN'S FRAMING DRIVEN BY STRUCTURAL REQUIREMENTS.

- PROPOSED (3) PLANTERS POSITIONED ALONG THE EXPOSED SIDE, BLOCKING THE LIMITED SIGHT LINES FROM THE R.O.W.

- CITY ZONING HAS APPROVED THE USE OF PLANTERS FOR ADDITIONAL SCREENING PENDING A COA FROM THE HZC.

APPROVAL REQUESTED FOR EVERGREEN PLANTINGS TO BE INCLUDED WITHIN THE PLANTER AT THE APPLICANT'S OPTION.

EXTERIOR GRADE RECTANGULAR PLANTER MATTE FINISH



THE FACTORY AT FRANKLIN  
BUILDING 1 MECHANICAL SCREEN





EXISTING CONDITION VIEWED FROM FRANKLIN ROAD R.O.W.

- EXPOSED PORTION IS LIMITED TO THE AREA ABOVE THE STANDING SEAM RIDGE AND THE EDGE OF THE EXISTING METAL SCREEN.

PROPOSED CONDITION FROM FRANKLIN ROAD R.O.W. WITH PLANTERS INSTALLED.



**THE FACTORY AT FRANKLIN  
BUILDING 1 MECHANICAL SCREEN**

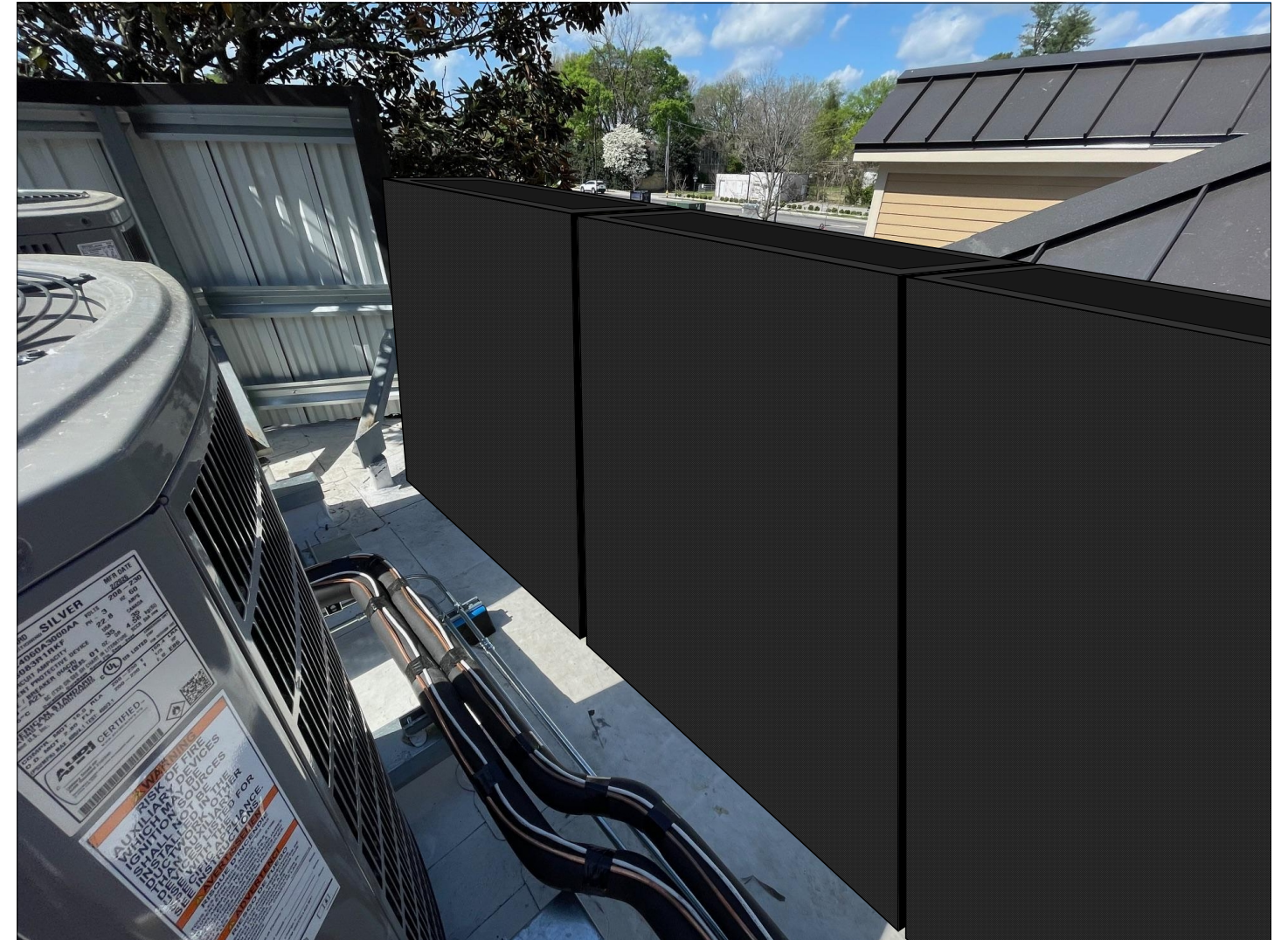




EXISTING CONDITION VIEWED FROM THE MECHANICAL PLATFORM .

- EXPOSED PORTION IS LIMITED TO THE AREA ABOVE THE STANDING SEAM RIDGE AND THE EDGE OF THE EXISTING METAL SCREEN.

PROPOSED CONDITION WITH PLANTERS INSTALLED.



THE FACTORY AT FRANKLIN  
BUILDING 1 MECHANICAL SCREEN





---

**File #: 26-0553**

---

**DATE:** 5/11/2026

**TO:** Historic Zoning Commission

**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner  
Elizabeth Bulay, Assistant Preservation Planner

**SUBJECT:**

Consideration Of Modern Features (Lift Replacement) At 218 3rd Ave. N.; CJ Dickson, Applicant.

**PURPOSE:**

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning the replacement of a lift at 218 3rd Avenue North.

**APPLICABLE DESIGN GUIDELINES:**

2022 Franklin Historic District Design Guidelines:  
Chapter 9: Modern Features

**PROJECT INFORMATION:**

COF Project Number: 9122  
Applicant: CJ Dickson  
Owner: Lantz Enterprises, LLC.

**BACKGROUND:**

The property located at 218 3<sup>rd</sup> Avenue North is located in the Downtown Franklin National Register Historic District. The site features a ca. 1910 frame pyramid residential building in form. The National Register lists the building as contributing to the district.

The proposal includes a request for the replacement of an existing lift located off the left side of the front porch with a new lift. The new lift requires a full top glass enclosure and will have a total height of 86". The existing lift location is screened from the front but is visible from side angles. The Guidelines recommend the following:

- Screen ramps and lifts through plantings to minimize their visual impact.
- If possible, position ramps and lifts on rear or side facades where not readily visible.
- Consider the use of a lift or a temporary or portable ramp rather than more permanent structures.

While the new lift may have more visibility than the existing lift due to the required top enclosure, the element will continue to be screened from the front view with existing landscaping. The existing lift is located near the front of the building and is visible from side angles and will continue to be visible from side angles. The use of a lift is preferential to a more permanent structure. The replacement of the existing lift in the same location is appropriate.

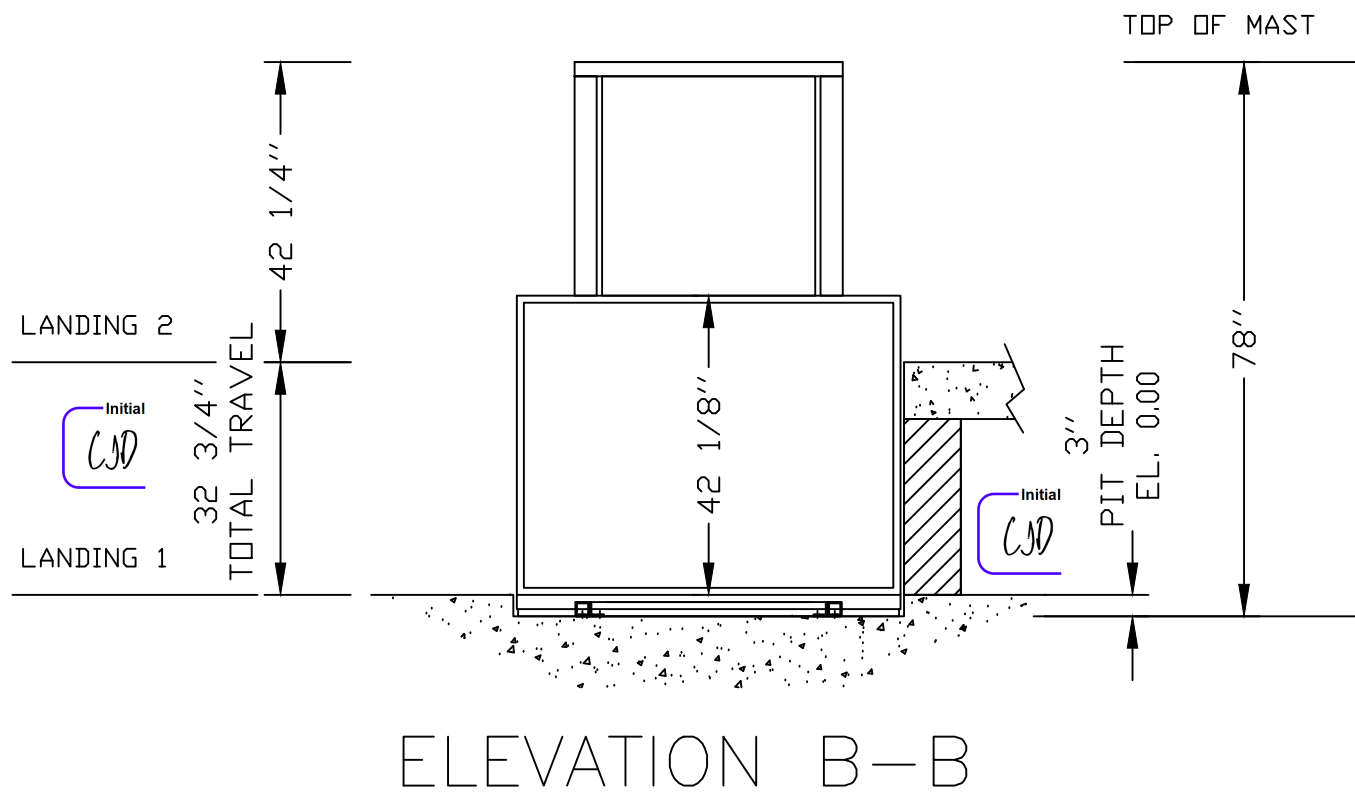
**RECOMMENDATION:**

**Staff recommends approval of the replacement lift with the following conditions:**

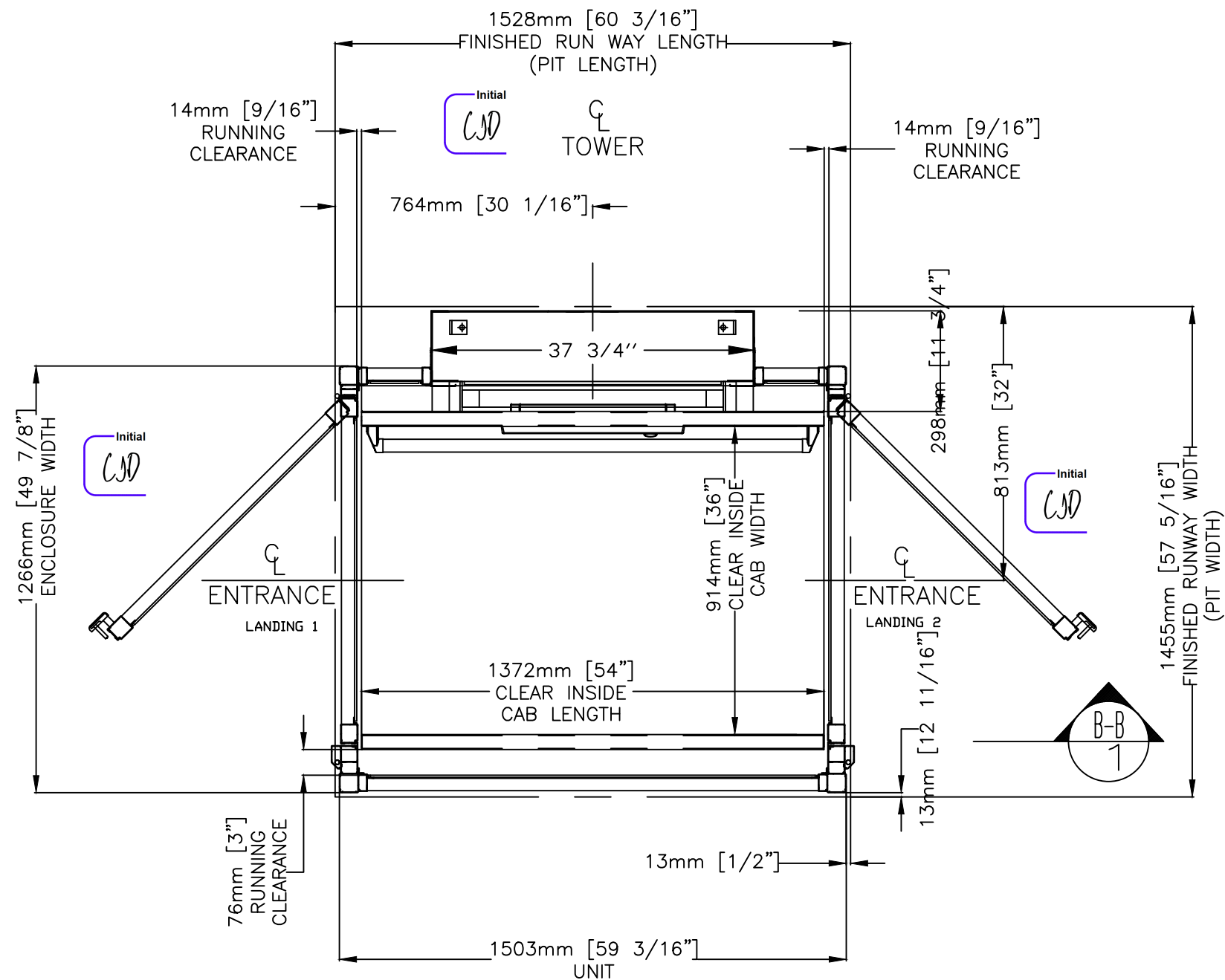
1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

**Project Considerations:**

Please be aware the City of Franklin will still need to review this for code compliance. This will be done whenever the nonresidential building plan review has been submitted.



ELEVATION B-B



TYPICAL PLAN

<i>OFFICE USE ONLY:</i>	
CONFIGURATION VERSION STAMP: O.O	DATE: 04-08-26
MODULE VERSION STAMP: M-S-4.7.0	REVISION DATE: dd/mm/yy
	COMPLETED BY: GIRISH T

Part No.	MULTILIFT ENCLOSURE
Variant No.	30119632

CUSTOMER:	TRANSITIONS LIFT & ELEVATOR
PROJECT:	CJ'S OFF THE SQUARE
ADDRESS:	218 3RD AVE. N., FRANKLIN TN, USA, 37064

**savaria**

JOB No. M-62548011 SHEET No. 31 of 221

**GENERAL ARRANGEMENT**  
 ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT

Signed by:  
*Care Joy Dickson*  
 C96E64EDB3DD4BF...

# PROVISIONS BY OTHERS

## GENERAL

**HOISTWAY** – THE HOISTWAY MUST BE DESIGNED AND BUILT IN ACCORDANCE WITH "SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIRLIFTS" OR "SAFETY CODE FOR ELEVATORS AND ESCALATORS" AND ALL STATE AND LOCAL CODES.

**PLUMB RUNWAY**– DUE TO CLOSE RUNNING CLEARANCE OWNER/AGENT MUST ENSURE THAT HOISTWAY AND PIT (WHERE PROVIDED) ARE LEVEL, PLUMB (-/+ 1/8" (3mm)) AND SQUARE AND ARE IN ACCORDANCE WITH THE DIMENSIONS ON THESE DRAWINGS

**MINIMUM OVERHEAD CLEARANCE**– OWNER/AGENT MUST ENSURE MINIMUM OVERHEAD CLEARANCE IS IN COMPLIANCE WITH CODES.

**CONSTRUCTION SITE**– OWNER/AGENT TO PROVIDE ALL MASONARY, CARPENTRY AND DRYWALL WORK AS REQUIRED AND SHALL PATCH AND MAKE GOOD (INCLUDING FINISH PAINTING) ALL AREAS WHERE WALLS/FLOORS MAY REQUIRE TO BE CUT, DRILLED OR ALTERED IN ANY WAY TO PERMIT THE PROPER INSTALLATION OF THE LIFT.

**DIMENSIONS**– CONTRACTOR/CUSTOMER TO VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO OUR OFFICE IMMEDIATELY.

## STRUCTURAL

**FLOOR/SUPPORT WALL LOADS**– STRUCTURE TO ANCHOR A CRANK SHAFT AND SAFETY HARNESS, WHERE APPLICABLE/NEEDED, TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO ASSURE THAT BUILDING AND SHAFT WILL SAFELY SUPPORT ALL LOADS IMPOSED BY THE LIFT EQUIPMENT. REFER TO THE LOAD DIAGRAM ON THIS DRAWING.

**MAST TO BE SECURELY FASTENED**– WHERE REQUIRED THE MAST MUST BE SECURELY FASTENED TO THE STRUCTURAL SUPPORT FLOOR. REFER TO FLOOR SUPPORT LOAD DIAGRAM AND ANCHOR DIMENSIONS ON THIS DRAWING. NO WALL LOADS SINCE THIS UNIT CAN ONLY BE FREE STANDING.

**WHERE DOORS ARE REQUIRED**– SUITABLE LINTELS MUST BE PROVIDED BY OWNER/AGENT. DOOR FRAMES ARE NOT DESIGNED TO SUPPORT OVERHEAD WALL LOADS.

## ELECTRICAL

**GENERAL**– ELECTRICAL EQUIPMENT AND WIRING TO COMPLY WITH SECTION 38 OF CSA C22.1 (CANADA) OR SECTION 620 OF NEC ANSI/NFPA 70 (USA).

**POWER SUPPLY**– 120VAC, 20A, 60HZ, 1PH CIRCUIT THROUGH A FUSE DISCONNECT WITH AUXILIARY CONTACT ON MAIN POWER SUPPLY. PROVIDE TWO 18 AWG CONDUCTORS BETWEEN CONTACT AND CONTROLLER.

**LIGHTING**– LIGHTING OF 100 LX MIN. AT PLATFORM AND LANDINGS. LIGHTING WITH SWITCH AND ELECTRICAL GFCI OUTLET IN HOISTWAY PIT.

**SAVARIA LINK REMOTE MONITORING** – NOT APPLICABLE  
Not required

**PHONE**– IF A TELEPHONE CIRCUIT IS REQUIRED, JACK OR PHONE ARE PROVIDED ON THE CAR. A DEDICATED ANALOG PHONE LINE (NO VOIP) IS REQUIRED TO BE PROVIDED BY OTHERS TO THE CONTROLLER FOR VOIP, PLEASE CONTACT SAVARIA.

## ENTRANCES

**UPPER LANDING GATES**– WHERE REQUIRED, SMOOTH SOLID BARRIERS ARE TO BE SUPPLIED AND INSTALLED ON BOTH SIDES OF ENTRANCE AT UPPER LEVEL AND MUST BE A MINIMUM OF 42" (1067mm) HIGH. ENTRANCE ASSEMBLY MUST BE IN PLACE PRIOR TO THIS PROVISION.

**FASCIA PANEL BELOW UPPER LEVEL ENTRANCE**– WHERE REQUIRED, FASCIA PANEL MUST BE FASTENED TO A SOLID WALL AND BE PERPENDICULAR TO THE FLOOR AND WALLS. HOISTWAY FASCIA IS NOT SELF-SUPPORTING FOR LONG, CONTINUOUS RUNS VOID OF ENTRANCES. ADEQUATE SUPPORT FOR THE FASCIA MUST BE PROVIDED.

**ENTRANCE ASSEMBLIES**– ENTRANCE ASSEMBLIES MUST BE ADJUSTED TO ALIGN WITH PLATFORM AND INTERLOCK EQUIPMENT. OTHERS TO ALLOW AN ADEQUATE ROUGH OPENING.

**RETURN WALLS**– RETURN WALLS AT ENTRANCES MUST BE BUILT-IN BY OTHERS AFTER ENTRANCE ASSEMBLIES ARE IN PLACE. ENTRANCE ASSEMBLY MUST BE SECURELY FASTENED TO WALLS.

# SPECIFICATIONS

## GENERAL

**CLASSIFICATION:** Enclosed Vertical Wheelchair Platform Lift  
**APPLIED CODE:** ASME A18.1–2017 Section 2 Pub  
**MODEL:** Multilift Enclosure  
**CAPACITY:** 750 lbs  
**SPEED:** 8'/min (0.04 m/s)  
**TRAVEL:** 32.75"  
**PIT DEPTH:** 3"  
**PLATFORM SIZE:** 36" X 54"  
**POWER SUPPLY:** 110V,15A,60Hz,SINGLE PHASE  
**BATTERY BACK UP:** No  
**SUSPENSION:** ACME SCREW 25mm

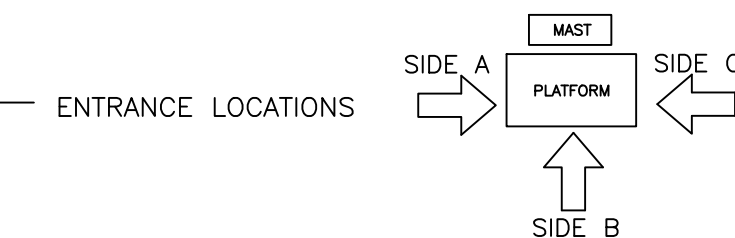
**SAFETIES:**  
**BACK UP NUT AS PER ASME A18.1–2017 Section 2 Pub**

## POWER UNIT

**MOTOR:** 1.0 HP, 110/115 VAC

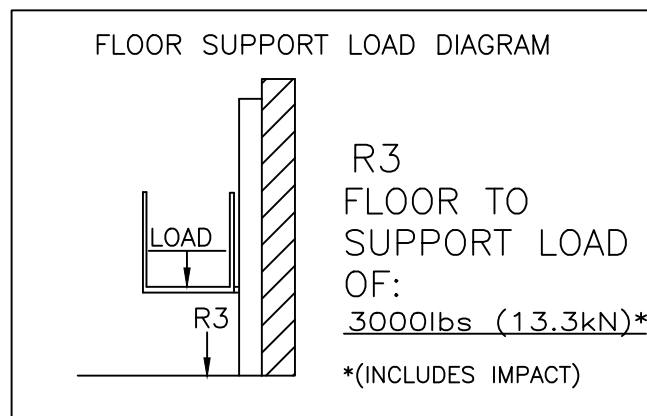
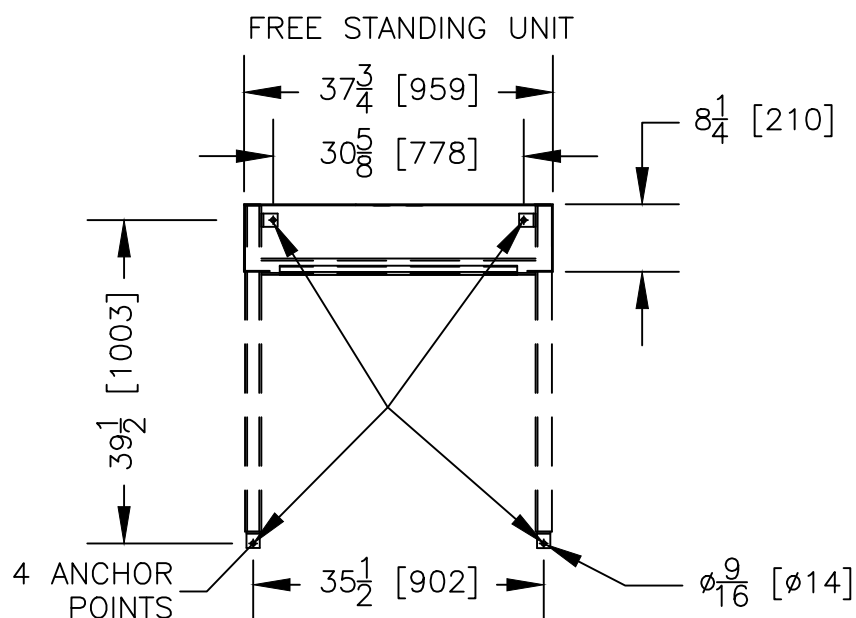
## DOORS / GATES / CALL STATIONS

	LANDING 1	LANDING 2
DOOR TYPE	Enclosure 80" Door	Enclosure 80" Door or 42" Gate
ENTRANCE SIDE	a	c
DOOR SWING	rh	lh
DOOR INSERT	Clear Plexiglass	Steel
LOCK TYPE	WR500 Lock (24V)	WR500 Lock (24V)
AUTO DOOR OPENER	Not Applicable	Not Applicable
IN FRAME CALL STN.	yes	yes
CALL STN. TYPE	Call/Send 2 Buttons	Call/Send 2 Buttons
CALL STN. KEYED	On/Off Pos. Removeable	On/Off Pos. Removeable
CALL STN. STOP BUTTON	no	no
CALL STN. MOUNTING	Flush Mounted	Flush Mount
INSULATED PRODOOR KIT	No	No



## OPTIONS PROVIDED

TOUCH UP PAINT:	1 can(s)	RAMP:	No Ramp Required
BUILDING:	Public Building	EXTRA KEYS:	
UNDERPAN SENSOR:	yes	SAFETY PINS/BLOCKS:	no
EXTERIOR UNIT :	Yes	MANUAL LOWERING DEVICE:	yes
UNIT COLOUR:	Standard Colour – Beige	PIT SWITCH:	yes
FLOOR:	Anti-Skid Grey Paint	PHONE:	ota
FLOOD SWITCH:	no		
FOLD SEAT:	no		



Signed by:  
*Carrie Joy Dickson*  
 C96E64EDB3DD4BF...

**OFFICE USE ONLY:**  
 CONFIGURATION VERSION STAMP: 0.0  
 MODULE VERSION STAMP: M-S-4.7.0

Part No. MULTILIFT ENCLOSURE  
 Variant No. 30119632

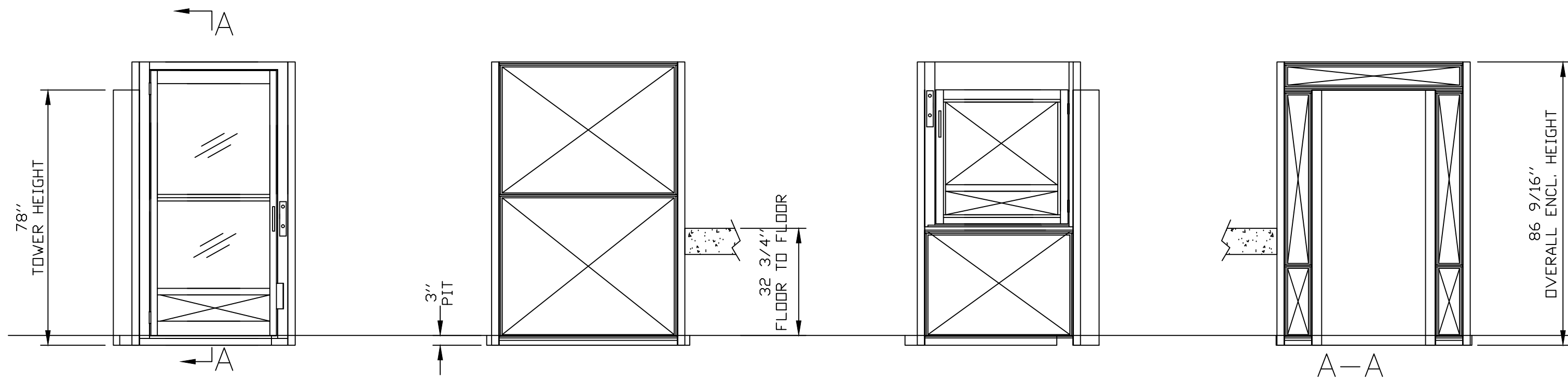
**DATA SHEET**  
 ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT

**CUSTOMER:** TRANSITIONS LIFT & ELEVATOR  
**PROJECT:** CJ'S OFF THE SQUARE  
**ADDRESS:** 218 3RD AVE. N., FRANKLIN TN, USA, 37064

**DATE:** 04-08-26  
**REVISION DATE:** dd/mm/yy  
**COMPLETED BY:** GIRISH T

**savaria**  
 JOB No. M-6254602 OF 3  
 SHEET No. 2 OF 221

# PANEL DRAWING



- |               |                  |               |             |
|---------------|------------------|---------------|-------------|
| INSERT STYLE: | Door and Gate    | INSERT STYLE: | Enclosure   |
|               | SHEET METAL      |               | SHEET METAL |
|               | Clear Plexiglass |               | Glass       |

Signed by:  
*Care Joy Dickson*  
 C96E64E0B3DD4BF...

**ENCLOSURE VIEWS**  
 ENCLOSED VERTICAL WHEELCHAIR PLATFORM LIFT

CUSTOMER: TRANSITIONS LIFT & ELEVATOR  
 PROJECT: CJ'S OFF THE SQUARE  
 ADDRESS: 218 3RD AVE. N., FRANKLIN TN, USA, 37064

*OFFICE USE ONLY:*  
 CONFIGURATION VERSION STAMP: 0.0  
 MODULE VERSION STAMP: M-S-4.7.0

DATE: 04-08-26  
 REVISION DATE: dd/mm/yy  
 COMPLETED BY: GIRISH T

Part No. MULTILIFT ENCLOSURE  
 Variant No. 30119632



JOB No. M-625480  
 SHEET No. 3 OF 3

# Wheelchair Lift Replacement

CJ's Off the Square  
218 3rd Ave North  
Franklin, TN 37064

## Submitted by:

Caren Joy "CJ" Dickson  
Owner, CJ's Off the Square, Co-property owner, Lantz Enterprises, LLC  
(615) 281-5727  
cj@cjsoffthesquare.com

## Project Overview

CJ's Off the Square is proposing the replacement of the existing wheelchair lift located at the front of the property on the north side of the front porch.

The original intent was to replace the existing lift with a similar unenclosed model in the same location. However, the State of Tennessee has advised that an enclosed lift is required for licensing and operation of the new equipment. As a result, the proposed lift will remain in the same location and continue to serve the same accessibility function, but will include an enclosure as required by the state.

The proposed lift has been selected to closely match the size and placement of the existing lift in order to minimize visual impact to the historic character of the property. The primary difference is a taller entry door required for the enclosed design. A clear plexiglass enclosure has been selected to reduce the visual weight of the structure and preserve views of the front porch and surrounding architecture.

To further minimize the visual impact of the lift, the existing concrete pad will be replaced to allow for zero-entry access into the lift, eliminating the need for an access ramp. While this approach adds cost to the project, it significantly reduces the overall footprint and visual presence of the installation.

The proposed replacement will allow CJ's Off the Square to maintain accessibility for guests while preserving the appearance and character of the property to the greatest extent possible.

# Property & Accessibility Context

CJ's Off the Square is a historic property in downtown Franklin that hosts weddings and events for up to 135 guests.

Accessibility is a critical component of our operations. The lift provides access to the historic home for guests with mobility limitations, allowing us to serve all clients and their families in an inclusive manner.

Due to the historic nature, site constraints, and existing layout, maintaining a similar lift footprint is important to:

- Preserve the integrity of the property
- Avoid major structural changes
- Maintain safe and efficient guest flow during events

## *Front Elevation*



*The wheelchair lift is on the North side of the house, accessible from the driveway and sidewalk. It provides access to the front porch.*

*The lift is shielded from street view by the arborvitae, but clearly visible from the driveway.*

*218 3<sup>rd</sup> Ave. N  
Franklin, TN 37064*

# Existing Lift Conditions

- Installed approximately 15 years ago
- Open (unenclosed) vertical platform lift
- Located in an exterior setting
- Functionally aligned with accessibility needs but now requires replacement due to age and reliability concerns



*The arrow indicates the driveway. The lift is about 10 feet from the sidewalk at the side of the house.*



## Proposed Replacement Lift

- Savaria Multilift Vertical Platform Lift with Enclosure System
- Travel – Up to 48”
- Landings – 2 Stops
- Platform Type – Enter/Exit Opposite Sides
- Platform Size – 36” x 54”
- Upper Landing – 36” Top Landing Gate – Metal Insert – Manual Operation
- Upper Landing Control – Call/Send Buttons – Flush Mounted in Gate Frame
- Lower Landing – 80” Aluminum Door – Clear Plexi Insert – Manual Operation
- Lower Landing Control – Call/Send Buttons – Flush Mounted in Door Frame
- Phone – One Touch Phone

The new lift will include a recessed 3” pit and a new concrete pad designed to provide zero-entry access at grade level. This design eliminates the need for an access ramp, reducing the overall visual footprint of the lift installation and creating a cleaner appearance at the front of the property.

The proposed enclosure will be finished in a neutral beige tone with clear plexiglass entry door, helping the lift blend with the existing building materials and minimizing its visual prominence on the property.

(PDF of drawings attached)





---

**File #: 26-0551**

---

**DATE:** 5/11/2026

**TO:** Historic Zoning Commission

**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner  
Elizabeth Bulay, Assistant Preservation Planner

**SUBJECT:**

Consideration Of Demolition And New Construction (Principal) At 1309 Adams St.; Ben McCreary, Applicant.

**PURPOSE:**

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning the demolition of the principal building and reconstruction of the historic building with alterations and an addition at 1309 Adams Street.

**APPLICABLE DESIGN GUIDELINES:**

2022 Franklin Historic District Design Guidelines:  
Chapter 2: Historic Residential Building  
Chapter 2: Additions to Historic Residential Buildings  
Chapter 6: Site and Setting  
Chapter 9: Modern Features  
Chapter 10: Demolition

**PROJECT INFORMATION:**

COF Project Number: 9119  
Applicant: Ben McCreary  
Owner: Stephen Hendrix

**BACKGROUND:**

The property located at 1309 Adams Street is located in Adams Street National Register Historic District. The site features a ca. 1900 1 ½ story gabled-ell frame residential building. The National Register lists the building as contributing to the district. The request has been reviewed by the DRC in January, March, and April of 2026 and December 2025 and feedback has been incorporated and additional information has been included for review.

The proposal includes a request for the demolition of the principal building and reconstruction of the building with alterations and an addition. The Historic Residential Building Guidelines and Additions to Historic Residential Building Guidelines are applied to maintain the standard of the historic

residential building during reconstruction. The act of reconstruction is highly unique but is supported to maintain the character and preserve the pattern of development seen within the district.

### **Demolition:**

The proposal includes a request for the demolition of the historic principal building on the property. A structural report by an engineer has been included for review; it details the building's condition and the need to replace 60-70% of the structural elements. A separate report details cost estimates for rehabilitation of \$857,660 and new construction of \$662,460. A report and plans for future action for the reconstruction of the building, with modifications and an addition, are included in the submittal for consideration of demolition.

The Guidelines recommend conducting routine maintenance and major repairs on historic structures to ensure their preservation. Demolition is not permitted unless there are extraordinary circumstances, so as to maintain the integrity and sense of place associated with Franklin's historic districts. Further, the Guidelines provide that demolition can only be approved if the Historic Zoning Commission deems one or more of the following conditions to be met:

- If a building has lost its architectural and historical integrity and its removal will not adversely affect the district's historic character. Loss of integrity must be substantiated with photographic documentation and a physical description of the property that addresses relevant issues.
- If the denial of the demolition will result in an unreasonable economic hardship on the applicant, as determined by the HZC. Please refer to the Economic Hardship Considerations Section. The HZC will use this information to assist with the review of economic hardship claims.
- If the structural instability or deterioration of a property is demonstrated through a report by a structural engineer or architect with demonstrated experience working with historic structures. Such a report must clearly detail the property's physical condition, reasons why rehabilitation is not feasible, and cost estimates for rehabilitation versus demolition and construction of a comparable structure. In addition to this report, there should be a separate report that details future action on the site.

The materials included within the application demonstrate a level of structural instability and deterioration of the building that necessitate action in order to make the building habitable. Based on the previous DRC discussions, when the scope of work entailed partial demolition with one wall left to preserve the building, the methodology would constitute demolition if the one remaining wall were relocated or taken apart. The cost evaluation included for review demonstrates that new construction is more feasible at a total amount of \$662,460 compared to the cost of rehabilitation at \$857,660. The proposed future action for the site has been detailed, and a reconstruction of the existing historic building with alterations and an addition to the building has been proposed. The proposed future action is appropriate for infill development and maintains the rhythm of buildings along the street, and is compatible with the surrounding historic buildings.

### **New Construction (Reconstruction of the Historic Residential Building)**

The request includes a proposal to reconstruct the historic building with alterations and an addition.

The building would be reconstructed in the same location and maintain the existing orientation. The proposed reconstruction would retain the historic form and massing of the original building with

alterations to restore a historic front porch outlined on historic Sanborn Maps. The proposed reconstruction would recreate elements that contribute to the building style and historic character. The height of the building will increase by 3 ½ inches. While the height of the building is taller, the appearance of the building is maintained.

The proposed new roofing on the historic building would maintain the roof form and pitches that are noted as existing today. Asphalt shingles exist, and new asphalt shingles are proposed. The roof is appropriate.

It is proposed to remove the existing front stoop element and recreate the front porch seen on Sanborn Maps. The reconstruction of the porch will utilize the existing detailing and trim seen on the building, and is appropriate to remain.

The existing foundation is a combination of stone and CMU, and it is proposed to utilize the remaining stone foundation as a veneer on the new foundation along the sides of the building. On the front of the building, it is proposed to maintain the existing appearance with no foundation materials.

It is proposed to remove the synthetic vinyl siding and use wood lap siding with a 5" reveal for the building. The use of wood lap siding is appropriate. Existing wood lap siding has not been found beneath the vinyl siding to determine the existing reveal; however, if siding is found beneath the vinyl, the reveal should match what is found on the building. Color schemes have not been indicated at this time; however, it would be recommended to select colors and schemes that would be typical of the age and style of the building.

It is proposed to reuse and reproduce the rafter tails that exist on the building. The gable vent on the front of the building is proposed to be altered from its existing octagonal shape to a rectangular one. New ornamental detailing is proposed within the gable end that is not seen on the building. The Guidelines recommend the following:

- Preserve and maintain historical architectural details and ornamentation. New architectural features should not be added.

The proposed reuse and reproduction of existing details and ornamentation is appropriate. The introduction of the decorative gable detail is not appropriate, as it is not seen on the building or within the district on similar buildings.

The configuration and location of the front entrance and transom are proposed to be maintained. The existing door is not historic and is appropriate to replace. The proposed front door is appropriate for the age and style of the building.

The historic building features a combination of wood and aluminum-clad windows. It is proposed to preserve and reuse two of the historic windows on the front façade. New wood windows are proposed throughout the remainder of the building. The windows are proposed to maintain the one-over-one sash and have the appearance of being double-hung. Specifications have not been included at this time. New windows are proposed along the side facades of the historic building form. The restoration and utilization of the historic wood windows are supported by the Guidelines.

The existing vinyl shutters are not proposed to be repurposed or replaced on the reconstructed building.

A dormer-like element is proposed on the left elevation on the rear of the historic building form. The dormer is located just below the gable ridge and infills the area between the two gables. The dormer is proposed to be 30" from one sidewall and has a slope of 2:12. The Guidelines recommend the following for dormers:

- Size and locate dormers to fit with the historic architectural style and roof shape of the building.
- Dormer roof pitch should be at least 3:12 and no less than half the main roof pitch.
- Dormer sidewalls should be at least 30 inches from the exterior building wall.

While the dormer-like element is proposed in a location with more limited visibility, the element does not meet the Guidelines for pitch and does not have a traditional location, creating a non-traditional dormer form that is not appropriate.

The existing chimney is proposed to be reconstructed and appears appropriate.

Half round gutters and downspouts are proposed. The gutter style is appropriate for the age of the building. While the locations of the downspouts are not clearly indicated within the plans, they should be located away from architectural features in be placed in less visible locations.

### **Addition to Historic Residential Building (Reconstructed)**

A one-story addition to the reconstructed historic building form is proposed. The proposed placement and orientation of the addition to the historic building form is located to the rear of the building and is oriented to retain the patterns of development seen on the street. The form of the addition appears to be subordinate to the historic building in height and massing. Minor insets and roof breaks are proposed to differentiate the addition from the historic building form. However, the right elevation does not utilize a break in the massing or roofing to differentiate the historic footprint from the new addition. The Guidelines recommend the following for building form:

- Design additions to be compatible with the historic building yet clearly identifiable through the use of differentiating methods such as roof breaks, wall insets, wall off-sets, material changes, and lower eave lines. A combination of these methods should be considered based on the specific context of the building and the site.

The proposed footprint of the addition is 1,335 sq. ft. and the historic building footprint is 2,234. The proposed addition is 59.76% of the historic building footprint. The Guidelines recommend the following:

- Design the size of an addition to be subordinate to that of the historic building. The building footprint of an addition should not exceed 50 percent of the building footprint of the historic portions of the building (portions to remain that are at least 50 years of age).

While this does exceed the recommended 50% addition size recommendation, the overall footprint of the building is approximately 9% of the lot coverage and is appropriate for new construction. The

reconstruction of the building creates a highly unique situation with the proposed expansion of the reconstruction.

The proposed roof shape, pitches, and complexity and are compatible with the historic building form.

A parge coated foundation is proposed for the addition. The Guidelines recommend the following for additions:

- If the historic building is masonry and concrete blocks are used for the foundation, paint the addition foundation a color to match the exposed mortar joints in the historic building.

The finish of the addition foundation was not indicated but should be compatible with the existing stone that will be applied as a veneer on the historic building form.

Wood lap siding is proposed on the addition with a 5" reveal. As noted with the historic building, if a different reveal is discovered underneath the vinyl siding, the reveal discovered should be utilized instead. Asphalt shingle is proposed to carry over from the historic building form to the addition. The rear sunroom will utilize standing metal roofing. The proposed materials are consistent with the recommendations of the Guidelines. Minimal details and ornamentation are proposed on the addition as the historic building is not highly ornate and are appropriate.

A new entrance on the right elevation and rear are proposed. On the right elevation, a ½ light paneled door is proposed and on the rear a set of French 8-lite doors is proposed. The Guidelines recommend the following for entrances:

- Use traditional materials with appearances similar to the doors on the historic building.

The material specifications of the doors were not included and should consist of traditional materials with appearance similar to the doors on the historic building.

A combination of single and paired windows are seen on the historic building form and are proposed throughout the addition. Near the rear and on the rear elevation additional windows are proposed. On the right elevation, two wood shutters over faux window openings are proposed to maintain the rhythm and spacing seen throughout the building based on feedback from previous DRC meetings. Four-over-four lite wood SDL windows that have the appearance of being double hung are proposed. The Guidelines recommend the following:

- Design new windows to be compatible with the size, detailing, placement, rhythm, and relationship of solids to voids of those on the historic building.

The window lite pattern proposed is different than the historic one-over-one lite windows seen on the historic building but are compatible with the historic pattern of window profiles on additions and windows on rear and obscured facades of historic buildings. The windows appear consistent with the Guidelines.

Half round gutters and round downspouts are proposed to extend from the historic building form throughout the addition. The finish of the gutters and downspouts was not included for review. The profile for the gutters is appropriate.

A chimney is proposed within the new addition to match the historic chimney which will be reconstructed. The chimney will be lower in height than the historic chimney and is appropriate.

The request includes site alterations to replace the existing walkway with a new concrete walkway and provide a new concrete driveway. The existing locations of these elements will be maintained. The proposed parking pads are located to the side and rear of the building. The proposed site alterations are appropriate.

Mechanical equipment is proposed on the left elevation of the building. No screening is proposed within the plans. The Guidelines recommend the following for mechanical equipment:

- Place ground-mounted mechanical equipment behind buildings and screen it from street view with landscaping, fencing, or walls.

The equipment must be screened from street view.

The proposed reconstruction of the building is supported and creates a unique application of the Guidelines to ensure a high standard of construction is maintained for replication of the building. However, some minor elements of the reconstruction do not align with the Guidelines. The proposed building meets the requirements for new construction except a few elements such as the dormer element and new architectural details and ornamentation. However, because the historic residential building guidelines are applied to ensure a higher standard for reconstruction and additions, the size of the new construction that is being reviewed as an addition exceeds the recommended size for an addition to a historic building at 58% of the historic building footprint.

## **RECOMMENDATION:**

**Staff recommends approval of the demolition of the principal building with the following conditions:**

1. The location, documentation of the state of the windows during removal, and the method of preservation of the historic windows that are proposed to be reused must be documented with the Preservation Planner.
2. The existing rafter tails must be photographed and documented for reproduction and reuse.
3. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
4. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

**Staff recommends denial of the new construction (reconstruction and addition) based on the following Guidelines:**

- Preserve and maintain historical architectural details and ornamentation. New architectural features should not be added.

- Size and locate dormers to fit with the historic architectural style and roof shape of the building.
- Dormer roof pitch should be at least 3:12 and no less than half the main roof pitch.
- Dormer sidewalls should be at least 30 inches from the exterior building wall.
- Design additions to be compatible with the historic building yet clearly identifiable through the use of differentiating methods such as roof breaks, wall insets, wall off-sets, material changes, and lower eave lines. A combination of these methods should be considered based on the specific context of the building and the site.
- Design the size of an addition to be subordinate to that of the historic building. The building footprint of an addition should not exceed 50 percent of the building footprint of the historic portions of the building (portions to remain that are at least 50 years of age).

**If the commission votes to approve the new construction (reconstruction and addition), the following conditions are recommended:**

1. Light fixtures must be submitted to and approved by the Preservation Planner or the HZC. If gas lanterns are desired, the fixture must be reviewed by the HZC.
2. The downspouts must be located away from architectural features.
3. The mechanical equipment must be screened from street view. The method of screening must obtain a COA prior to building permit approval.
4. Material specification and finishes for the siding, doors, gutters and downspouts, and foundation must be submitted to the Preservation Planner prior to building permit approval to ensure consistency with the Guidelines.
5. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
6. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

## Elizabeth Bulay

---

**From:** jimroberts45@comcast.net  
**Sent:** Thursday, May 7, 2026 6:13 PM  
**To:** Planning Intake  
**Subject:** 1309 Adams St Demolition

***ATTENTION COF staff: This email originated from outside the City of Franklin. Please use discretion when clicking on attachments & links from unknown senders or suspicious emails.***

My wife and I have owned our home at 1327 Adams St since 1978. In those years much has changed in the 1300 block and much has been reviewed by the HZC. The property at 1309 has been before the Commission at least 3 times before trying for approval to demolish the main structure. In the recent DRC meeting Ben McCreary and Michael Lee made the most compelling reasons to support the request to demolish the building.

Mr. McCreary stated "It has been a long time since someone cared about this house". I could not agree more having been inside years ago when the last occupant was there. There has been little effort made to strengthen or rehabilitate the structure. It is and has been an eyesore to the neighbors in that block for years. In recent years when no one lived there has been at great deal more deterioration. Properties on either side have been greatly improved while this one remains in sad shape.

For me the design guidelines are clear.

- Removing the structure poses absolutely no undue impact on the context of the neighborhood. I know you have a proposal for the structure that would replace the house. I will not comment on that as you and the applicant and architect can resolve that. Precedent is there, however, with a property on Morningside Dr at Franklin Rd. The single family structure was removed and a new one with similar design erected in it's place. This is a very similar situation to 1309 Adams.
- The structure has lost its architectural and historical integrity. It's removal most certainly will not adversely impact the historical character of the Adams Street District. Rather a new structure along the concept that has been presented will only add to the long established and continually improving overall Adams Street District.
- Denial of the demolition will certainly result in an unreasonable economic hardship to the property owner when reviewing Michael Lee's cost analysis of \$160,000 just to stabilize the existing structure.

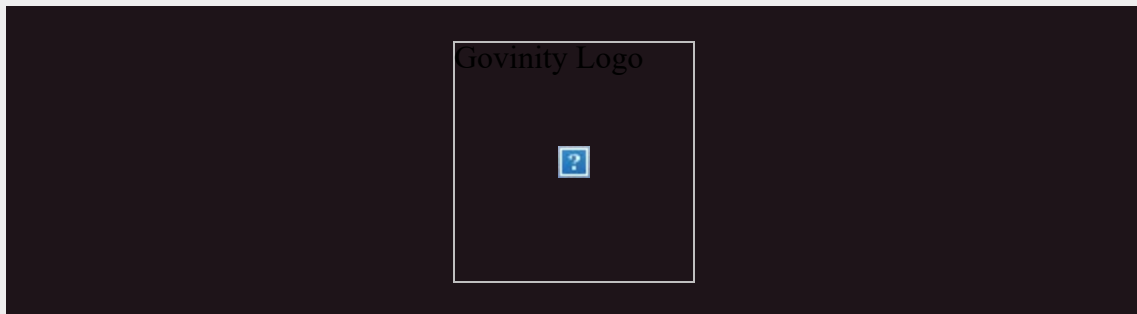
I urge the Commission to vote in favor of the applicant's request to demolish this structure.

Jim Roberts

**From:** [Govinity Notifications](#)  
**To:** [emily.huffer@franklinn.gov](mailto:emily.huffer@franklinn.gov)  
**Subject:** New message received for Historic Zoning Commission  
**Date:** Monday, May 11, 2026 12:04:40 PM

---

***ATTENTION COF staff: This email originated from outside the City of Franklin. Please use discretion when clicking on attachments & links from unknown senders or suspicious emails.***



Hi Emily Huffer, Preservation Planner,

You have received a new message through the Govinity public portal regarding  
**Historic Zoning Commission.**

**From:**

Adam and Natalie Ballash ([aballash@boyle.com](mailto:aballash@boyle.com))

**Message:**

Emily - on behalf of myself and my wife, we wanted to write the HZC with our support for the proposed demolition and new construction of 1309 Adams St. We have lived near this property for over 20 years, and directly adjacent to the property for the last 8 years. For the majority of this time 1309 has been vacant or condemned. We have prohibited our children when they were younger from going near this property and its buildings for fear of injury or because of the interactions with the skunks, foxes or other animals living below the open foundations and abandoned barn. We chose to invest and build in the historic zoning district of Franklin for our own home and we appreciate the protections that the guidelines offer for our property and our neighbors. But, sometimes we must use common sense and ask for what is best for the overall neighborhood while using the historic regulations as "guidelines" and not gospel rules, and at

this time that would be clearly to demolish the home and build back a new structure, including the addition. The proposed plans appear to be done in a thoughtful and careful manner and we believe will further contribute to the quality of our neighborhood. In addition to the approval of the applicant's application the only other topic that we would ask for the HZC to clarify would be the intent and proposals for the existing accessory structure. I don't know if that structure was also condemned, but it has fallen to neglect and appears to have been further damaged during the ice storm. It would be our ask that in approval of the applicant's current proposal that the commission also place specific criteria on that barn as it appears to be silent in the staff report and application today. Thank you, and if you have any questions, please do not hesitate to contact us. Thanks, Adam and Natalie Ballash 1321 Adams St.

You can reply directly to this email or send an email to [aballash@boyle.com](mailto:aballash@boyle.com).

Need assistance? We are happy to help! Respond to this email or reach out to us at [support@govinity.com](mailto:support@govinity.com).

© 2026 Govinity Inc | All rights reserved | [Privacy Policy](#) | [Terms of Service](#)

**April 24, 2026**

**Historic Zoning Commission**

City of Franklin  
Franklin, Tennessee

**Re: 1309 Adams Street – Project Summary - Request for Approval of Demolition and Reconstruction**

Members of the Historic Zoning Commission,

We are writing to present the findings and conclusions related to the existing residence at 1309 Adams Street, a contributing structure within the Adams Street Historic District, and to outline the proposed path forward for the property.

From the outset, the project team approached this property with the intent to preserve the historic fabric of the district, maintain streetscape continuity, and retain the character-defining features of the residence—particularly the primary (front) elevation. Initial efforts focused on stabilization and selective rehabilitation of the existing structure. However, following detailed investigation, selective demolition, and consultation with both a structural engineer and an experienced historic contractor, it has been determined that preservation through stabilization is not feasible.

---

## **Analysis of Existing Conditions**

The existing structure has experienced extensive deterioration across foundational and structural systems. The original rubble stone foundation is non-continuous and lacks verified footings. Portions of the foundation have been replaced with CMU; however, these sections show no evidence of proper footing or mechanical connection to the structure above. The framing system is not adequately anchored to the foundation, and the building lacks a continuous and functional load path from roof to foundation to resist gravity and lateral loads.

Wood sill members and girders exhibit advanced termite damage and material loss. Multiple floor framing members have failed or are significantly deteriorated. In at least one location, an exterior wall was observed to be unstable and capable of being displaced out of plane with minimal force, indicating a critical loss of structural integrity. The roof structure, consisting of undersized rafters, shows visible sagging and would require full replacement or substantial reconstruction to meet current standards.

Additionally, the structure lacks a functional crawl space, preventing proper ventilation and access. Achieving a code-compliant condition would require either lifting the structure or excavating below it while in place—both of which introduce significant risk to an already compromised building.

Beyond structural deficiencies, the exterior envelope has also experienced substantial alteration and partial loss of historic material and detailing. The entire structure is currently clad in vinyl siding. Only the siding at the primary (front) gable has been removed for inspection, where it was determined that the original historic siding had been previously removed and replaced with plywood sheathing and vinyl

siding. The condition of any underlying historic wood siding or sheathing at other portions of the structure remains unknown.

At the primary elevation, one of the two front windows retains original historic (wavy) glass. The second window appears to retain its original frame, though the glazing has been replaced; the frame itself is severely deteriorated. Only limited portions of original trim remain. These elements will be carefully salvaged, repaired, and reused to the extent feasible.

The original front porch has been enclosed through prior alteration, resulting in the loss of its historic configuration, siding, and trim detailing. As a result, key character-defining features of the primary elevation have already been substantially altered or removed.

Based on the structural engineer’s evaluation, approximately 60–70% of the structural elements would require replacement or reinforcement to meet the requirements of the International Residential Code. However, when considering the practical realities of construction—including excavation beneath the structure, installation of new continuous footings, and reestablishing a continuous load path—the contractor has determined that nearly all structural components (approximately 98%) would need to be removed and replaced in order to safely execute the work.

Taken together, the structure has already lost a substantial portion of its historic integrity, both structurally and materially. Moreover, the process required to stabilize and reconstruct the building in place would necessitate the removal of the overwhelming majority of remaining original material. In effect, the outcome of stabilization would be materially equivalent to reconstruction, with only limited and fragmentary retention of historic fabric.

---

### **Proposed Future Action**

In light of these findings, we request to demolish the existing structure due to **structural instability or deterioration**, as outlined in the Franklin Historic District Design Guidelines, Demolition Approval Criteria. We are also proposing to construct a new residence that closely reflects the historic character of the property and the district.

The reconstruction will:

- Reestablish the form, scale, and massing consistent with the residence’s evolution, with particular emphasis on its circa-1930s configuration
- Faithfully reconstruct the primary (front) elevation to maintain its contribution to the streetscape, including reinstating historically appropriate siding, trim, and architectural detailing
- Restore the front porch to a historically appropriate open configuration based on available evidence and district precedents, reintroducing a key character-defining feature and improving the historic integrity of the front elevation

- Incorporate salvaged historic materials, including remaining trim elements and the two front historic windows, supplemented with compatible new materials where original elements are no longer present
- Include minor and necessary modifications to accommodate modern construction requirements, including compliant foundation systems, appropriate structural member sizing, and concealed connections required for life safety and code compliance

Existing conditions have been documented to inform accurate reconstruction.

In addition, a modest rear addition is proposed, as outlined in a separate design document. This addition has been intentionally located and designed to remain subordinate to the primary massing, set behind the historic form, and minimally visible from the public right-of-way, thereby preserving the visual integrity of the streetscape.

---

## Conclusion

The project team has undertaken a thorough and good-faith evaluation of all feasible preservation strategies. The findings of both the structural engineer and contractor confirm that the existing structure is severely compromised, lacks a continuous and functional structural system, and cannot be feasibly stabilized without effectively reconstructing it in its entirety.

Given the extent of deterioration, the loss of historic integrity inherent in any viable stabilization effort, and the disproportionate financial burden associated with rehabilitation, full reconstruction represents the most responsible and appropriate course of action.

This approach ensures that the property will continue to contribute to the Adams Street Historic District through a carefully designed replacement that preserves its visual character, reinforces the streetscape, and provides a safe and durable structure for long-term use.

We respectfully request the Commission's consideration and approval.

Sincerely,

Ben McCreary, AIA, LEED AP  
Chisel Workshop

Phillip E. White, PE  
912 Hidden Oak Pl.  
Brentwood, TN 37027  
(615) 969-3505

April 7, 2026

Ben McCreary  
Chisel Workshop, LLC  
PO Box 680566  
Franklin, TN 37068

RE: 1309 Adams Street  
Franklin, TN

Dear Ben,

I made a site visit April 3, 2026, at the above reference site to assess the structural integrity of the existing house.



The house is a wood framed structure with a vinyl and/or wood siding. The foundation consists of stacked stone and CMU walls with intermediate stone piers. The house sits on a flat lot. The

house was constructed in 1900 with portions added in the 1920's. Below are my observations of structural deficiencies that will need to be addressed.

- The original joists in the front two rooms were replaced at some point with 2x12 floor joists. However, there is no crawlspace for proper ventilation. To create a proper crawlspace, the area under the joist would need to be excavated a minimum of two feet below the joist or the house would need to be lifted, or a combination of both.



- The new floor joist mentioned above were attached to the exterior band, but the band is not attached to the foundation. Additionally, band is not pressure treated and is in direct contact with the foundation. A pressure treated sill plate that is mechanically attached to the foundation is required.



No attachment of the floor system to the foundation block.

- In the front right room, the exterior wall shows signs of decay and loss of attachment to the floor system. I was able to move the wall in and out of plane with a slight push. This wall is precarious and should be shored. Therefore, additional wall coverings should be removed to determine the extent of the decay. However, based on the observed behavior at the time of the visit, it appears that this portion of the wall will need to be replaced.



- An examination of the remainder of the perimeter revealed that the original house had a stacked stone foundation wall. Portions of the stack stone wall have fallen or not continuous (See photograph below) which will not constitute as a functional foundation. At some time, portions of the wall was replaced with a CMU wall. There were no connections of the perimeter framing to either the stone or the CMU. Examination of the core of the CMU suggests that the CMU was laid without a footing. Further exploration will need to be done to determine if there is a footing. If there is no footing and since there is no attachment of the framing to the foundation wall, it will be necessary to replace the existing foundation with a footing and new CMU wall with a sill plate to attach the framing to foundation.





Extensive termite damage to studs around window. Will need to be completely replaced.

- There are multiple floor members in the center of the house that are significantly decayed or have broken because of the extent of decay. All of these members will need to be replaced.



- Based on limited access, it appears that the roof system is constructed of 2x4 rough sawn rafters at 24 inches on center. The roof also exhibits sagging as seen in the photograph below. The roof will either need to be replaced with rafters properly sized or the roof will need to be jacked back into place and fully supplemental system installed.



- Limited visible access to underneath due to the lack of crawl space did reveal that several of the girders under the loadbearing walls exhibit significant decay. The depth of decay indicates that they will need to be replaced.



In summary, since it is anticipated that the house will be altered for updated use, the existing building provisions of the International Residential Code will need to be implemented. For alterations, the code required the structural elements will need to meet current code requirements. On the basis of the current code provisions, it is my professional opinion that approximately 60 to 70 percent of the existing structural elements will need to be replaced due to decay or replaced and/or strengthened to meet the current International Residential Code. The lack of any visible mechanical connection to the foundation and the lack of a continuous perimeter foundation will need to be addressed as well so the house has the proper resistance to lateral loads. In conclusion, the structural integrity of this house is marginal at best and the most cost effective solution would be to replace it.

With regards to my experience, I have been practicing as a structural engineer since 1988 and have been at one time licensed as a professional engineer in 32 states and the District of Columbia. I was the founder and owner of PWP Structural Engineers until 2018. I am currently

Phillip E. White, PE  
912 Hidden Oak Pl.  
Brentwood, TN 37027  
(615) 969-3505

still licensed in the State of Tennessee as well as eight other states and the District of Columbia. I have been involved in the analysis of and design of modifications to multiple older historical buildings in the greater Nashville area including the following:

- Tootsies Orchid Lounge
- Tin Roof Broadway
- Honky Tonk Central
- Seismic strengthening of the St. Paul's Episcopal Church bell tower.
- Werthan Lofts Nashville
- 345 W Main St, Franklin, TN
- Multiple homes on Fair Street, W Main Street and Lewisburg Pike.

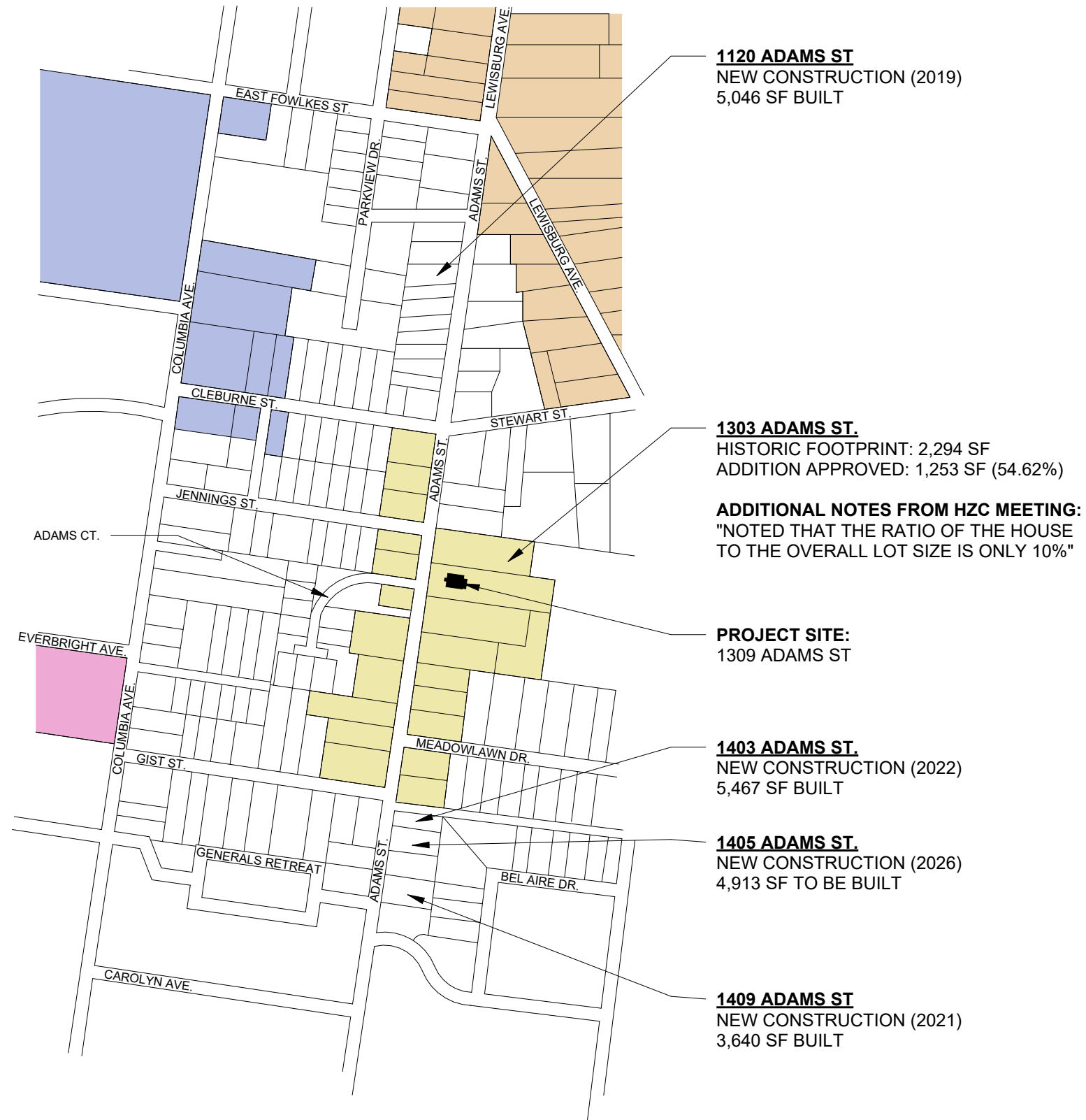
Respectfully Submitted,

Phillip E. White, P.E.



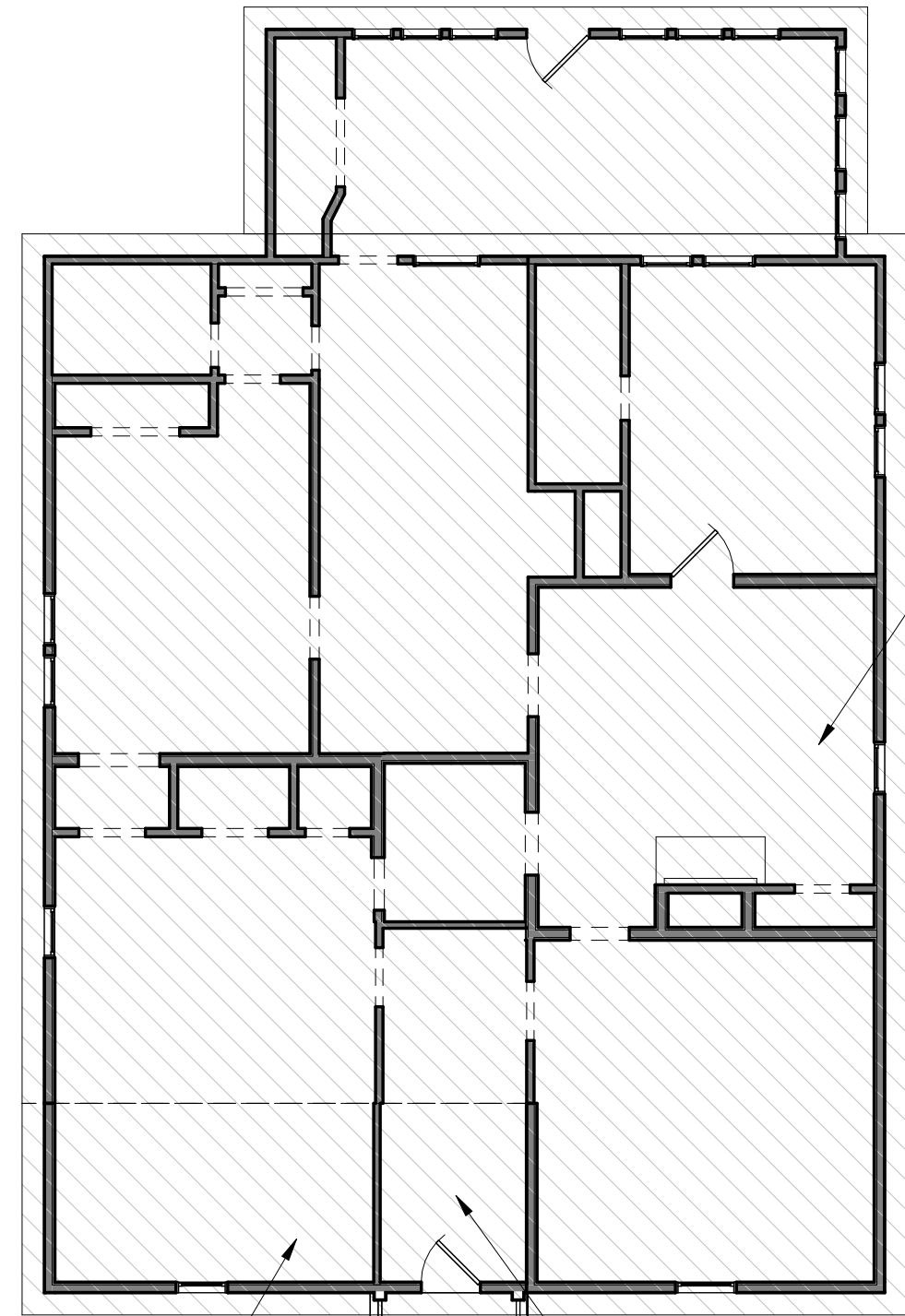
**HISTORIC DISTRICT LEGEND:**

- ADAMS STREET
- EVERBRIGHT AVE
- LEWISBURG AVE
- LOCAL LANDMARKS



A202  
1

EXIST PRIMARY FOOTPRINT: 1,946 SF  
EXIST REAR ADDITION: 288 SF  
TOTAL FOOTPRINT: 2,234 SF



CIRCA 1900s HOUSE WITH  
ADDITIONS FROM CIRCA 1930s

A202 2

2 A201

1928-1940 SANBORN MAPS SHOW  
STRUCTURE AS A PORCH

FRONT PORCH INFILLED AT  
UNKNOWN YEAR.

1  
A201

**EXISTING EXTERIOR**

- VINYL SIDING
- METAL AND VINYL SHUTTERS
- HISTORIC WOOD WINDOWS REMAIN
- EXPOSED RAFTER TAILS AT GABLE
- NEWER AGED ROOF WITH PLYWOOD SUBSTRATE
- CMU AND RUBBLE STONE FOUNDATION WITHOUT MORTAR AND BEARING ON DIRT.
- NEW FRONT DOOR



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING LEFT ELEVATION



EXISTING RIGHT ELEVATION

EXISTING FRONT PORCH



DEMARCATION BETWEEN HISTORIC AND NEW FRAMING SHOWING HOW ORIGINAL PORCH WAS ENCLOSED

A. STUDS AND SHEATHING FROM LATER IN THE 20TH CENTURY.

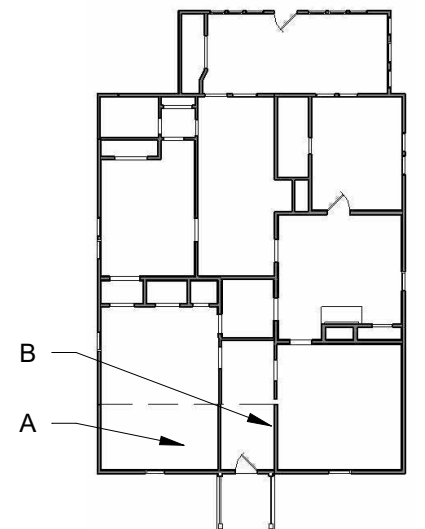


B. EXPOSED RAFTER TAILS FROM FRONT GABLE SEEN INSIDE OF FRONT ROOM CEILING. THIS INDICATES THAT THE PORCH ROOF SLOPE WOULD HAVE BEEN LOWER THAN THESE RAFTER TAILS AND THESE WOULD HAVE BEEN SEEN FROM THE FRONT OF THE HOUSE.

THE FRAMING ELEMENTS THROUGHOUT THE HOUSE VARY IN SIZE AND APPEARANCE. INDICATIVE OF WHEN THE ITEMS WERE MOTIFIED.

INTERIOR CONDITIONS

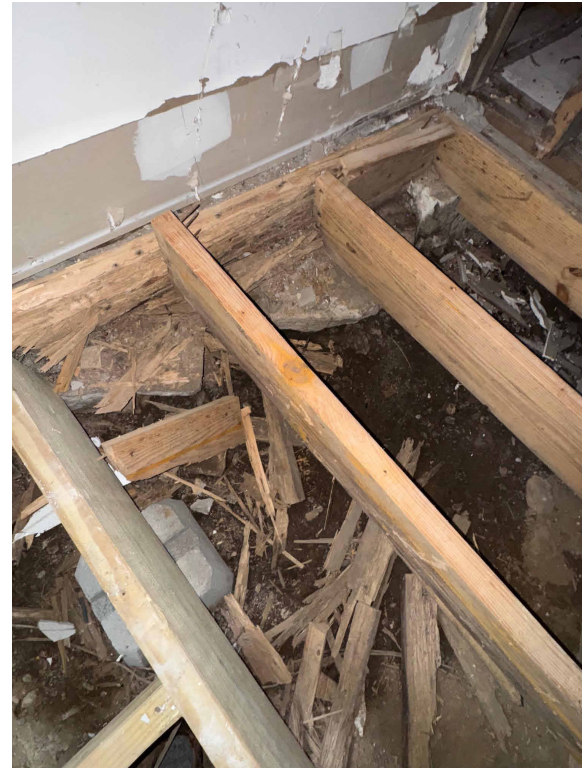
- MUCH OF THE ORIGINAL LATH AND PLASTER WAS REPLACED WITH DRYWALL PRIOR TO OUR EXPLORATION. DRYWALL HAS BEEN REMOVED AT THIS STAGE TO REVEAL STRUCTURE.
- FRAMING AS INDICATED IN THE FOLLOWING PAGES.
- HISTORIC FIREPLACE(S) HAVE BEEN REMOVED.
- HISTORIC FLOORS HAVE EITHER BEEN COMPROMISED BY TERMITES, DAMAGED FROM PREVIOUS FLOOR COVERING REMOVAL, OR SKIMMED WITH SELF-LEVELING CONCRETE.



**EXISTING FRAMING**



A. NEW FRAMING AT LOCATIONS THROUGHOUT. JOISTS ARE NOT LEVEL AND THERE IS DEFLECTION AMONG JOIST. NO HANGERS OR PROPER FASTENERS.



B. HISTORIC RIM BOARD IS DETERIORATED BY TERMITE DAMAGE.



C. NEW FRAMING AT INTERIOR LOCATIONS. SISTERD ALONG JOISTS WITH GAPS AND NO FASTENERS.



D. HISTORIC JOISTS HAVE COLLAPSED INTO CRAWL SPACE DUE TO TERMITE DAMAGE.



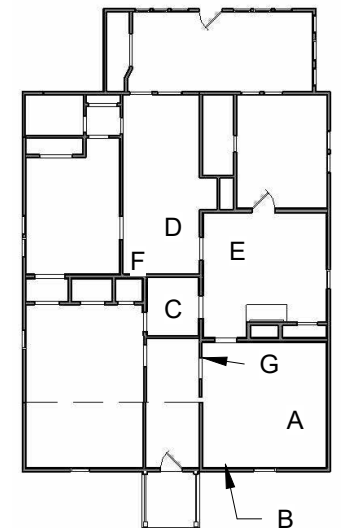
E. CLOSE UP OF TERMITE DAMAGE



F. TERMITE DAMAGE IN BOTH THE FLOOR JOISTS AND VERTICAL FRAMING



G. TERMITE DAMAGE AT APPROX 5' ABOVE FLOOR



**EXISTING FOUNDATION**



A. RUBBLE FOUNDATION UNDER FRONT GABLE. BEARING ON DIRT.



B. MIX OF STONE AND CMU, NOT GROUTED. BEARING ON DIRT



C. RUBBLE FOUNDATION UNDER SIDE GABLE. BEARING ON DIRT.



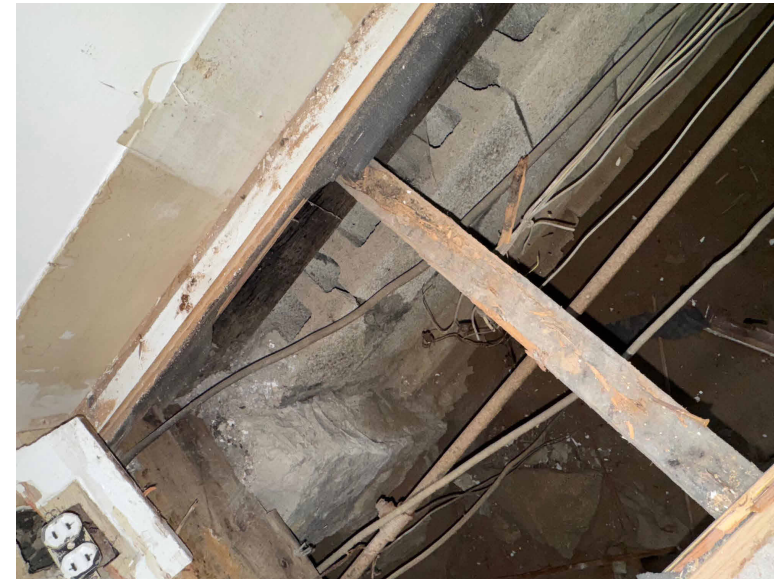
G. PERIMETER SILL BEAM COMPLETELY DETERIORATED.



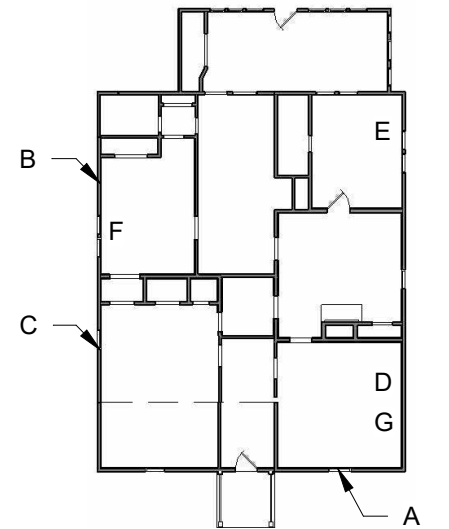
D. CMU SUPPORTS UNDER "NEW" FRAMING. BEARING ON DIRT.



E. DAYLIGHT CAN BE SEEN AT MANY LOCATIONS.



F. CMU FOUNDATION. NOT GROUTED. BEARING ON DIRT.



**EXISTING EXTERIOR**



A. EXTERIOR FRAMING BOWS



B. EXTERIOR FRAMING BOWS



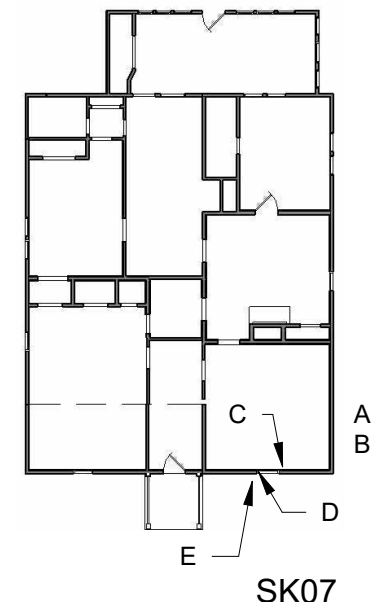
C. WHILE DIFFICULT TO SEE IN PHOTOGRAPHS, THE FRONT GABLE HAS BEEN REPAIRED WITH NEW STUDS AND PLYWOOD SHEATHING BENEATH THE VINYL SIDING. ALSO VISIBLE FROM THIS HOLE SHOWS THE ROOF UNDERLAYMENT TO BE PLYWOOD AND NOT OF HISTORIC MATERIALS.



D. THE SILL IS MISSING FROM THE FRONT WINDOW. THE WALL STUDS AND FOUNDATION IS VISIBLE THROUGH THIS HOLE.



E. FRONT GABLE SHOWS THREE RAFTER TAILS ON EACH SIDE OF THE GABLE WITH NONE AT THE PEAK. THIS IS INDICATIVE OF A DECORATIVE ELEMENT THAT HAS BEEN REMOVED.





**April 24<sup>th</sup>, 2026**

**RE: Hendrix Residence Evaluation/Estimate**

Lee Restoration has specialized in the restoration and preservation of historic homes within the Franklin, Tennessee Historic Overlay for over thirty years, with experience spanning more than 150 historic structures. Based on our evaluation, the property located at 1309 Adams Street is among the most structurally compromised buildings we have encountered.

The attached construction estimates are submitted in support of a **request for demolition** under the applicable criteria of the City of Franklin Historic District Design Guidelines pertaining to documented **structural instability and deterioration**. The existing structure exhibits advanced deterioration, and in our professional judgment, presents a credible risk of failure during the stabilization process.

The cost analysis indicates a substantial disparity between rehabilitation and demolition with new construction. The estimated cost to rehabilitate and restore the structure is approximately \$857,660 , compared to approximately \$662,460 for demolition and construction of a comparable structure, resulting in a premium of approximately \$195,000. This differential is primarily attributable to the level of intervention required for excavation, foundation repair, and framing necessary to stabilize the structure in place.

Even if stabilization is achieved, the extent of required work would necessitate replacement of the majority of the existing structural and exterior components. As such, the outcome would effectively constitute reconstruction rather than preservation of historic fabric. The remaining historic material would be limited to select salvaged elements, including the front windows and gable trim, which can be removed, repaired, and reinstalled. This salvage approach would be undertaken under either scenario, resulting in a comparable level of retained historic material.

Based on the documented structural condition, the scope of required reconstruction, and the associated cost premium, it is our professional opinion that demolition followed by construction of a comparable structure represents a more feasible and predictable approach, while still allowing for accurate reestablishment of the building's historic form and character.

Regards,

Michael A Lee  
615-957-8385  
Owner Lee Restoration

PO Box 364 • Summertown, TN 38483 • 615-790-1830

# Estimate

PO BOX 364  
Summertown, TN 38483

Date	Estimate #
4/23/2026	RESTORATION

Name / Address
Stevie Hendrix 1309 Adams Street Franklin, TN 37064

			Project
			MAIN ESTIMATE
Description	Qty	Rate	Total
Plans and Permits		3,000.00	3,000.00
Demo		25,000.00	25,000.00
Dumpster Rentals		12,000.00	12,000.00
Excavation		55,000.00	55,000.00
Foundation & Footers Repair		60,000.00	60,000.00
Framing Labor		80,000.00	80,000.00
Framing Materials		100,000.00	100,000.00
Roofing Labor		25,000.00	25,000.00
Trim & Doors		20,000.00	20,000.00
Trim Materials Allowance		4,000.00	4,000.00
Windows Allowance		80,000.00	80,000.00
Plumbing RI & TO		12,000.00	12,000.00
Plumbing Materials Allowance		4,000.00	4,000.00
Heating & Cooling		30,000.00	30,000.00
Sub floor Labor and Materials		8,000.00	8,000.00
Flooring		18,000.00	18,000.00
Electrical & Lighting		20,000.00	20,000.00
Electrical Materials Allowance		5,000.00	5,000.00
Insulation		10,000.00	10,000.00
Drywall		18,000.00	18,000.00
Interior Paint Labor		12,000.00	12,000.00
Kitchen Cabinets		45,000.00	45,000.00
Kitchen Countertops		12,000.00	12,000.00
Bathroom plumbing, electric, vanity, floors etc.		20,000.00	20,000.00
		<b>Total</b>	

# Estimate

PO BOX 364  
Summertown, TN 38483

Date	Estimate #
4/23/2026	RESTORATION

Name / Address
Stevie Hendrix 1309 Adams Street Franklin, TN 37064

			Project
			MAIN ESTIMATE
Description	Qty	Rate	Total
Miscellaneous & Specialties		15,000.00	15,000.00
Supervision and Project Management		10,000.00	10,000.00
11% Project Overhead		77,330.00	77,330.00
11% Contractors Fee		77,330.00	77,330.00
		<b>Total</b>	\$857,660.00

# Estimate

PO BOX 364  
Summertown, TN 38483

Date	Estimate #
4/24/2026	NEW BUILD

Name / Address
Stevie Hendrix 1309 Adams Street Franklin, TN 37064

			Project
			MAIN ESTIMATE
Description	Qty	Rate	Total
Plans and Permits		3,000.00	3,000.00
Demo		10,000.00	10,000.00
Dumpster Rentals		5,000.00	5,000.00
Excavation		17,000.00	17,000.00
Foundation & Footers		25,000.00	25,000.00
Framing Labor		45,000.00	45,000.00
Framing Materials		70,000.00	70,000.00
Roofing Labor		25,000.00	25,000.00
Trim & Doors		20,000.00	20,000.00
Trim Materials Allowance		4,000.00	4,000.00
Windows Allowance		80,000.00	80,000.00
Plumbing RI & TO		12,000.00	12,000.00
Plumbing Materials Allowance		4,000.00	4,000.00
Heating & Cooling		30,000.00	30,000.00
Sub floor Labor and Materials		8,000.00	8,000.00
Flooring		18,000.00	18,000.00
Electrical & Lighting		20,000.00	20,000.00
Electrical Materials Allowance		5,000.00	5,000.00
Insulation		10,000.00	10,000.00
Drywall		18,000.00	18,000.00
Interior Paint Labor		12,000.00	12,000.00
Kitchen Cabinets		45,000.00	45,000.00
Kitchen Countertops		12,000.00	12,000.00
Bathroom plumbing, electric, vanity, floors etc.		20,000.00	20,000.00
		<b>Total</b>	

# Estimate

PO BOX 364  
Summertown, TN 38483

Date	Estimate #
4/24/2026	NEW BUILD

Name / Address
Stevie Hendrix 1309 Adams Street Franklin, TN 37064

Project
MAIN ESTIMATE

Description	Qty	Rate	Total
Miscellaneous & Specialties		15,000.00	15,000.00
Supervision and Project Management		10,000.00	10,000.00
11% Project Overhead		59,730.00	59,730.00
11% Contractors Fee		59,730.00	59,730.00
		<b>Total</b>	\$662,460.00

# AS-BUILT DRAWINGS

1309 ADAMS STREET  
FRANKLIN, TENNESSEE 37064

2026.04.13 // AS-BUILT DRAWINGS

## ARCHITECTURE SHEET LIST

G001 COVER SHEET  
A101 FLOOR PLAN AS-BUILT  
A104 ROOF PLAN AS-BUILT  
A201 EXTERIOR ELEVATIONS AS-BUILT  
A202 EXTERIOR ELEVATIONS AS-BUILT

# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

AS-BUILT  
DRAWINGS

**1309 ADAMS STREET**

1309 ADAMS ST., FRANKLIN, TN 37064

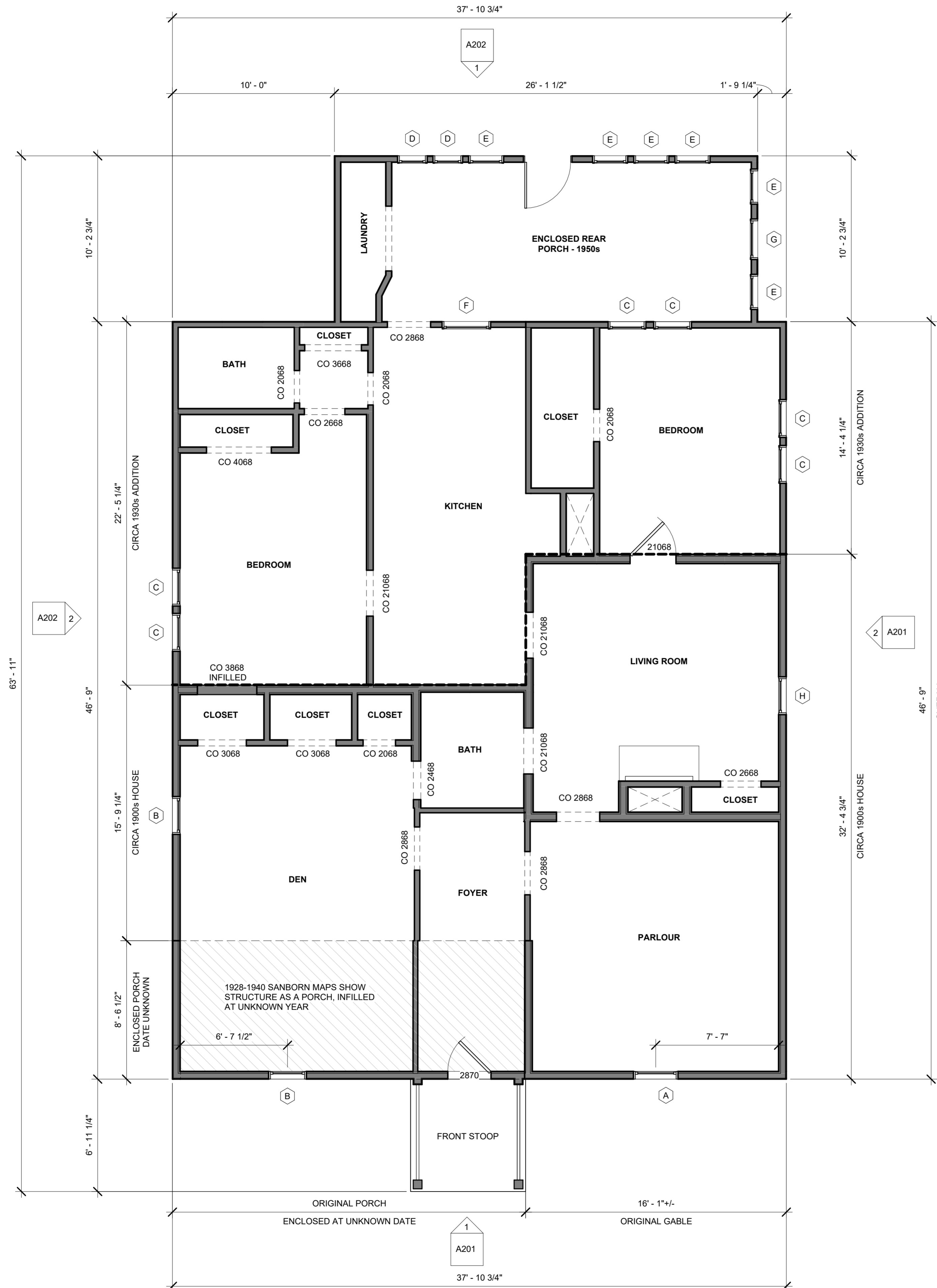
MAIN RESIDENCE

2026.04.13

250904

COVER SHEET

# G001



EXIST PRIMARY FOOTPRINT: 1,946 SF  
 EXIST REAR ADDITION: 288 SF  
 TOTAL FOOTPRINT: 2,234 SF

1 FLOOR PLAN // AS-BUILT  
 1/4" = 1'-0"

### FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- WALL TYPE - SEE G002
- FIXTURE KEYNOTE
- BRICK EXTERIOR - SEE ELEV SHEETS
- STONE EXTERIOR - SEE ELEV SHEETS

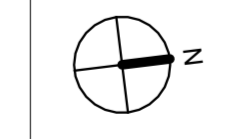
### GENERAL NOTES

1. TBD

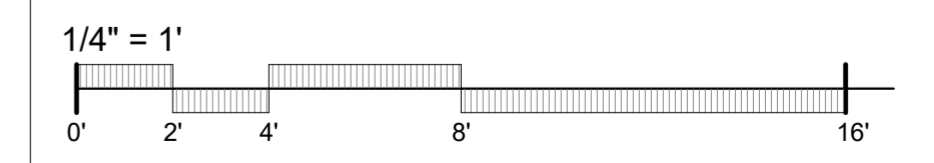
### WINDOW NOTES

1. SIZES SHOWN ARE NOMINAL. VERIFY RO WITH WINDOW SPECIFICATION SHEET.
2. TBD

EXISTING WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	SILL HEIGHT	NOTES
A	2' - 9"	7' - 0"	1' - 4"	
B	2' - 4"	7' - 0"	<varies>	
C	2' - 4"	5' - 0"	<varies>	
D	1' - 10"	3' - 0"	3' - 1 1/4"	
E	2' - 2"	3' - 0"	3' - 1 1/4"	
F	3' - 0"	4' - 5"	1' - 0"	
G	2' - 6"	3' - 0"	3' - 1 1/4"	
H	2' - 4"	7' - 0"	1' - 5"	



### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

## AS-BUILT DRAWINGS

# 1309 ADAMS STREET

1309 ADAMS ST., FRANKLIN, TN 37064

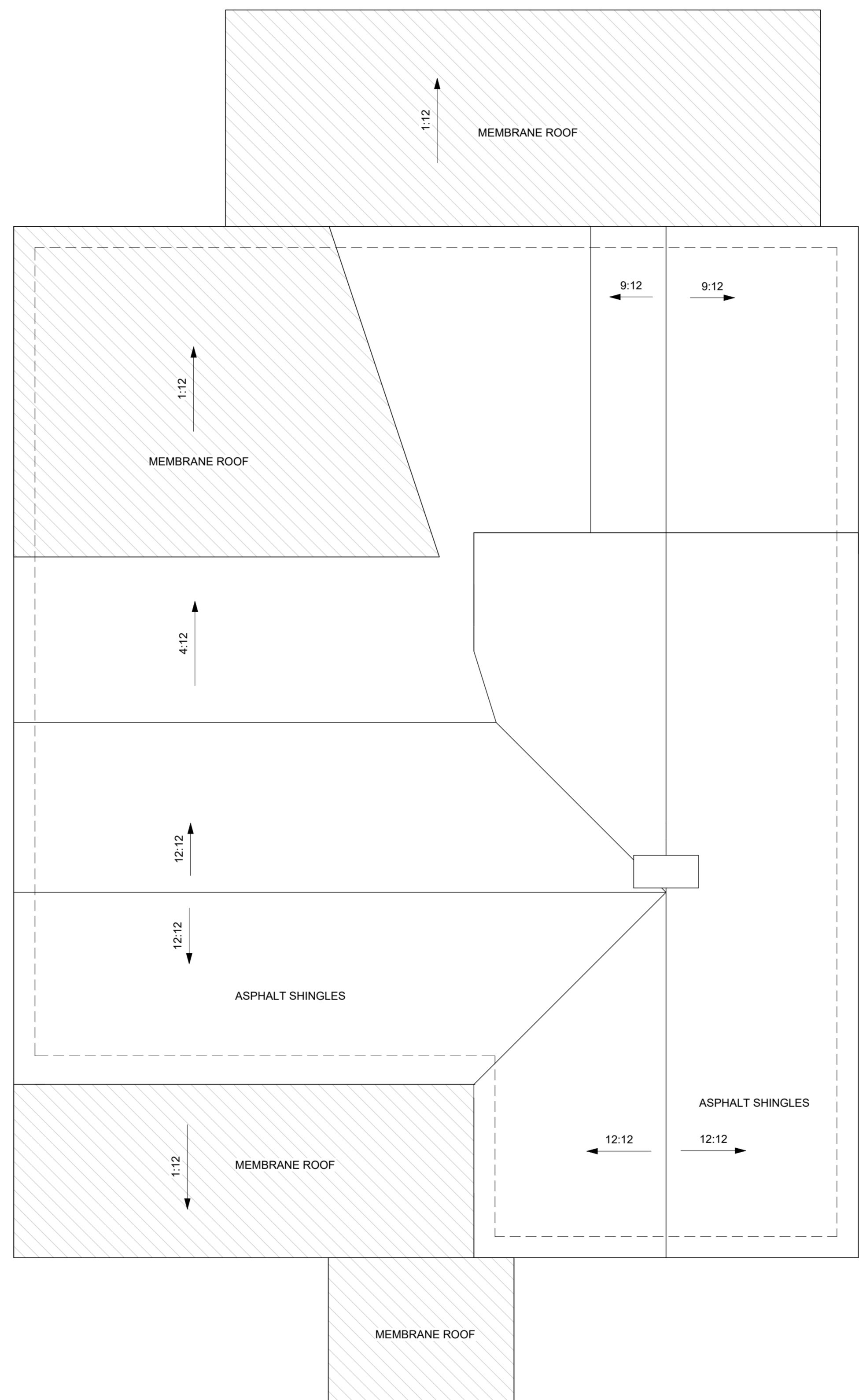
MAIN RESIDENCE

2026.04.13

250904



## FLOOR PLAN AS-BUILT

# A101

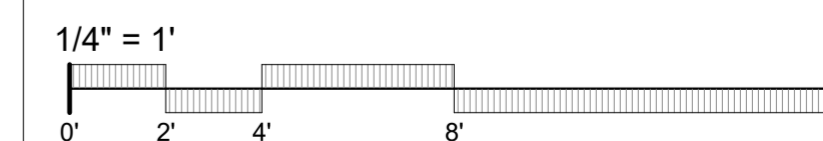


① ROOF PLAN // AS-BUILT  
1/4" = 1'-0"

ROOF PLAN LEGEND

-  EXISTING ASPHALT SHINGLE ROOF
-  EXISTING MEMBRANE ROOF

GRAPHIC SCALES



**CHISEL**

PO BOX 680566 | FRANKLIN, TN 37068

AS-BUILT  
DRAWINGS

**1309 ADAMS STREET**

1309 ADAMS ST., FRANKLIN, TN 37064

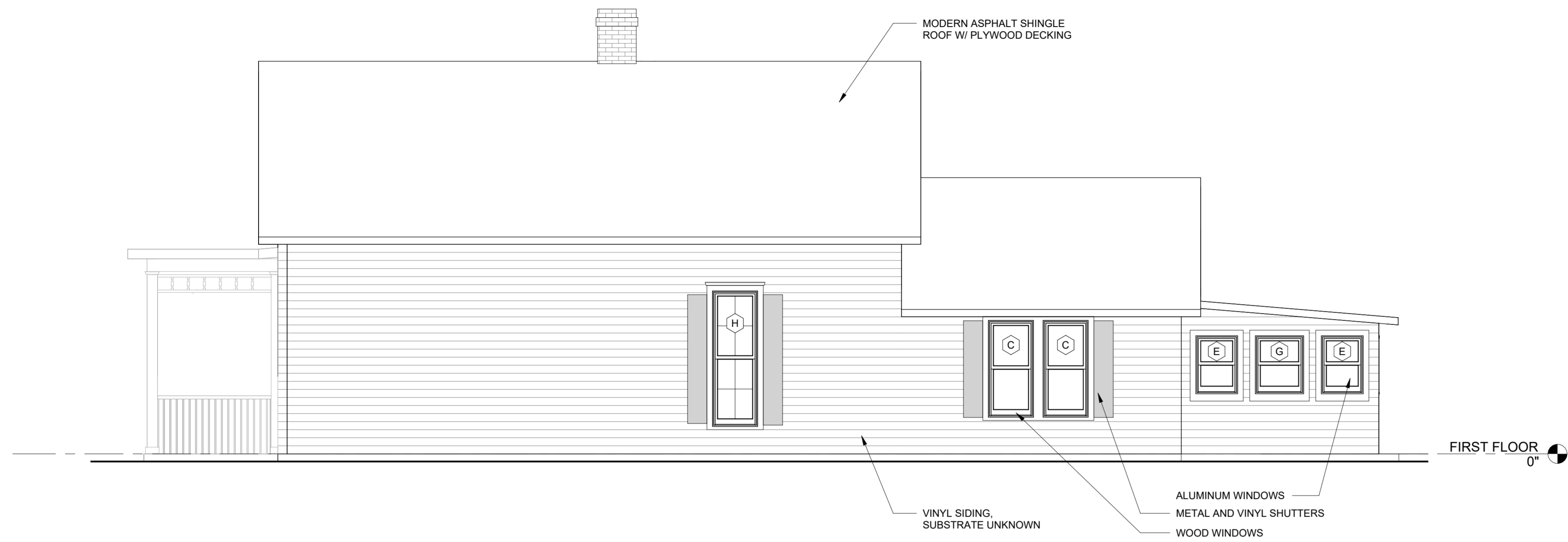
MAIN RESIDENCE

2026.04.13

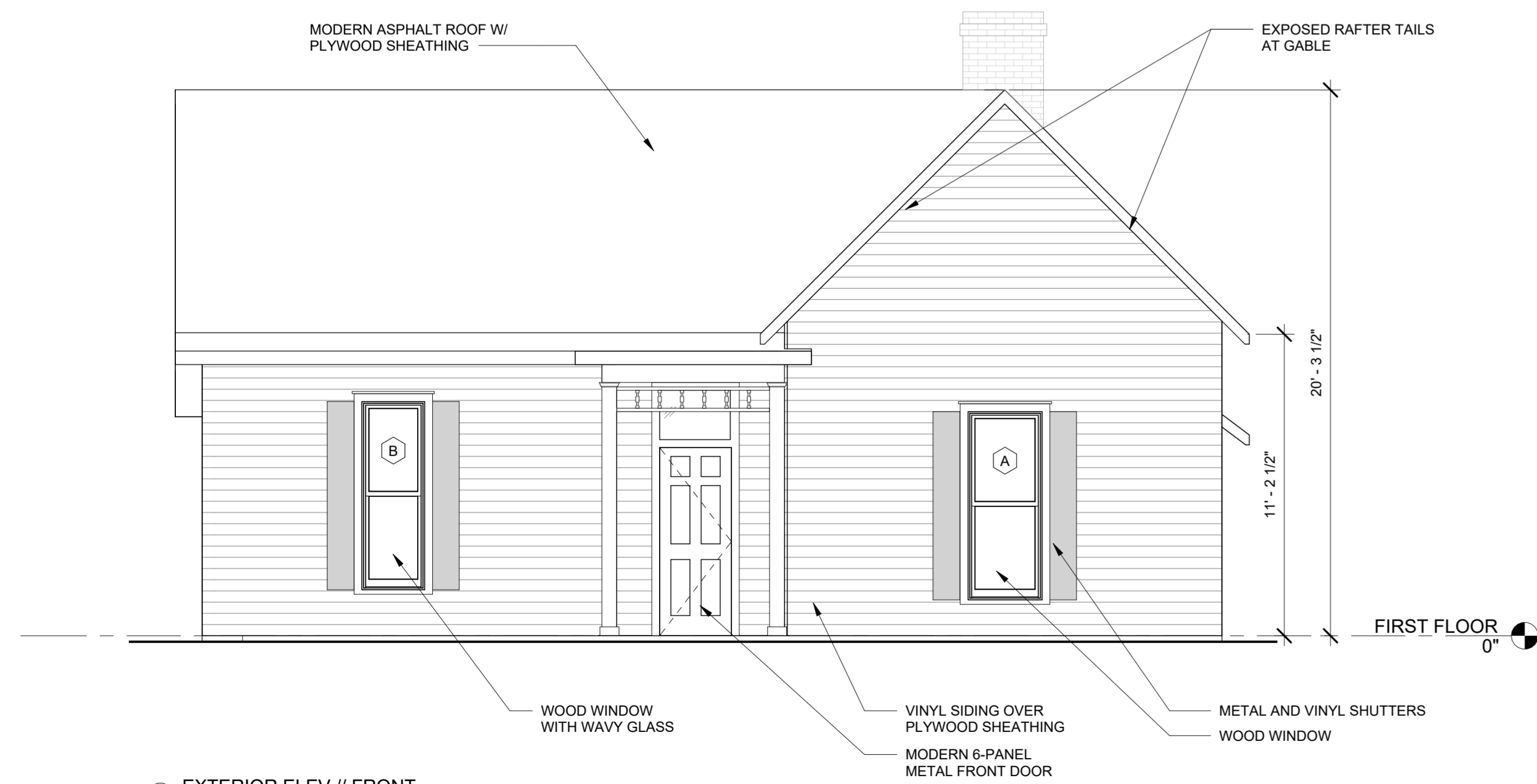
250904

ROOF PLAN  
AS-BUILT

**A104**



② EXTERIOR ELEV // LEFT SIDE  
1/4" = 1'-0"



① EXTERIOR ELEV // FRONT  
1/4" = 1'-0"



EXISTING RIGHT ELEVATION



EXISTING FRONT ELEVATION

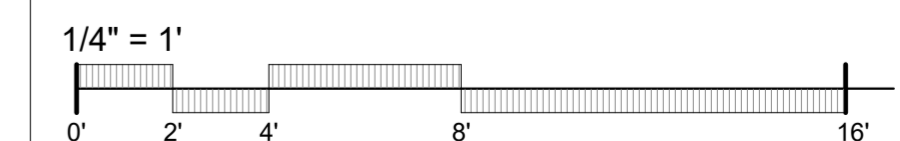
### ELEVATION LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- WINDOW TYPE - SEE A601
- BRICK EXTERIOR
- STONE EXTERIOR
- HARDIE SIDING EXTERIOR

### GENERAL NOTES

1. SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
2. TBD

### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

AS-BUILT  
DRAWINGS

**1309 ADAMS STREET**

1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.13

250904

EXTERIOR  
ELEVATIONS  
AS-BUILT

**A201**

## AS-BUILT DRAWINGS

# 1309 ADAMS STREET

1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.13

250904

## EXTERIOR ELEVATIONS AS-BUILT A202

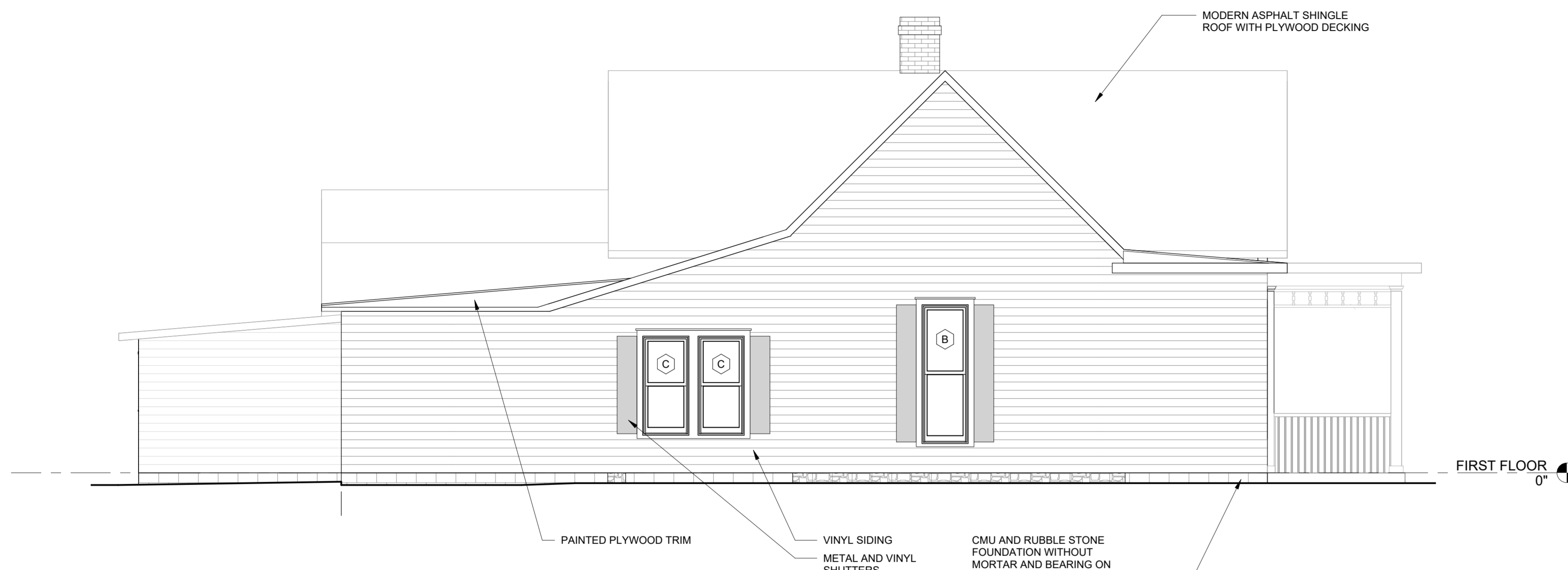
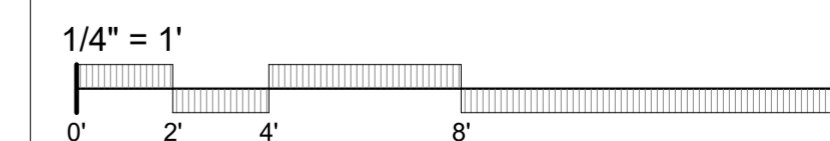
### ELEVATION LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- WINDOW TYPE - SEE A601
- BRICK EXTERIOR
- STONE EXTERIOR
- HARDIE SIDING EXTERIOR

### GENERAL NOTES

- SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
- TBD

### GRAPHIC SCALES



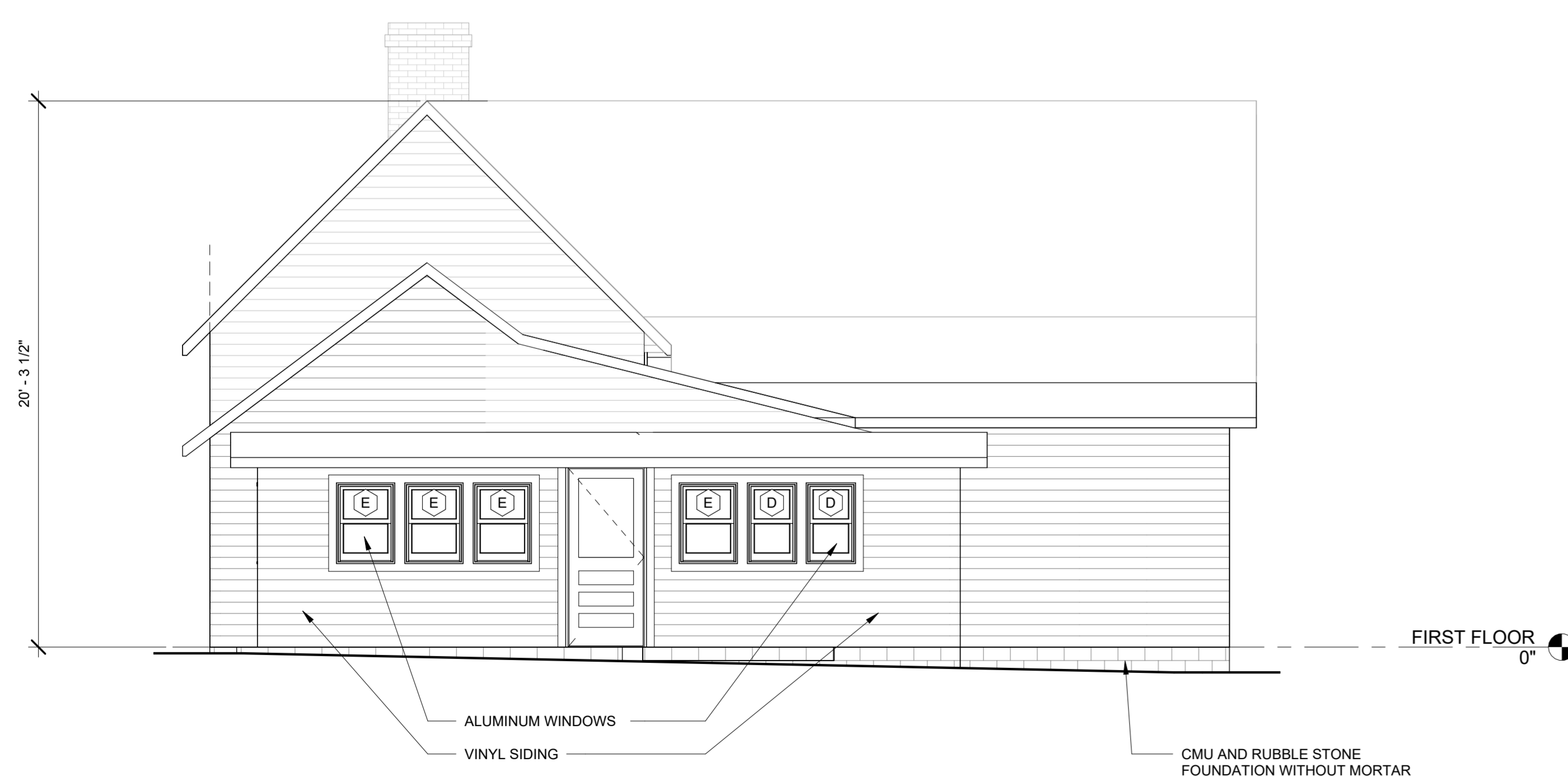
2 EXTERIOR ELEV // RIGHT SIDE  
1/4" = 1'-0"



EXISTING LEFT ELEVATION



EXISTING REAR ELEVATION

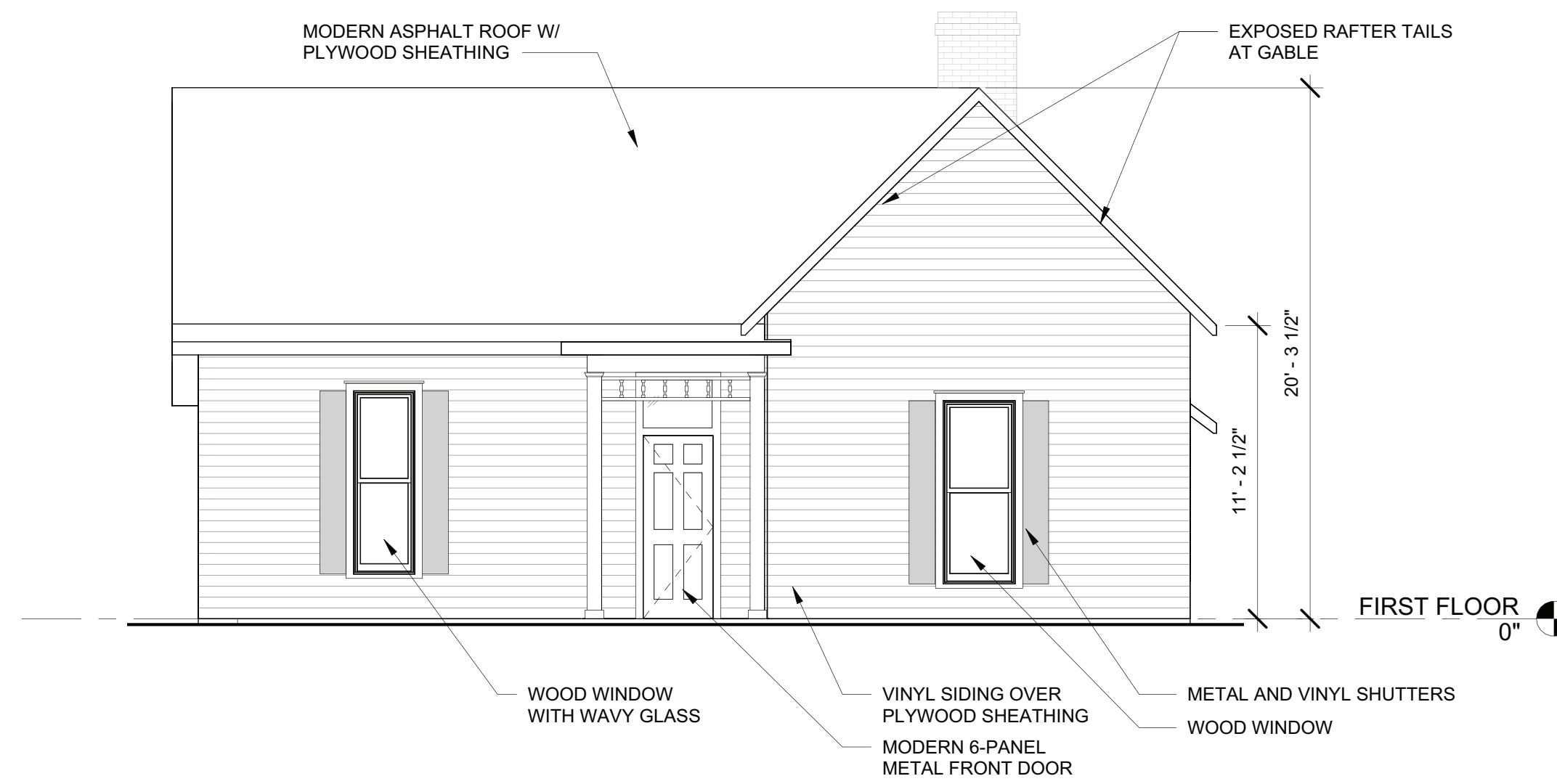


1 EXTERIOR ELEV // REAR  
1/4" = 1'-0"

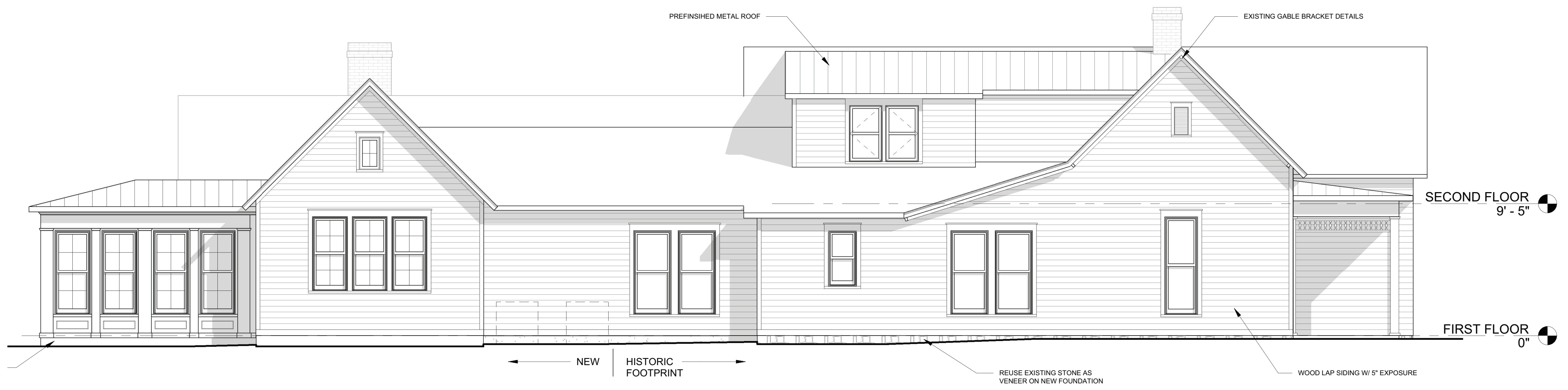


**PROPOSED STRUCTURE | FRONT ELEVATION**

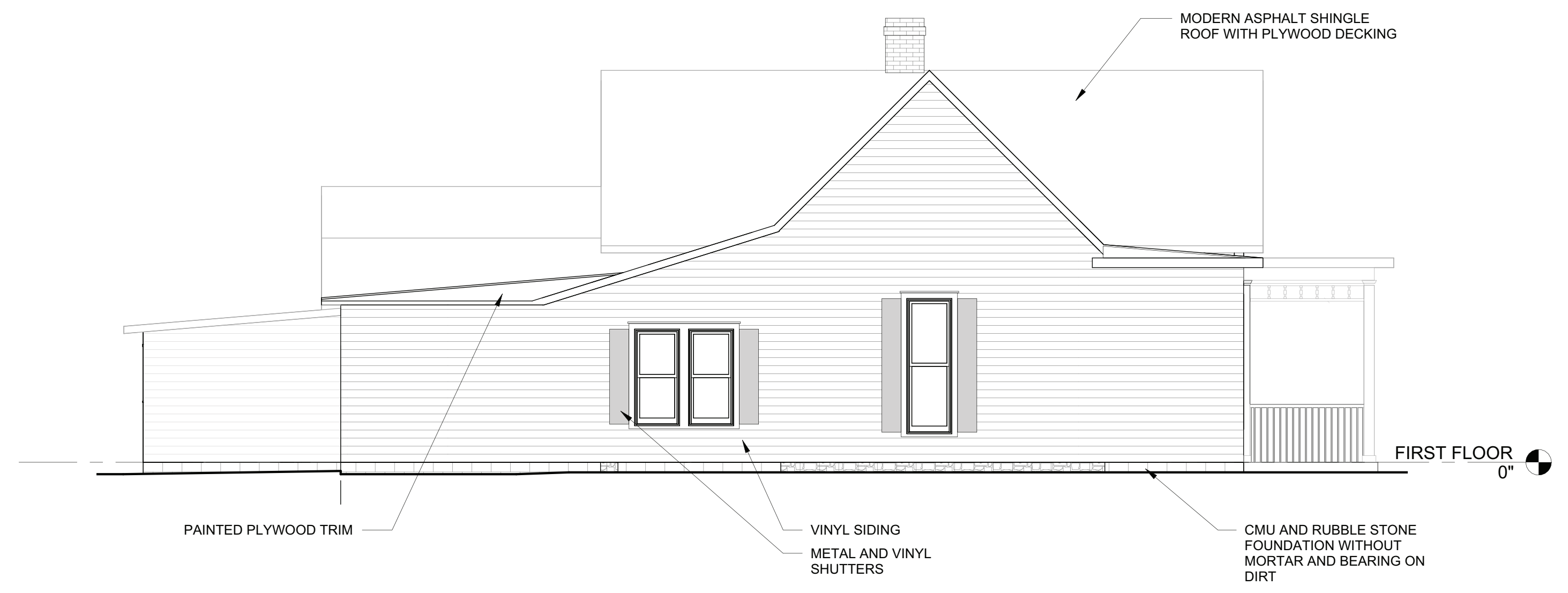
THE ROOF OF THE PROPOSED STRUCTURE IS 3-1/2" HIGHER THAN EXISTING



**EXISTING STRUCTURE | FRONT ELEVATION**



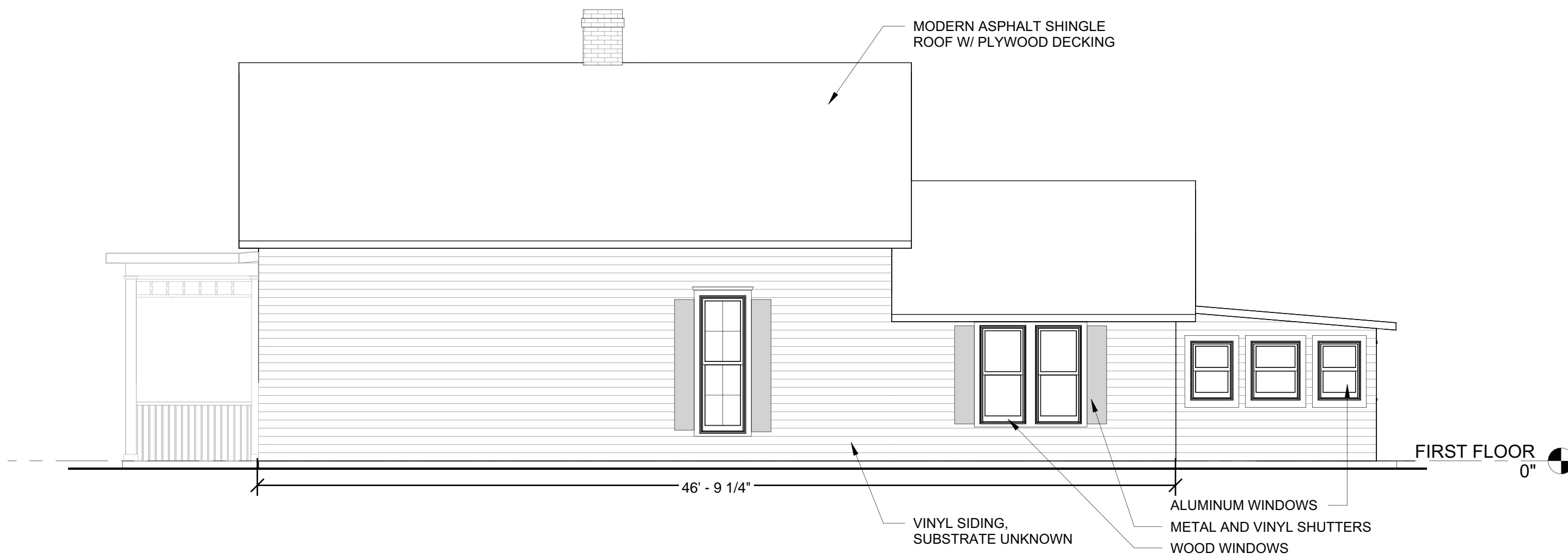
PROPOSED STRUCTURE | LEFT ELEVATION



EXISTING STRUCTURE | LEFT ELEVATION



PROPOSED STRUCTURE | RIGHT ELEVATION



EXISTING STRUCTURE | RIGHT ELEVATION

THE PROPOSED RESIDENCE IS DESIGNED WITH A RIGHT-SIDE FAÇADE LENGTH THAT IS CONSISTENT WITH THE ESTABLISHED PATTERN OF SIMILARLY COMPOSED HISTORIC HOMES ALONG ADAMS STREET.

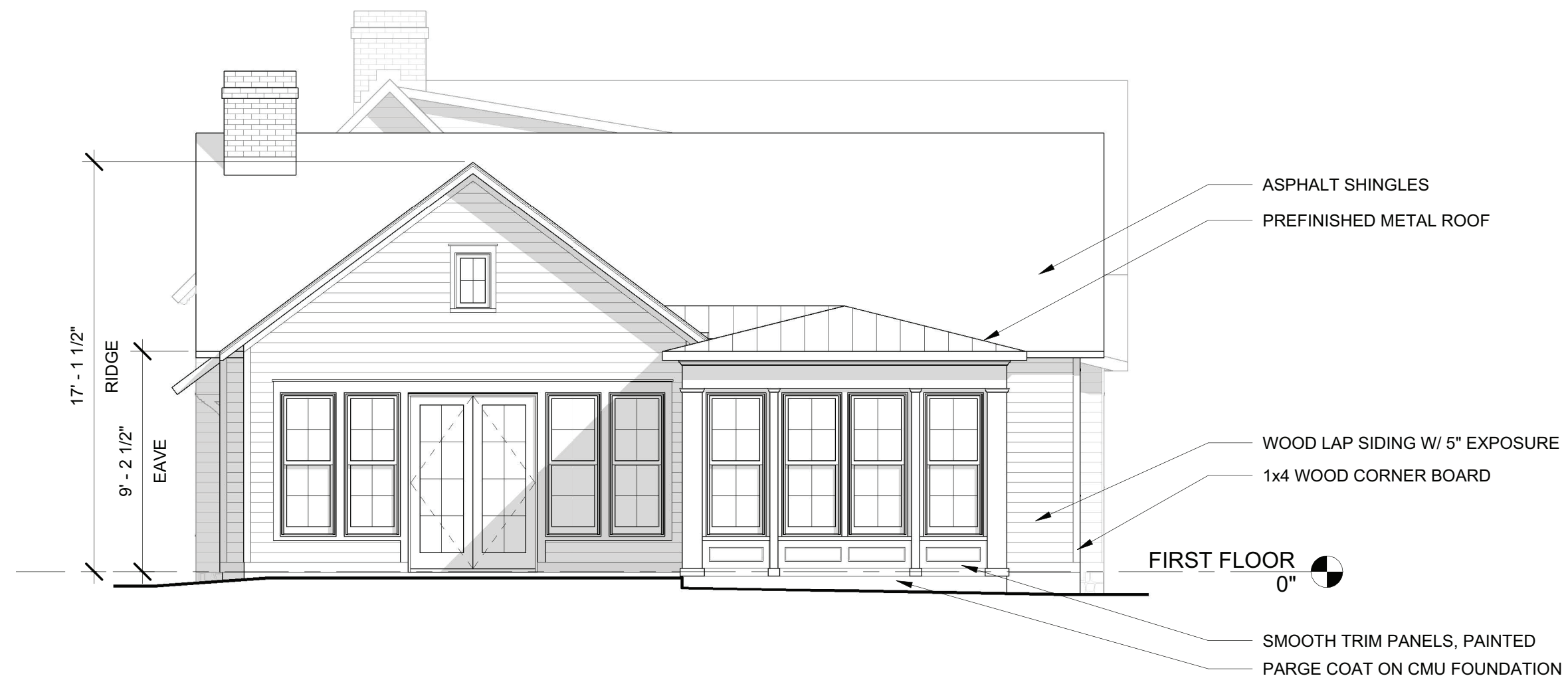
THE ADJACENT RESIDENCE AT 1315 ADAMS STREET PRESENTS A COMPARABLE SINGLE-STORY PYRAMID ROOF FORM WITH AN OVERALL LENGTH OF APPROXIMATELY 69'-0".

1303 ADAMS STREET, TO THE LEFT, EXHIBITS A PARALLEL GABLE CONDITION MEASURING APPROXIMATELY 50'-0".

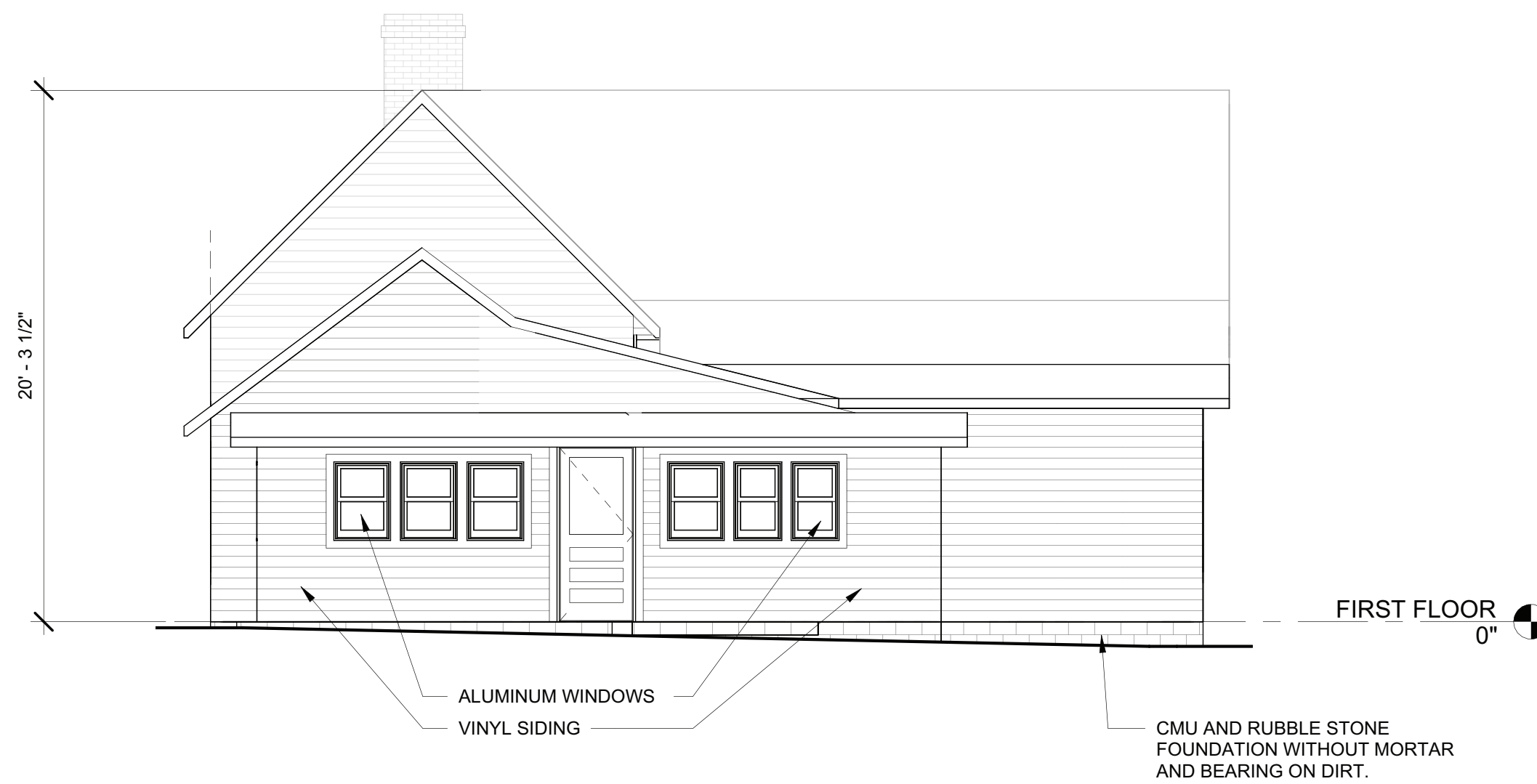
ADDITIONAL EXAMPLES ACROSS THE STREET AT 1326 ADAMS STREET AND 1328 ADAMS STREET REFLECT SIMILAR SINGLE-STORY CROSS-GABLE COMPOSITIONS WITH FAÇADE LENGTHS OF APPROXIMATELY 50'-0" AND 42'-0", RESPECTIVELY.

COLLECTIVELY, THESE PRECEDENTS ESTABLISH A CONTEXTUAL RANGE OF FAÇADE LENGTHS AND DEMONSTRATE THAT EXTENDED, UNINTERRUPTED GABLE ELEVATIONS ARE CHARACTERISTIC OF THE IMMEDIATE STREETScape.

THE PROPOSED RIGHT FAÇADE FALLS WITHIN THIS OBSERVED RANGE AND MAINTAINS A COMPARABLE LINEAR EXPRESSION, REINFORCING CONTINUITY WITH THE PREVAILING SCALE AND MASSING OF THE SURROUNDING HISTORIC CONTEXT.



PROPOSED STRUCTURE | REAR ELEVATION



EXISTING STRUCTURE | REAR ELEVATION

# HENDRIX RESIDENCE

1309 ADAMS STREET  
FRANKLIN, TENNESSEE 37064

2026.04.24 // HZC SUBMISSION

## ARCHITECTURE SHEET LIST

- G001 COVER SHEET
- SP100 SITE PLAN
- D101 DEMO PLAN
- A100 FOUNDATION PLAN
- A101 FIRST FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A104 ROOF PLAN & ROOF DETAILS
- A201 EXTERIOR ELEVATIONS
- A202 EXTERIOR ELEVATIONS
- A203 3D PERSPECTIVES

**CHISEL**

PO BOX 680566 | FRANKLIN, TN 37068

HZC  
SUBMISSION

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

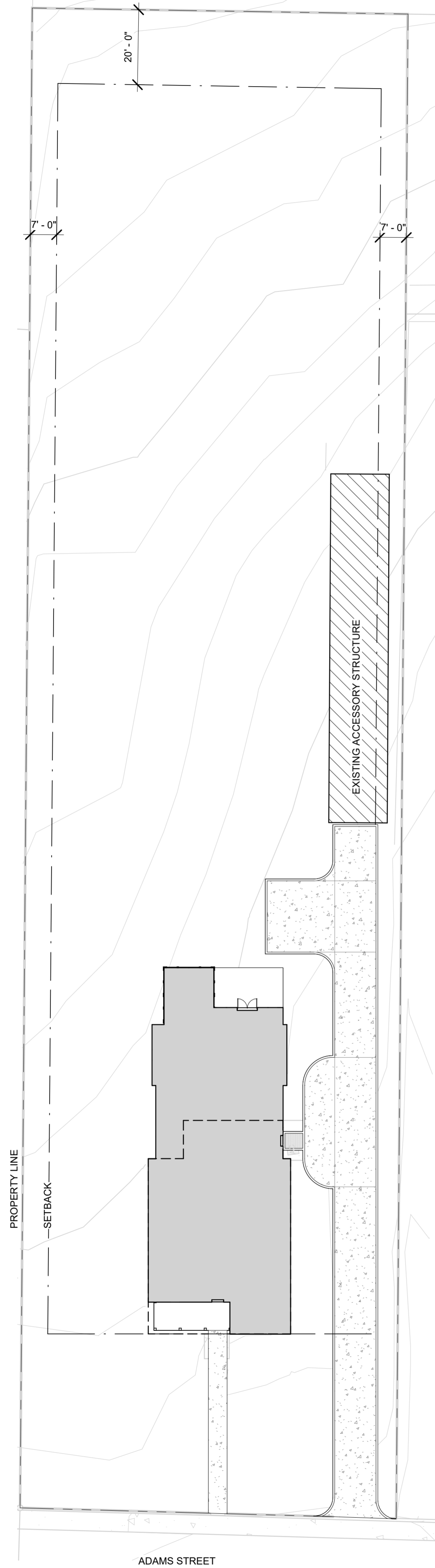
MAIN RESIDENCE

2026.04.24

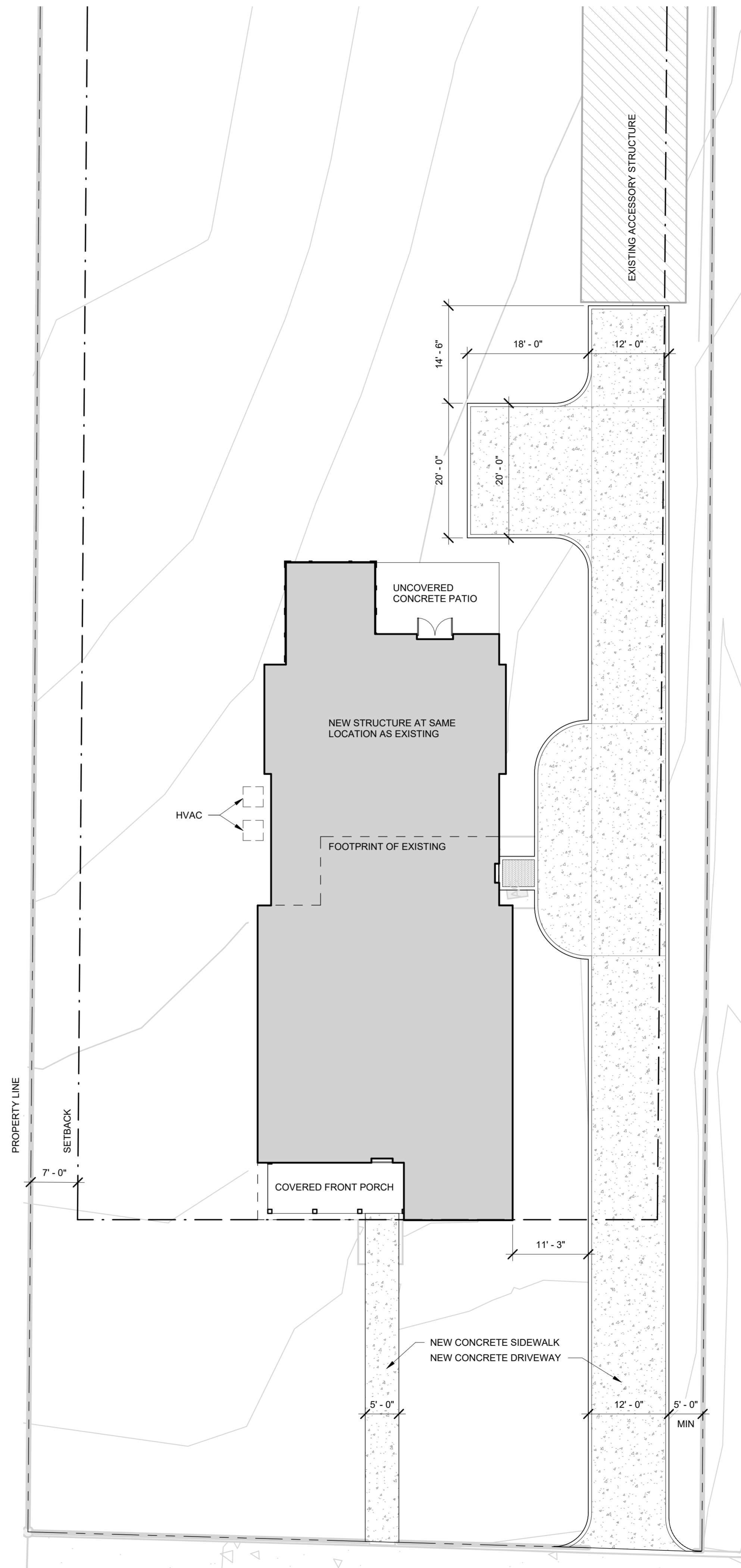
250904

COVER SHEET

**G001**



2 SITE PLAN - KEY  
1" = 20'-0"



1 SITE PLAN  
3/32" = 1'-0"

## GENERAL NOTES

- SEE G002 FOR ZONING AND CODE ANALYSIS
- EAVES, GUTTERS OR DOWNSPOUTS, SHALL NOT PROJECT INTO OR OVER REQUIRED YARD SETBACK NOT MORE THAN 24" PER METRO ZONING CHAPTER 17.12.040. SEE SITE PLAN FOR EAVE ENCROACHMENT.
- CHIMNEYS SHALL NOT PROJECT MORE THAN THREE FEET INTO REQUIRED SETBACK PER METRO ZONING CHAPTER 17.12.040.
- GRADING PLAN SHOWN FOR DESIGN INTENT ONLY. COORDINATE GRADING PLAN, SITE WALLS, DRAINAGE DESIGN, ETC WITH CIVIL ENGINEER OR LANDSCAPE ARCHITECT.

## SITE ANALYSIS

ZONING: R4 - RESIDENTIAL

LOT SIZE: 40,135 SF (0.92 ACRES)

**LOT COVERAGE**  
 PROPOSED PRIMARY: 3,111 SF  
 EXISTING ACCESSORY: 1,450 SF  
 PORCH & PATIO: 350 SF  
 NEW DRIVE & WALK: 3,130 SF  
 TOTAL LOT COVERAGE: 8,041 SF

**LANDSCAPE SURFACE AREA**  
 8,041 SF / 40,135 SF = 0.20 (20% IMPERVIOUS)

**PROPOSED LANDSCAPE SURFACE AREA: 80%**  
 MINIMUM LSA: 40%

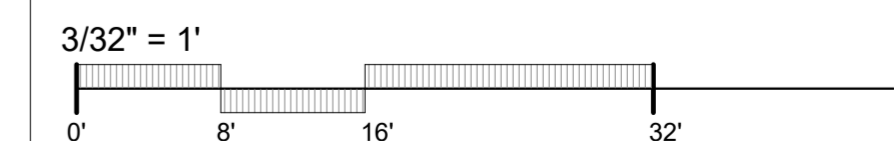
## HISTORIC ANALYSIS

HISTORIC BUILDING FOOTPRINT: 2,234 SF  
 PROPOSED ADDITION: 1,335 SF

**TOTAL PROPOSED FOOTPRINT: 3,569 SF**

NEW ADDITION IS 59.76% OF EXISTING FOOTPRINT

## GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

HZC  
SUBMISSION

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

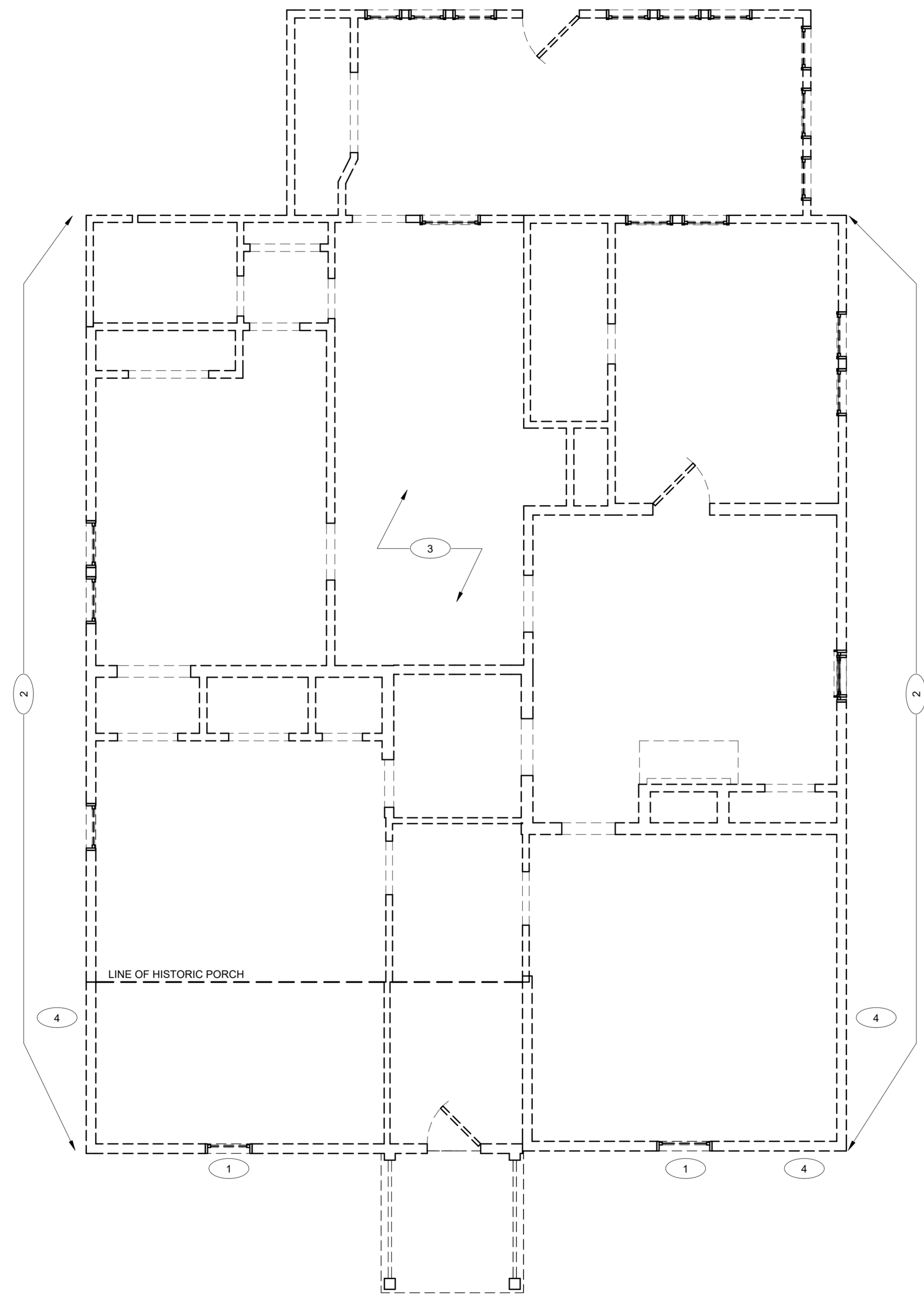
MAIN RESIDENCE

2026.04.24

250904

SITE PLAN

**SP100**



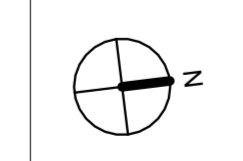
① FIRST FLOOR DEMOLITION PLAN  
1/4" = 1'-0"

**DEMOLITION NOTES**

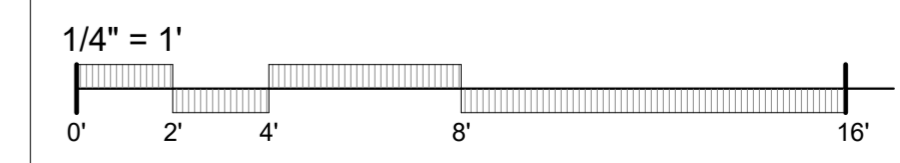
1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING, BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR.
2. EXERCISE CARE IN PROTECTING FINISHES AND FIXTURES TO REMAIN. THE COST TO REPAIR OR REPLACE DAMAGED FIXTURES AND FINISHES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
3. REPAIR ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. TO SATISFACTION OF OWNER PRIOR TO INSTALLATION. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED, TO BE APPROVED BY OWNER.
4. VERIFY THAT ALL STRUCTURAL ALTERATIONS ARE PROPERLY SUPPORTED AND SHORED DURING REMOVAL AND CONSTRUCTION. CONTACT THE OWNER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. PROCURE ENGINEERING SERVICES FOR SUPPORT OF EXISTING STRUCTURE WHERE LOAD BEARING WALL IS REMOVED.

**DEMOLITION KEYNOTES**

- ① REMOVE AND PROTECT EXISTING WINDOW FOR REUSE
- ② EVALUATE CONDITION OF HISTORIC WOOD LAP SIDING, SALVAGE AND PROTECT SIDING, IF FEASIBLE, FOR POTENTIAL REUSE ON THE FRONT ELEVATION
- ③ DEMOLISH EXISTING STRUCTURE - SALVAGE HISTORIC TIMBERS FOR POSSIBLE REUSE
- ④ SALVAGE AND PROTECT EXISTING STONE FOUNDATION FOR POTENTIAL REUSE



**GRAPHIC SCALES**



**CHISEL**

PO BOX 680566 | FRANKLIN, TN 37068

HZC  
SUBMISSION

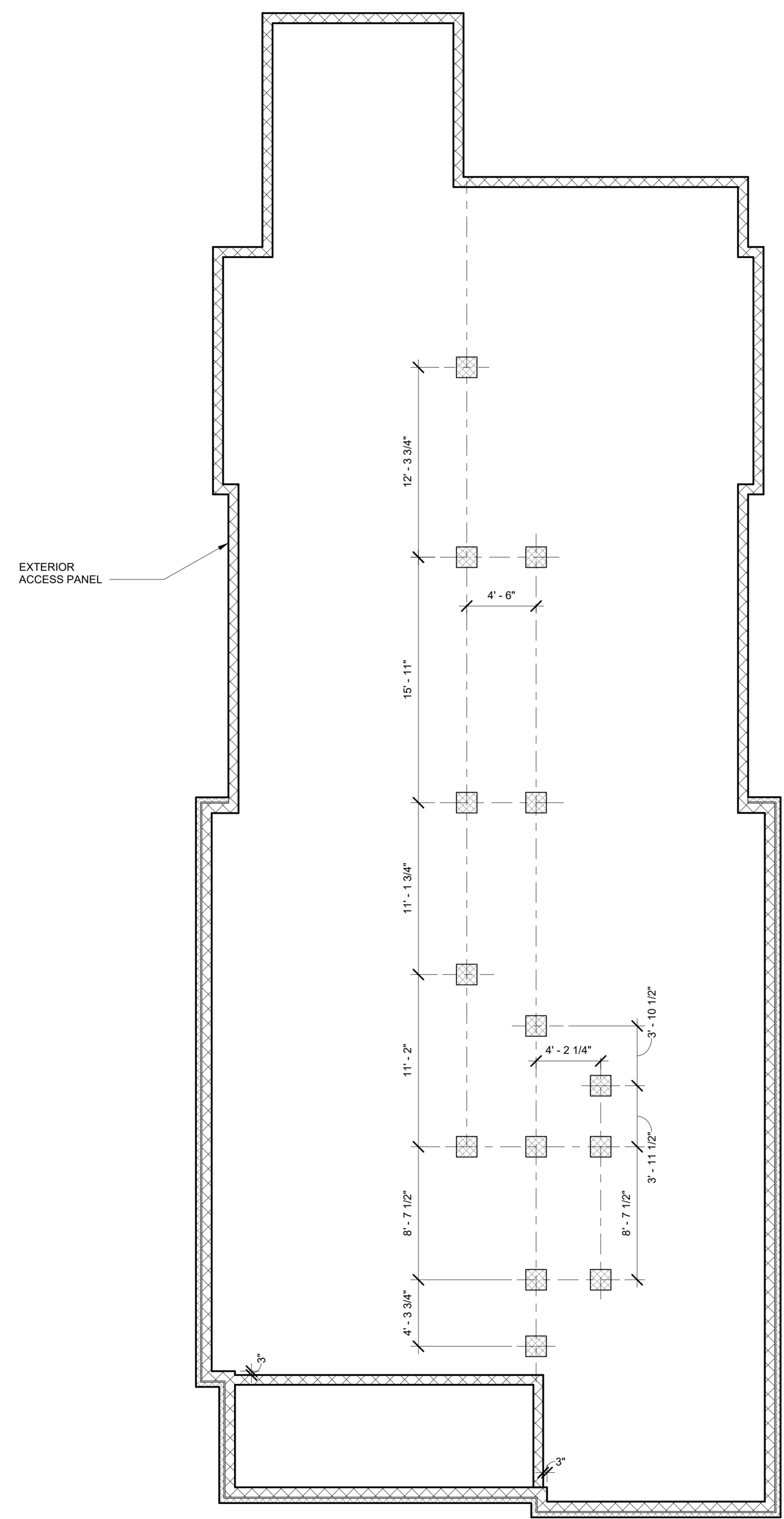
**NEW CONSTRUCTION**  
1309 ADAMS ST., FRANKLIN, TN 37064  
MAIN RESIDENCE

2026.04.24

250904



**DEMO PLAN**

**D101**



① FOUNDATION PLAN  
3/16" = 1'-0"

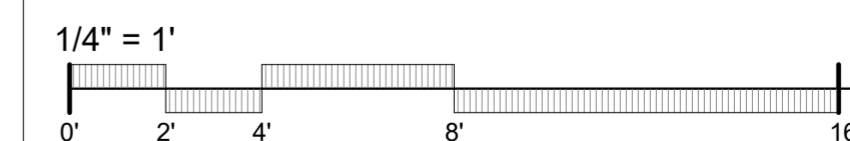
### FOUNDATION LEGEND

- EXTERIOR FACE OF STUD
-  CONCRETE FOUNDATION
-  CONCRETE BLOCK FOUNDATION

### GENERAL NOTES

1. DIMENSIONS ARE FROM OUTSIDE FACE OF 8" BLOCK AND 2X6 WALL STUD.
2. FOUNDATION SIZE, DEPTH, AND DESIGN TO BE VERIFIED AND DESIGNED BY STRL ENGINEER.
3. FOUNDATION GRAPHICALLY SHOWN, CONCRETE MIXTURE OR CMU DESIGN, DEPTH, REBAR DESIGN, ETC. TO BE DESIGNED BY STRL ENGINEER.
4. GENERAL CONTRACTOR TO PROVIDER ENGINEER SERVICES FOR SIZES OF ALL FRAMING AND BEAMS FOR ALL LEVELS PRIOR TO CONSTRUCTION.
5. INTERNAL BLOCK WALLS MAY BE DESIGNED AS PIERS PER STRL ENGINEER'S RECOMMENDATIONS.
6. ADD CONCRETE PIERS AS DETERMINED BY ENGINEER AND STRUCTURAL FRAMING. ADD CONCRETE PIERS AND FOUNDATION AS REQUIRED FOR EXTERIOR PATIOS, DECKS, ETC.
7. PROVIDE ACCESS PANEL TO CRAWL SPACE AS REQUIRED BY IRC R408.4. ACCESS THROUGH FLOOR SHALL BE A MINIMUM OF 18" X 24". ACCESS THROUGH PERIMETER WALL SHALL BE A MINIMUM OF 16" X 24". CONDITIONED CRAWL SPACE OR VENTILATE PER M1305.1.4.
8. FOUNDATION FOR SITE WALLS AND PATIOS TO BE DESIGNED BY STRL ENGINEER.

### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

HZC  
SUBMISSION

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

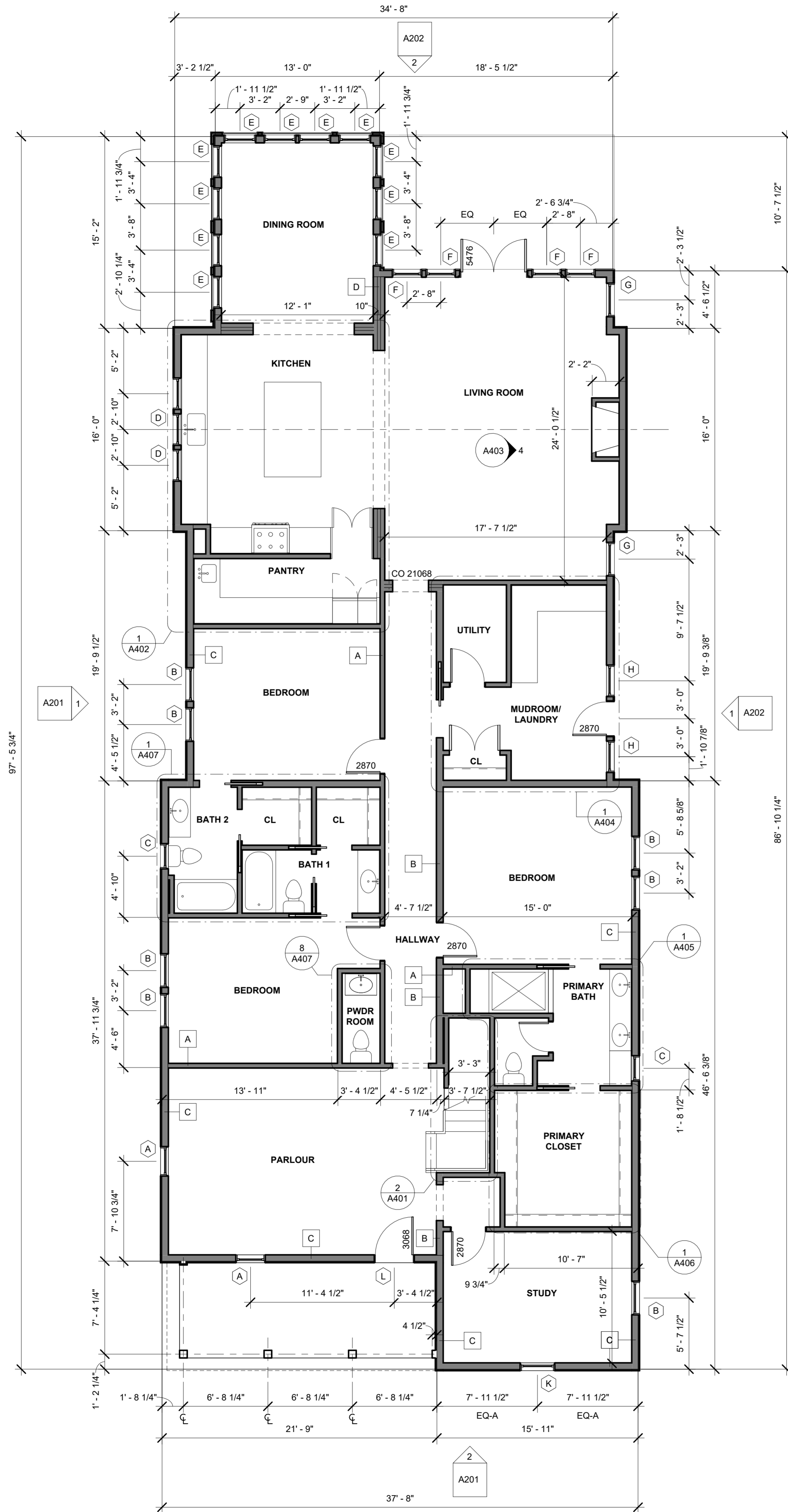
MAIN RESIDENCE

2026.04.24

250904

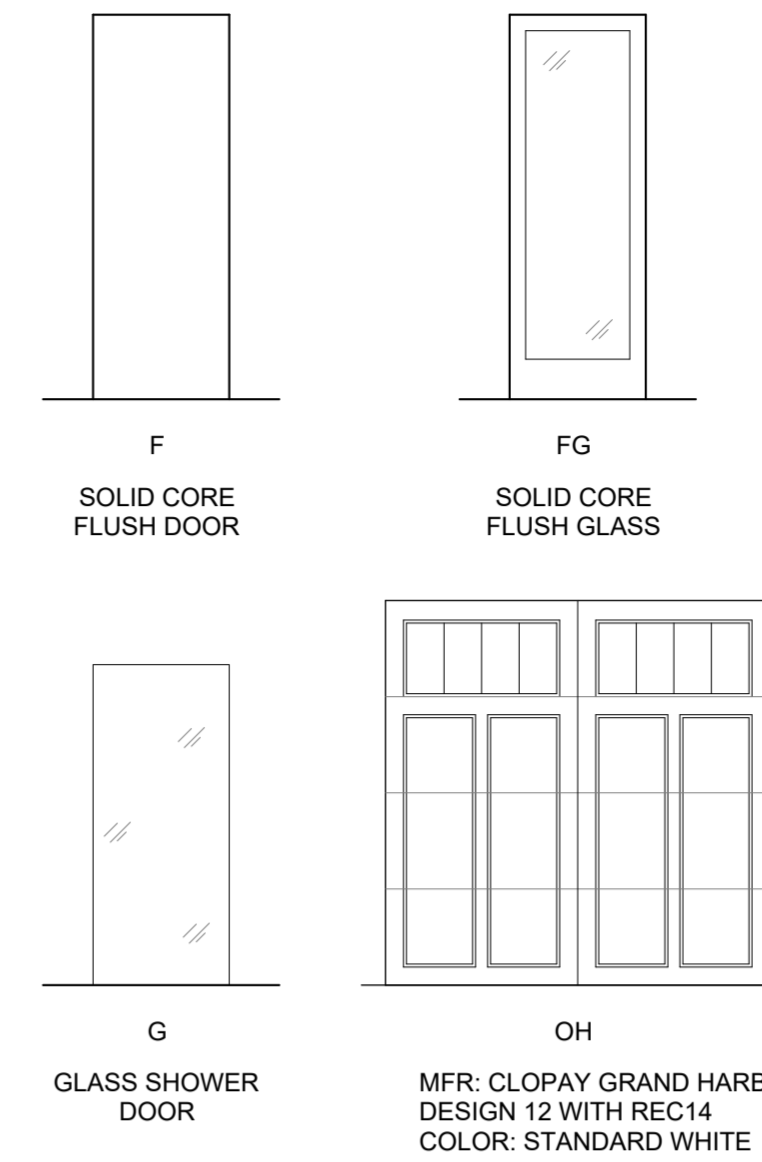
**FOUNDATION  
PLAN**

**A100**

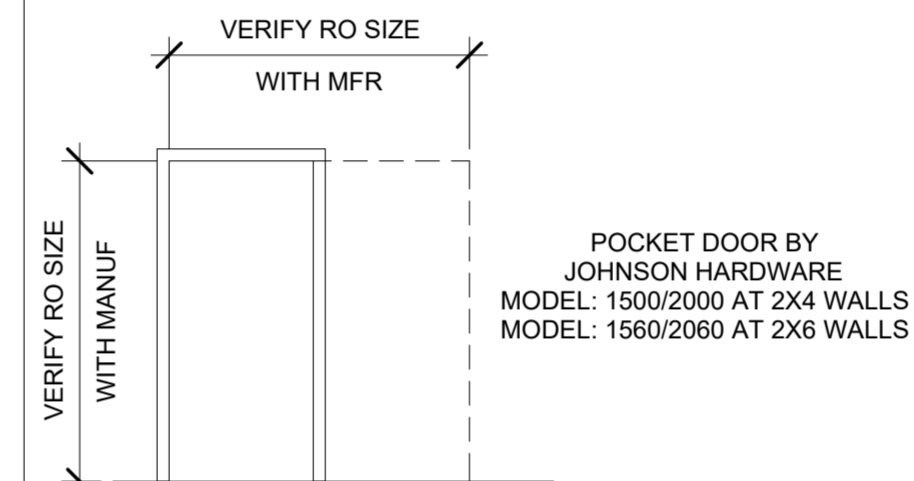


1 FLOOR PLAN // FIRST FLOOR  
3/16" = 1'-0"

### DOOR TYPES



### FRAME TYPES



### EXTERIOR DOOR TYPES

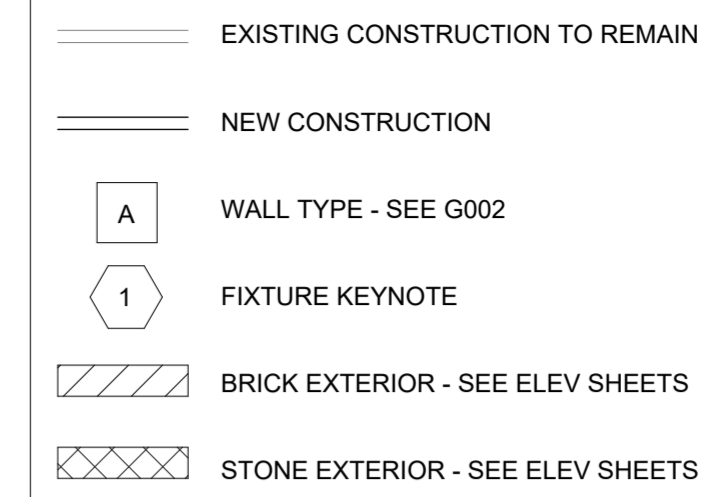


### WINDOW NOTES

WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	SILL HEIGHT	NOTES
A	2' - 4"	7' - 0"	<varies>	EXISTING
B	2' - 8"	6' - 0"	1' - 6"	
C	2' - 0"	4' - 0"	3' - 6"	
D	2' - 6"	5' - 4"	3' - 2"	
E	2' - 6"	6' - 0"	1' - 6"	
F	2' - 4"	6' - 0"	1' - 6"	
G	2' - 8"	6' - 0"	1' - 6"	
H	2' - 6"	5' - 0"	2' - 4"	
J	2' - 4"	4' - 0"	3' - 0"	
K	2' - 9"	7' - 0"	1' - 4"	EXISTING
L	3' - 2"	1' - 6"	7' - 0"	
N	1' - 6"	2' - 4"	<varies>	

- MFR BASIS OF DESIGN: MARVIN ULTIMATE WOOD
- EXTERIOR FINISH: PAINTED WOOD
- INTERIOR FINISH: PAINTED WOOD
- HARDWARE FINISH: MATTE BLACK
- WINDOW MUNTIN PROFILE: SIMULATED DIVIDED LITE WITH SPACER BAR (SDL). SEE ELEVATIONS FOR PATTERN.
- SIZES SHOWN ARE NOMINAL. VERIFY RO WITH WINDOW SPECIFICATION SHEET.

### FLOOR PLAN LEGEND

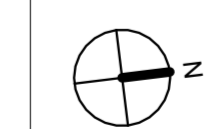


### GENERAL NOTES

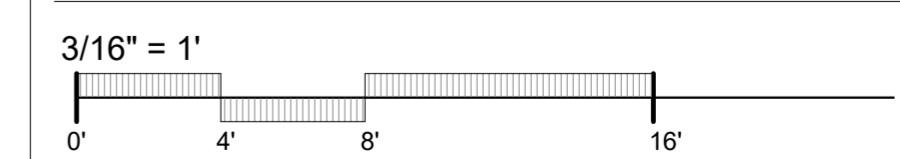
- PERFORM ALL WORK IN COMPLIANCE WITH STATE AND LOCAL CODES, EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS
- VERIFY ALL MEASUREMENT IN THE FIELD BEFORE COMMENCEMENT OF WORK
- PROCURE ALL REQUIRED AND NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY WORK
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD, UNLESS NOTED OTHERWISE
- MECHANICAL, ELECTRICAL, AND STRUCTURAL DESIGN SERVICES AND ANALYSIS TO BE PROVIDED BY CONTRACTOR ON A DESIGN-BUILD BASIS.
- PROVIDE IN WALL WOOD BLOCKING AT TOILET ACCESSORY LOCATIONS.
- DOORS ARE LOCATED 6" FROM NEAREST WALL CORNER UNO.
- PROVIDE CRACK SUPPRESSION SYSTEM UNDER TILE FLOOR.
- PROVIDE CEMENT BOARD IN LIEU OF GWB AT ALL WET LOCATIONS.

### FLOOR PLAN KEYNOTES

- PROVIDE FLOOR TO CEILING SHELVES
- ARCH CASED OPENING. SEE ELEVATIONS FOR TYPICAL DETAILS.
- PROVIDE CLOSET ROD WITH SHELF ABOVE
- PROVIDE DOUBLE HANG CLOSET RODS
- INSTALL DOUBLE STUD TYPE A WALL
- SHOWER SEAT. SEE ELEVATION.
- SHOWER NICHE. SEE ELEVATION.
- BUILT-IN SHELVING. SEE ELEVATION.
- HVAC RETURN
- WOOD AND METAL RAILINGS. SEE ELEVATION.
- PROVIDE DOUBLE STUD TYPE A WALLS TO ALLOW FOR TWO OPERATING POCKET DOORS
- GAS BURNING FIREPLACE
- WOOD BURNING EXTERIOR FIREPLACE



### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

## HZC SUBMISSION

# NEW CONSTRUCTION

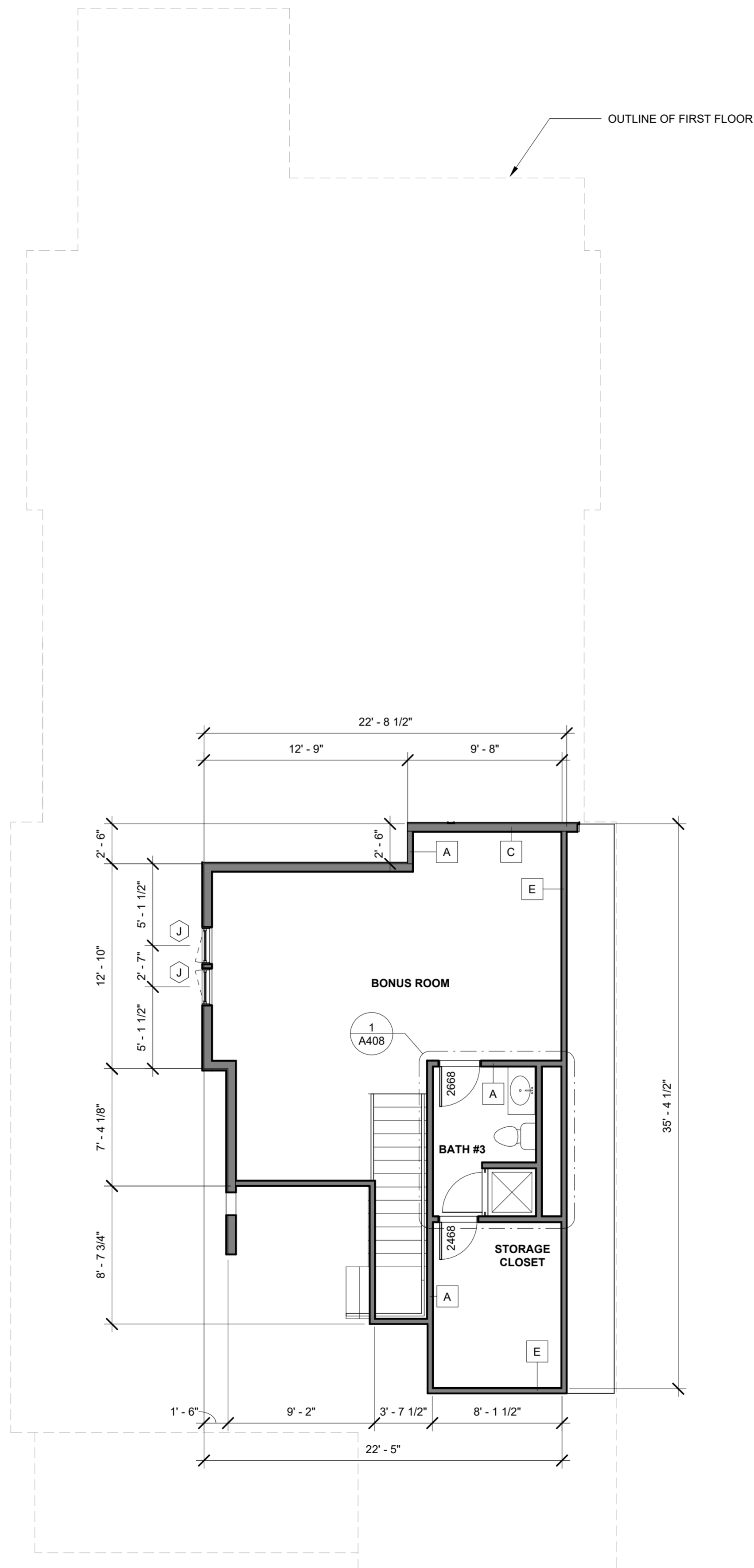
1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.24 250904

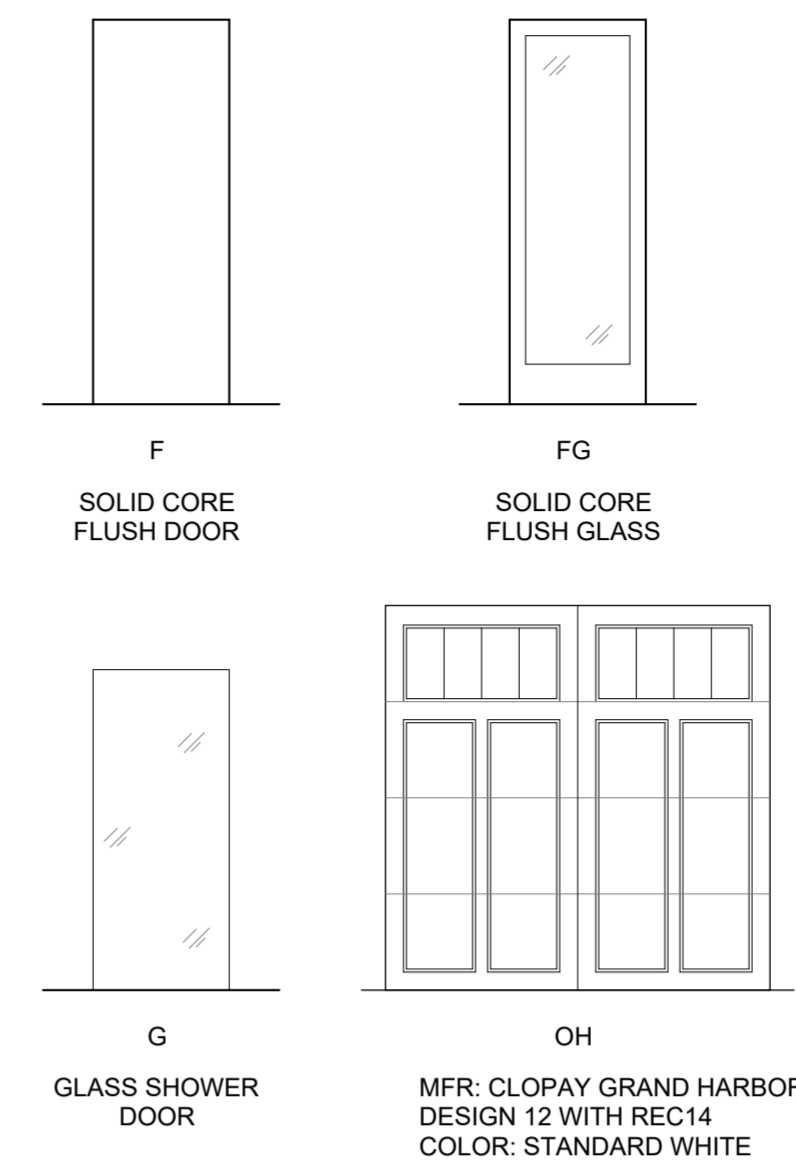
## FIRST FLOOR PLAN

# A101

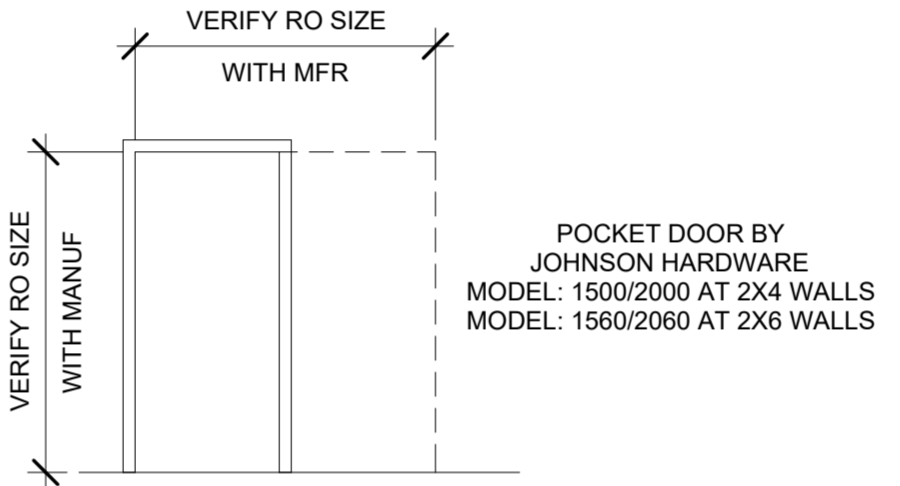


1 SECOND FLOOR PLAN  
3/16" = 1'-0"

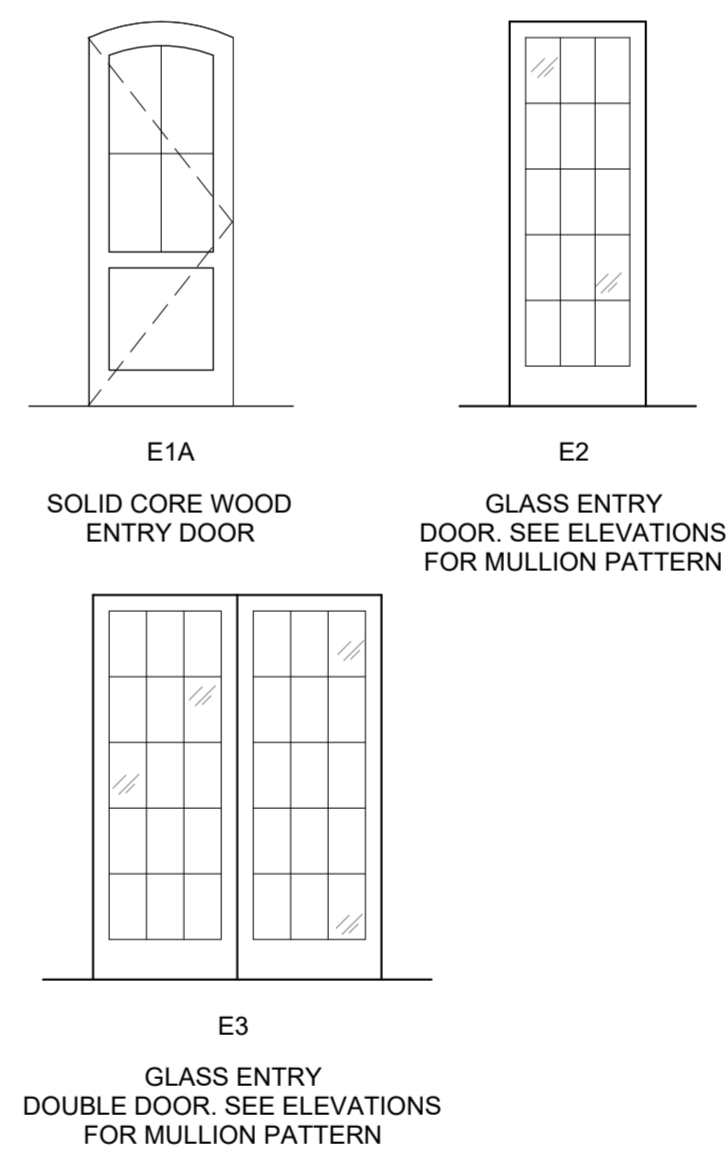
DOOR TYPES



FRAME TYPES



EXTERIOR DOOR TYPES

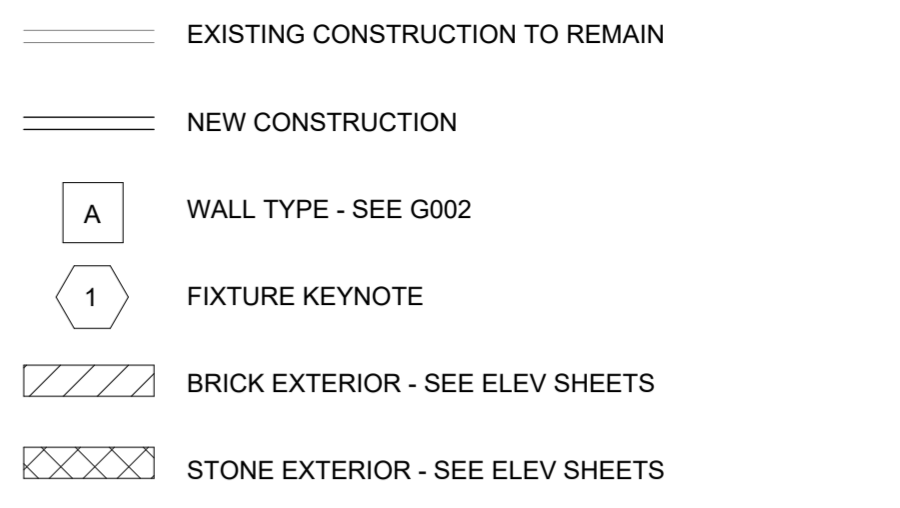


WINDOW NOTES

WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	SILL HEIGHT	NOTES
A	2' - 4"	7' - 0"	<varies>	EXISTING
B	2' - 8"	6' - 0"	1' - 6"	
C	2' - 0"	4' - 0"	3' - 6"	
D	2' - 6"	5' - 4"	3' - 2"	
E	2' - 6"	6' - 0"	1' - 6"	
F	2' - 4"	6' - 0"	1' - 6"	
G	2' - 8"	6' - 0"	1' - 6"	
H	2' - 6"	5' - 0"	2' - 1"	
J	2' - 4"	4' - 0"	3' - 0"	
K	2' - 9"	7' - 0"	1' - 4"	EXISTING
L	3' - 2"	1' - 6"	7' - 0"	
N	1' - 6"	2' - 4"	<varies>	

- MFR BASIS OF DESIGN: MARVIN ULTIMATE WOOD
- EXTERIOR FINISH: PAINTED WOOD
- INTERIOR FINISH: PAINTED WOOD
- HARDWARE FINISH: MATTE BLACK
- WINDOW MUNTIN PROFILE: SIMULATED DIVIDED LITE WITH SPACER BAR (SLS). SEE ELEVATIONS FOR PATTERN.
- SIZES SHOWN ARE NOMINAL. VERIFY RO WITH WINDOW SPECIFICATION SHEET.

FLOOR PLAN LEGEND

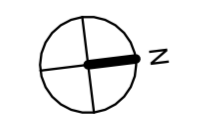


GENERAL NOTES

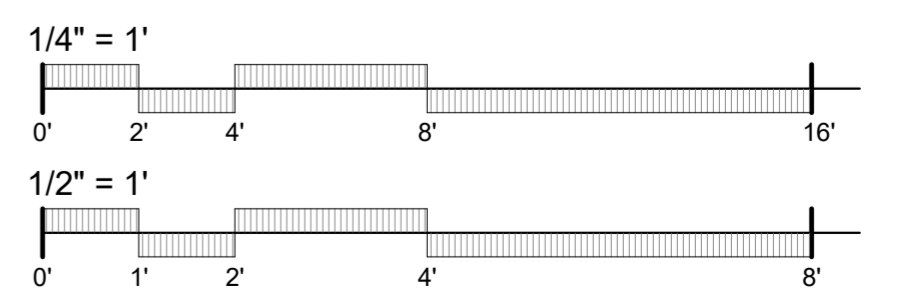
- PERFORM ALL WORK IN COMPLIANCE WITH STATE AND LOCAL CODES, EXECUTED IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS
- VERIFY ALL MEASUREMENT IN THE FIELD BEFORE COMMENCEMENT OF WORK
- PROCURE ALL REQUIRED AND NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY WORK
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD, UNLESS NOTED OTHERWISE
- MECHANICAL, ELECTRICAL, AND STRUCTURAL DESIGN SERVICES AND ANALYSIS TO BE PROVIDED BY CONTRACTOR ON A DESIGN-BUILD BASIS.
- PROVIDE IN WALL WOOD BLOCKING AT TOILET ACCESSORY LOCATIONS.
- DOORS ARE LOCATED 6" FROM NEAREST WALL CORNER UNO.
- PROVIDE CRACK SUPPRESSION SYSTEM UNDER TILE FLOOR.
- PROVIDE CEMENT BOARD IN LIEU OF GWB AT ALL WET LOCATIONS.

FLOOR PLAN KEYNOTES

- PROVIDE FLOOR TO CEILING SHELVES
- ARCH CASED OPENING. SEE ELEVATIONS FOR TYPICAL DETAILS.
- PROVIDE CLOSET ROD WITH SHELF ABOVE
- PROVIDE DOUBLE HANG CLOSET RODS
- INSTALL DOUBLE STUD TYPE A WALL
- SHOWER SEAT. SEE ELEVATION.
- SHOWER NICHE. SEE ELEVATION.
- BUILT-IN SHELVE. SEE ELEVATION.
- HVAC RETURN
- WOOD AND METAL RAILINGS. SEE ELEVATION.
- PROVIDE DOUBLE STUD TYPE A WALLS TO ALLOW FOR TWO OPERATING POCKET DOORS
- GAS BURNING FIREPLACE
- WOOD BURNING EXTERIOR FIREPLACE



GRAPHIC SCALES



CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

HZC SUBMISSION

NEW CONSTRUCTION

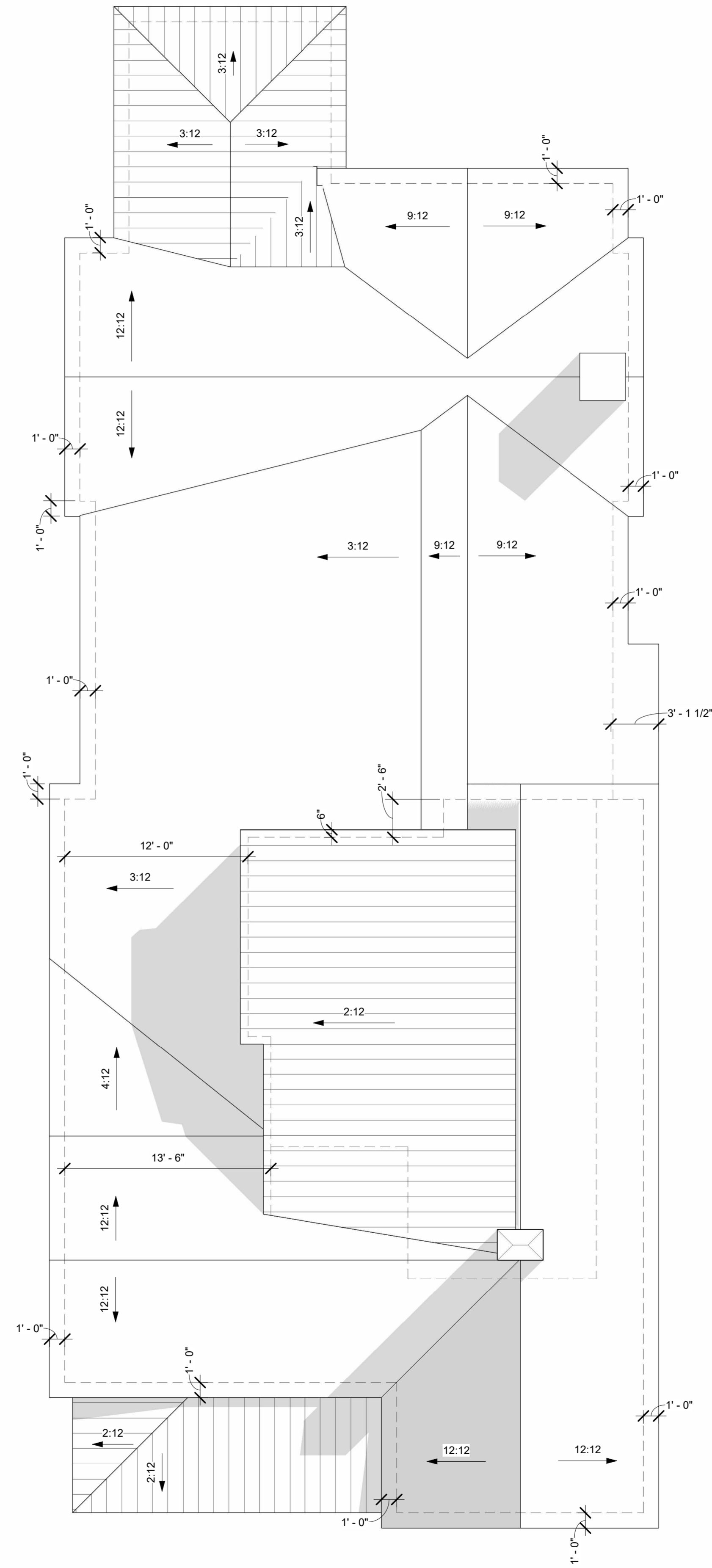
1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.24 250904

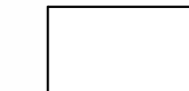
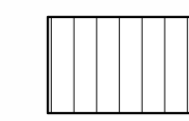
SECOND FLOOR PLAN

A102



1 ROOF PLAN  
3/16" = 1'-0"

### ROOF PLAN LEGEND

-  ASPHALT SHINGLE ROOF
-  METAL ROOF

### ROOF PLAN NOTES

1. PROVIDE RIDGE VENTS
2. PROVIDE METAL FLASHING
3. ASPHALT SHINGLE ROOF:  
MFR: CERTAINTED LANDMARK  
COLOR: COLONIAL STATE
4. METAL ROOF:  
MFR: FABRAL  
COLOR: TBD

### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

HZC  
SUBMISSION

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.24

250904

**ROOF PLAN &  
ROOF  
DETAILS**

**A104**

## HZC SUBMISSION

**NEW CONSTRUCTION**  
1309 ADAMS ST., FRANKLIN, TN 37064  
MAIN RESIDENCE

2026.04.24 | 250904

**EXTERIOR  
ELEVATIONS**

# A201

### ELEVATION LEGEND

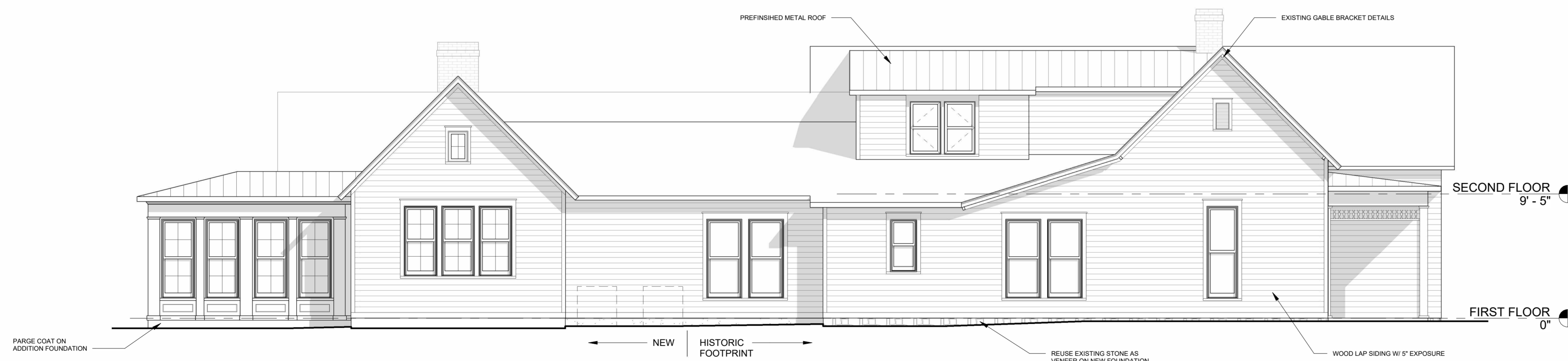
- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- WINDOW TYPE - SEE A601
- BRICK EXTERIOR
- STONE EXTERIOR
- HARDIE SIDING EXTERIOR

### GENERAL NOTES

- PROVIDE HALF ROUND METAL GUTTERS AND ROUND DOWNSPOUTS.
- SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
- CONTRACTOR TO PROVIDE FULL SIZE MOCKUP OF TYPICAL CONSTRUCTION METHODS PRIOR TO PROCUREMENT OF MATERIAL. MOCK UP SHALL INCLUDE BRICK WATER TABLE, PAINTED BRICK, FASCIA, DENTIL MOULDING, EAVE, AND ROOF SHINGLES.
- EXTERIOR FINISHES:
  - BRICK: PAINT GRADE
  - BRICK COLOR: TBD
  - ASPHALT SHINGLE: CERTAINTED
  - ASPHALT SHINGLE MODEL: LANDMARK
  - ASPHALT COLOR: COLONIAL SLATE
  - METAL ROOF COLOR: TBD
  - TRIM COLOR: WHITE
  - WINDOW CLAD COLOR: MARVIN STONE WHITE
- PROVIDE WEEPS IN STONE WALL AS REQUIRED
- SEE TYPICAL EXTERIOR DETAILS, SHEET A301.
- PROVIDE ACCESS PANEL TO CRAWL SPACE AS REQUIRED BY IRC R408.4. ACCESS THROUGH FLOOR SHALL BE A MINIMUM OF 18" X 24". ACCESS THROUGH PERIMETER WALL SHALL BE A MINIMUM OF 16" X 24". VENTILATE PER M1305.1.4.

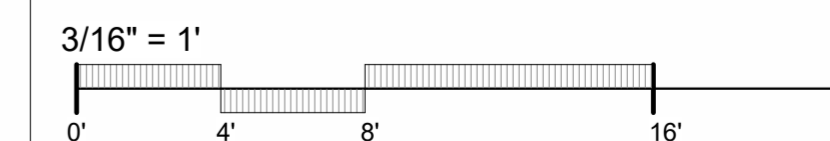


② EXTERIOR ELEV // FRONT  
3/16" = 1'-0"



① EXTERIOR ELEV // LEFT SIDE  
3/16" = 1'-0"

### GRAPHIC SCALES



HZC  
SUBMISSION

**NEW CONSTRUCTION**  
1309 ADAMS ST., FRANKLIN, TN 37064  
MAIN RESIDENCE



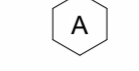
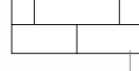
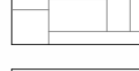
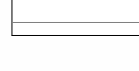
2026.04.24

250904

**EXTERIOR  
ELEVATIONS**

**A202**

## ELEVATION LEGEND

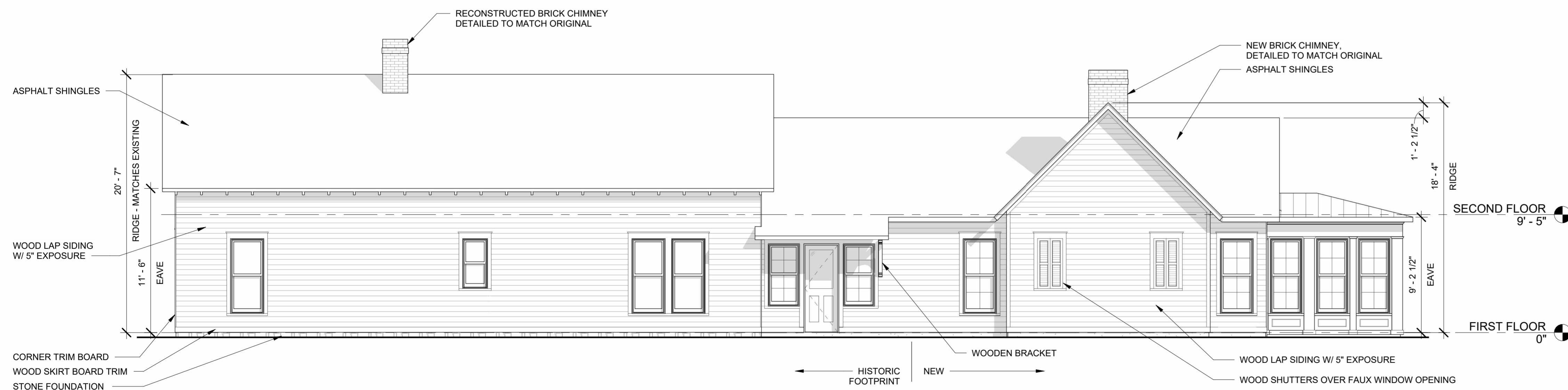
-  EXISTING CONSTRUCTION
-  NEW CONSTRUCTION
-  WINDOW TYPE - SEE A601
-  BRICK EXTERIOR
-  STONE EXTERIOR
-  HARDIE SIDING EXTERIOR

## GENERAL NOTES

1. PROVIDE HALF ROUND METAL GUTTERS AND ROUND DOWNSPOUTS.
2. SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
3. CONTRACTOR TO PROVIDE FULL SIZE MOCKUP OF TYPICAL CONSTRUCTION METHODS PRIOR TO PROCUREMENT OF MATERIAL. MOCK UP SHALL INCLUDE BRICK WATER TABLE, PAINTED BRICK, FASCIA, DENTIL MOULDING, EAVE, AND ROOF SHINGLES.
4. EXTERIOR FINISHES:  
BRICK: PAINT GRADE  
BRICK COLOR: TBD  
ASPHALT SHINGLE: CERTAINTED  
ASPHALT SHINGLE MODEL: LANDMARK  
ASPHALT COLOR: COLONIAL SLATE  
METAL ROOF COLOR: TBD  
TRIM COLOR: WHITE  
WINDOW CLAD COLOR: MARVIN STONE WHITE
5. PROVIDE WEEPS IN STONE WALL AS REQUIRED
6. SEE TYPICAL EXTERIOR DETAILS, SHEET A301.
7. PROVIDE ACCESS PANEL TO CRAWL SPACE AS REQUIRED BY IRC R408.4. ACCESS THROUGH FLOOR SHALL BE A MINIMUM OF 18" X 24". ACCESS THROUGH PERIMETER WALL SHALL BE A MINIMUM OF 16" X 24". VENTILATE PER M1305.1.4.

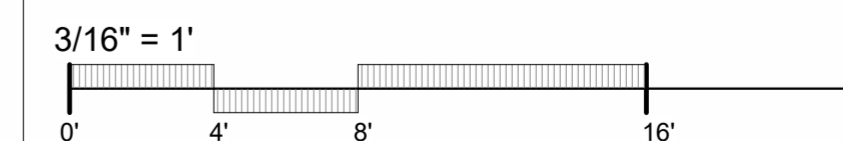


② EXTERIOR ELEV // REAR  
3/16" = 1'-0"



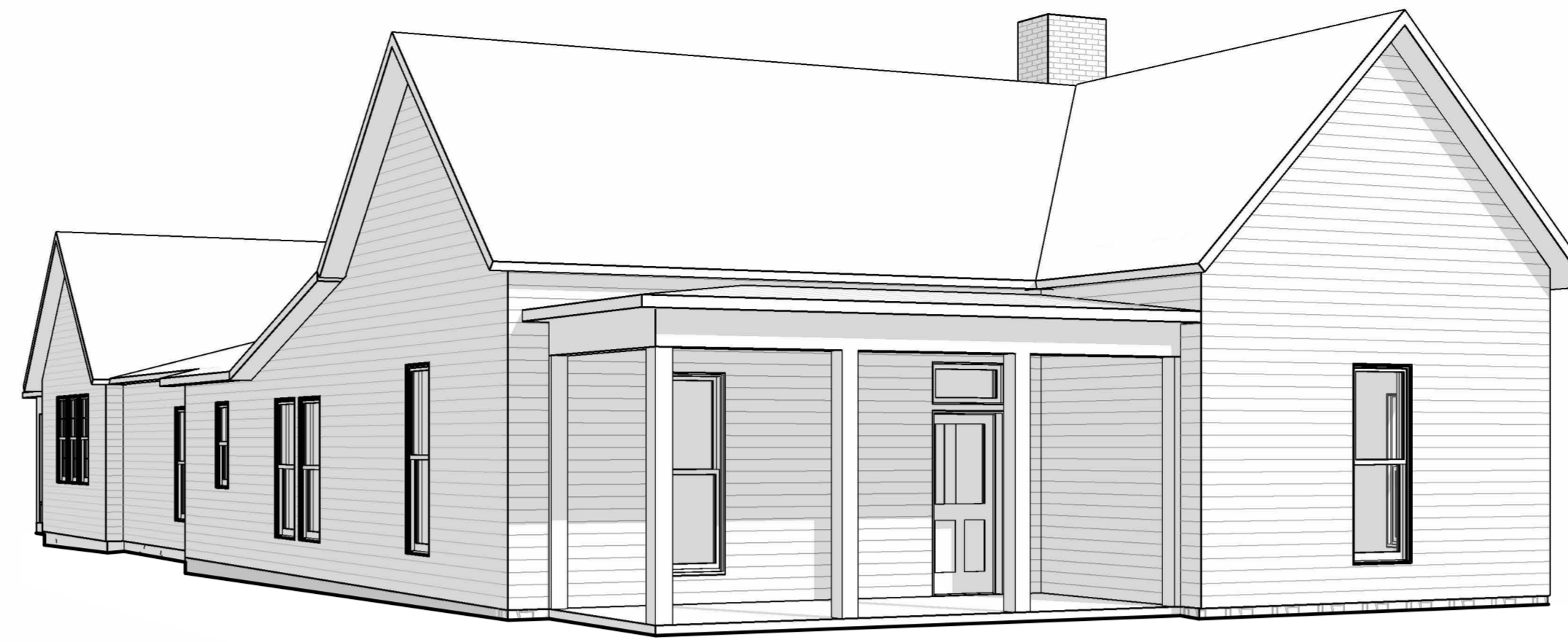
① EXTERIOR ELEV // RIGHT SIDE  
3/16" = 1'-0"

## GRAPHIC SCALES





3 3D VIEW // FRONT - SW CORNER



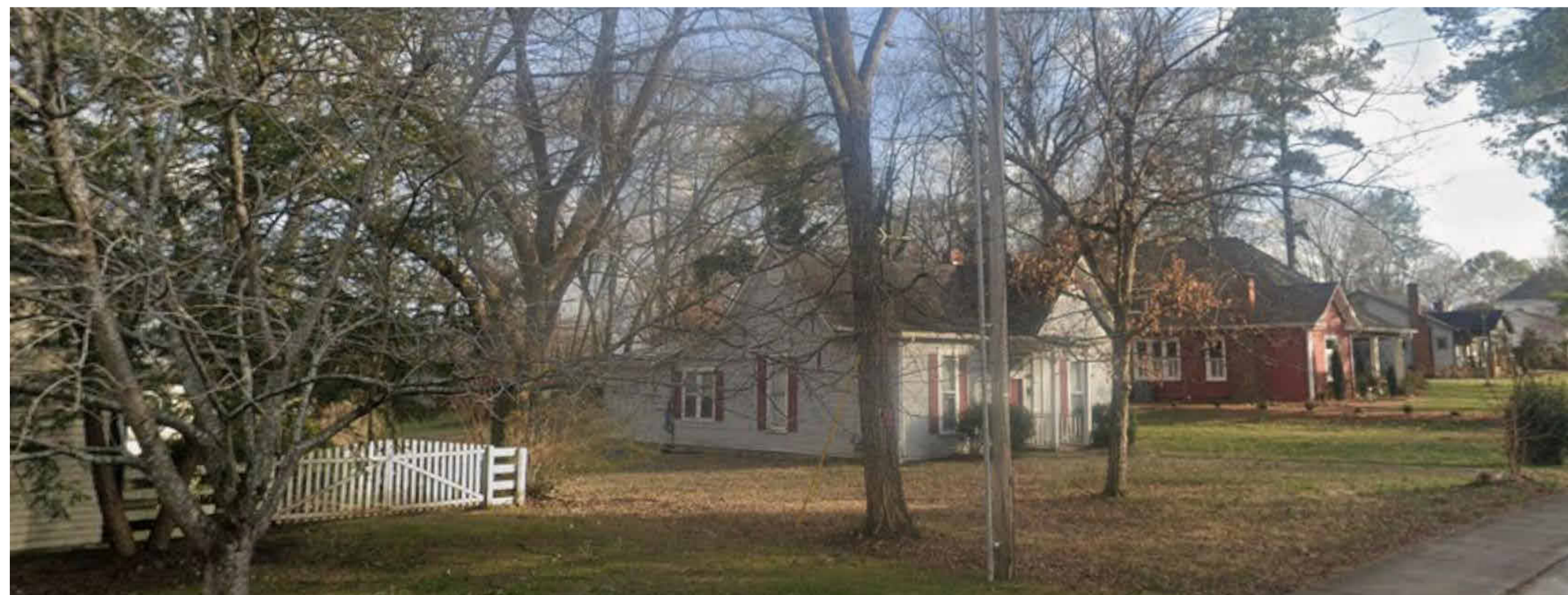
2 3D VIEW // FRONT - NW CORNER



1 3D VIEW // REAR - SE CORNER



6 3D VIEW // REAR - NE CORNER



SITE PHOTO - SIDE VIEW REFERENCE



4 3D VIEW // SIDE APPROACH

### ELEVATION LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- A WINDOW TYPE - SEE A601
- BRICK EXTERIOR
- STONE EXTERIOR
- HARDIE SIDING EXTERIOR

### GENERAL NOTES

1. PROVIDE HALF ROUND METAL GUTTERS AND ROUND DOWNSPOUTS.
2. SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
3. CONTRACTOR TO PROVIDE FULL SIZE MOCKUP OF TYPICAL CONSTRUCTION METHODS PRIOR TO PROCUREMENT OF MATERIAL. MOCK UP SHALL INCLUDE BRICK WATER TABLE, PAINTED BRICK, FASCIA, DENTIL MOULDING, EAVE, AND ROOF SHINGLES.
4. EXTERIOR FINISHES:  
 BRICK: PAINT GRADE  
 BRICK COLOR: TBD  
 ASPHALT SHINGLE: CERTAINTED  
 ASPHALT SHINGLE MODEL: LANDMARK  
 ASPHALT COLOR: COLONIAL SLATE  
 METAL ROOF COLOR: TBD  
 TRIM COLOR: WHITE  
 WINDOW CLAD COLOR: MARVIN STONE WHITE
5. PROVIDE WEEPS IN STONE WALL AS REQUIRED
6. SEE TYPICAL EXTERIOR DETAILS, SHEET A301.
7. PROVIDE ACCESS PANEL TO CRAWL SPACE AS REQUIRED BY IRC R408.4. ACCESS THROUGH FLOOR SHALL BE A MINIMUM OF 18" X 24". ACCESS THROUGH PERIMETER WALL SHALL BE A MINIMUM OF 16" X 24". VENTILATE PER M1305.1.4.

# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

HZC  
SUBMISSION

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.24

250904

GRAPHIC SCALES

3D  
PERSPECTIVES

**A203**



---

**File #: 26-0561**

---

**DATE:** 5/11/2026  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner

**SUBJECT:**  
Consideration Of Signage At 109 3rd Ave. S. (City Hall); City of Franklin, Applicant.

**PURPOSE:**  
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning signage for underground parking at City Hall, located at 109 3rd Avenue South.

**APPLICABLE DESIGN GUIDELINES:**  
2022 Franklin Historic District Design Guidelines  
Chapter 8: Signs

**PROJECT INFORMATION:**  
COF Project Number: 9123  
Applicant: City of Franklin  
Owner: City of Franklin

**BACKGROUND:**  
The property located at 109 3rd Avenue South is the location of the City of Franklin's City Hall. The property is located in the Downtown Franklin National Register District. The proposal includes the installation of a wall sign above the entrance to the below-grade parking on the rear of the building. The Guidelines recommend the following for wall signs on commercial/civic buildings:

- Quantity: Maximum of 1 per building facade only if no band sign exists on the building
- Sign Area: 9 square feet and proportionate to the building facade and other signage
- Sign Thickness: Maximum of 2 inches
- Projection From Wall: Maximum of 6 inches
- Height From Grade: Maximum 12 feet
- Materials: Finished wood or metal, with matte background finishes rather than reflective or shiny background finishes
- Color: Maximum of 3 colors, and with a darker background color than the lettering color Use muted colors that complement the facade, although vibrant colors may be considered as an accent
- Illumination: Use only external illumination and downlights, no spotlights. Use concealed lighting or limited visible light fixtures, such as gooseneck fixtures, in a dark bronze or black

color or a color that matches the facade color. Use incandescent and warm-colored lighting when possible.

- Placement: Attach signs to the building carefully to prevent damage to the historic fabric. For example, install any mounting bolts through mortar joints rather than the face of the masonry.

The proposal meets the intent of the Guidelines for wall signs for commercial/civic buildings except for the height from grade, which is proposed to be a maximum of 12' and the sign is proposed to be placed 13'4" from grade. The sign is centered above the entrance to the parking area and similar in style to the signage that is seen on the Second Avenue and Fourth Avenue parking garages. The placement of the sign aligns with the guideline that states that signs should be designed to respect and respond to the character of the property on which they are being placed and of the overall district. Further, the sign should be attached to the building carefully to prevent damage to the brick.

**RECOMMENDATION:**

Since this is a City project, staff does not make a recommendation, but here are some potential conditions should the Historic Zoning Commission approve the proposal:

1. The sign shall be attached to the building carefully to prevent damage to the historic fabric. Mounting of the signage shall be placed so that they go through mortar joints rather than the face of the masonry.
2. If illumination is proposed at a later date, a COA may be able to be approved administratively.
3. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
4. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



# Franklin City Hall

Exterior Signage Review

APRIL 29, 2026



# Signage Materials

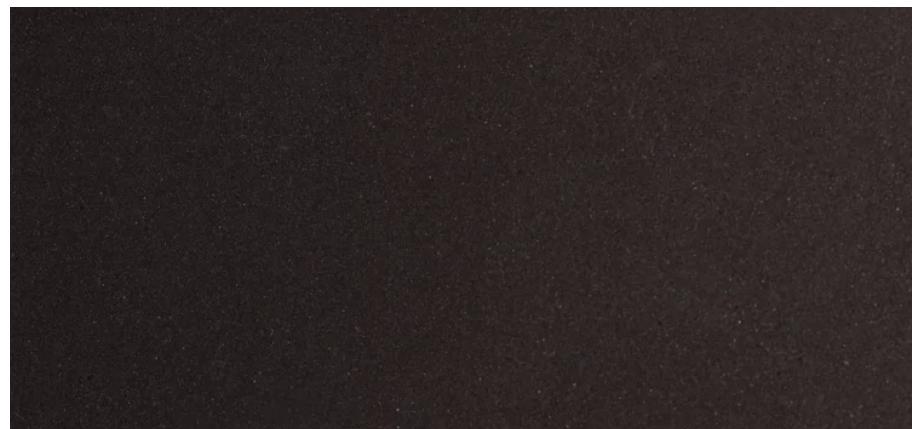
ROOTS IN HISTORY

# Material Palette

## ROOTS IN HISTORY

The exterior signage material palette is informed by the architectural finishes of Franklin City Hall and the broader character of the Historic District.

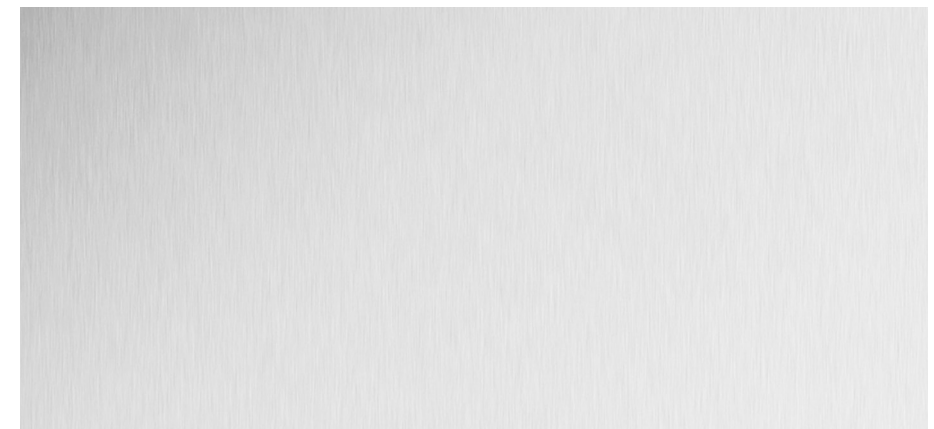
A deep bronze finish, selected to match the building's window framing, establishes continuity with the facade, while gold metallic accents introduce a subtle level of contrast and refinement. Anodized aluminum is utilized at the Garage ID signage to align with existing architectural metal finishes, creating a cohesive system that bridges exterior and interior signage.



Scott Bronze Metallic



Gold Metal Metallic



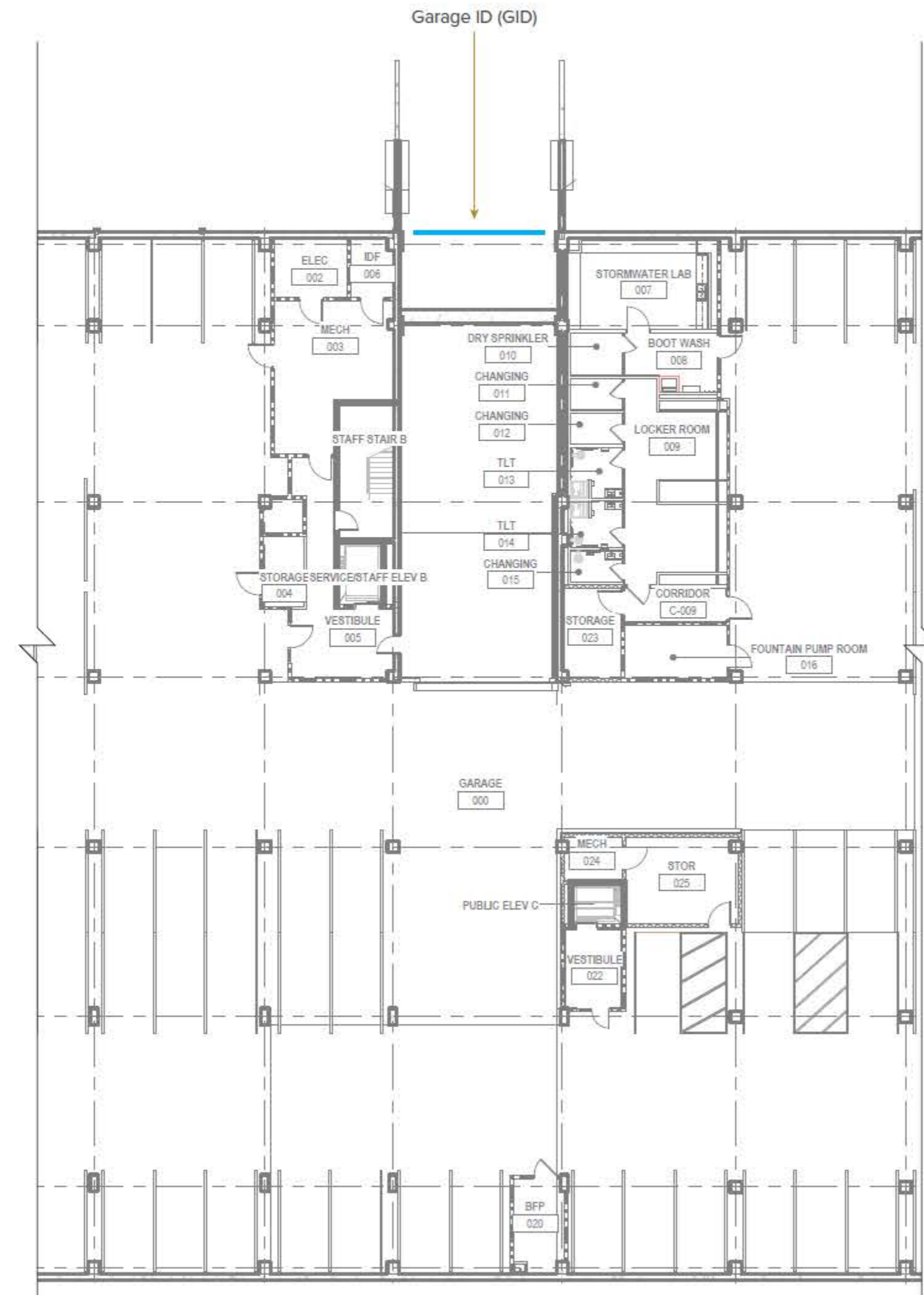
Anodized Aluminum

# Signage Details

PROPOSED PLACEMENT & CONSTRUCTION

# Signage Details

PLACEMENT REFERENCE



# Signage Details

PLACEMENT REFERENCE



Garage ID (GID)

Franklin City Hall, North Elevation Overall

# GID | Garage ID

## PROPOSED CONSTRUCTION

### Description

Identifies the parking garage entrance with clear, legible typography integrated into the building facade.

The use of individual letterforms reinforces a clean and contemporary aesthetic while maintaining compatibility with the historic character of the surrounding context. Placement and proportion are carefully considered to ensure visibility without competing with primary architectural elements.

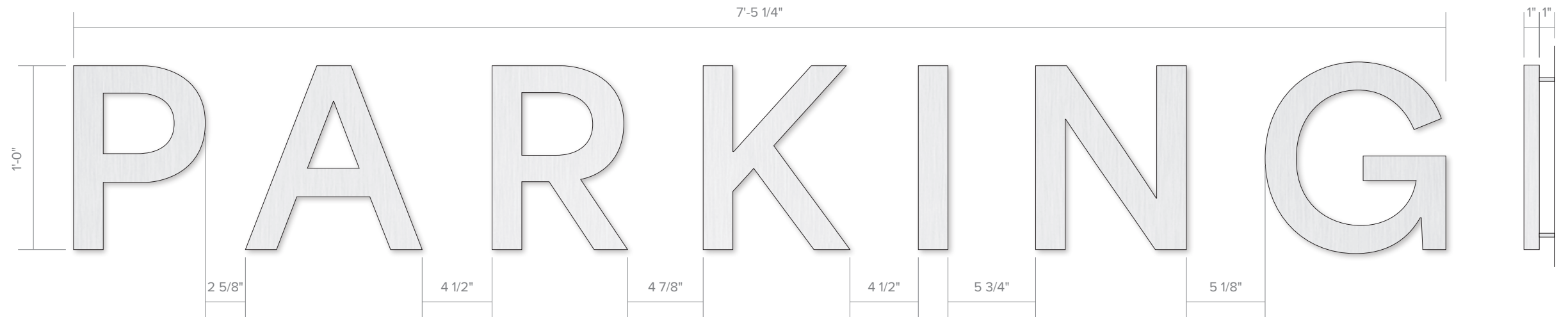
### Construction

Non-illuminated, fabricated aluminum channel letters with a 1" depth, utilizing a sans-serif typeface consistent with the overall signage family. Letters to feature a satin, clear anodized finish to match adjacent architectural metal finishes.

Letters to be mounted directly to the building facade using 1" stand-offs, finished to match letterforms, creating a subtle shadow line. Installation to include concealed mounting hardware with supplemental exterior-grade silicone as required. Letters to be centered horizontally above the parking garage entrance.

Baseline of letters sits approximately 13'-4" above grade.

Garage ID signage area is 7.88 sq/ft.



**GID | Garage ID**  
Front & Side View  
scale 1-1/2" = 1'-0"

# GID | Garage ID

## PROPOSED CONSTRUCTION

### Description

Identifies the parking garage entrance with clear, legible typography integrated into the building facade.

The use of individual letterforms reinforces a clean and contemporary aesthetic while maintaining compatibility with the historic character of the surrounding context. Placement and proportion are carefully considered to ensure visibility without competing with primary architectural elements.

### Construction

Non-illuminated, fabricated aluminum channel letters with a 1" depth, utilizing a sans-serif typeface consistent with the overall signage family. Letters to feature a satin, clear anodized finish to match adjacent architectural metal finishes.

Letters to be mounted directly to the building facade using 1" stand-offs, finished to match letterforms, creating a subtle shadow line. Installation to include concealed mounting hardware with supplemental exterior-grade silicone as required. Letters to be centered horizontally above the parking garage entrance.

Baseline of letters sits approximately 13'-4" above grade.

Garage ID signage area is 7.88 sq/ft.

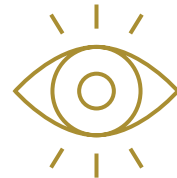


**GID | Garage ID**  
Front & Side View  
scale 1/4" = 1'-0"



**STRATEGIC  
WAYFINDING**

Customized systems to help users navigate and experience a space with ease



**BRANDED  
ENVIRONMENTS**

Bringing brands to life in creative, original, and experiential ways



**PLACE  
BRANDING**

Names, logos, color palettes, and design guides for one-of-a-kind destinations



**AESTHETIC  
SIGNAGE**

Delivering crucial information without disturbing your artistic vision



[McCOYNASH.COM](http://McCOYNASH.COM)

[hello@mccoynash.com](mailto:hello@mccoynash.com)  
615-403-6509



HISTORIC  
FRANKLIN  
TENNESSEE

## Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

**Address:** 236 Public Sq. (Downtown Franklin National Register Historic District)  
**Applicant:** Kristan Swain  
**Owner:** Kristan Swain  
**Project #:** 9101  
**Type of Work:** Minor Alteration on Rear Facade (Non-Historic Enclosed Carport)

**Status:** Approval with conditions  
See “**Approved Work Specifications**” Below)

**Approval Date:** April 7, 2026  
**Expiration Date:** April 7, 2028 (if work has not commenced)  
**Reviewer:** Elizabeth Bulay

### APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for a minor alteration at the rear of a building that is screened in the alley behind the building located at 236 Public Square. The proposal is to install bollards along the property line within a dumpster enclosure to prevent contact with the building.

The Guidelines allow for administrative approval of the following minor alterations to the rear façade if all recommendations are met:

- Minor alterations to non-historic components on rear or obscured facades of historic or non-historic structures that enhance the compatibility with the context of the individual historic district (examples include rear doors, non-historic window replacement, or similar, but do not include any footprint or roofline alterations).

The location of the alterations, at the rear of a building within a dumpster enclosure accessible through the public alleyway, is appropriate for Administrative Review. The Guidelines recommend the following for other site and setting alterations:

- Generally, site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts.

The request is to install bollards along the property line within a dumpster enclosure to prevent contact with the building. The proposed bollard is 6” in diameter and 56” tall and will utilize a black finish. The location of the installation will not be visible from public view, does not require the removal of historic features, and does not overwhelm the context of the historic district. The proposed bollards are appropriate.

### **APPLICABLE GUIDELINES**

2022 Historic District Design Guidelines  
Chapter 6: Site and Setting

### **APPROVED WORK SPECIFICATIONS**

The bollards are **approved** with the following conditions:

- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

**Emily Huffer | Preservation Planner**  
Planning & Sustainability Department  
City of Franklin, Tennessee  
615.550.6795  
<http://www.franklintn.gov/>



Search

## Smooth Bollard Sleeve - 6 x 56", Black



### INDOOR/OUTDOOR

Maintenance-free protection with a clean, finished look.

- Stays brighter longer. UV resistant, holds 98% of color for 5 years.
- High-density polyethylene can be trimmed to fit.
- Installation kit included.
- Made in the USA.

[More Images & Video](#)

SPECIFY COLOR:

MODEL NO.	DESCRIPTION	FITS POST DIAMETER	DIAMETER		HEIGHT	PRICE EACH			COLOR	IN STOCK SHIPS TODAY
			OUTSIDE	INSIDE		1	4	12+		
H-9231BL	Smooth	6"	7 1/4"	7"	56"	\$47 any quantity			<input checked="" type="checkbox"/> Black	1 <input type="button" value="ADD"/>

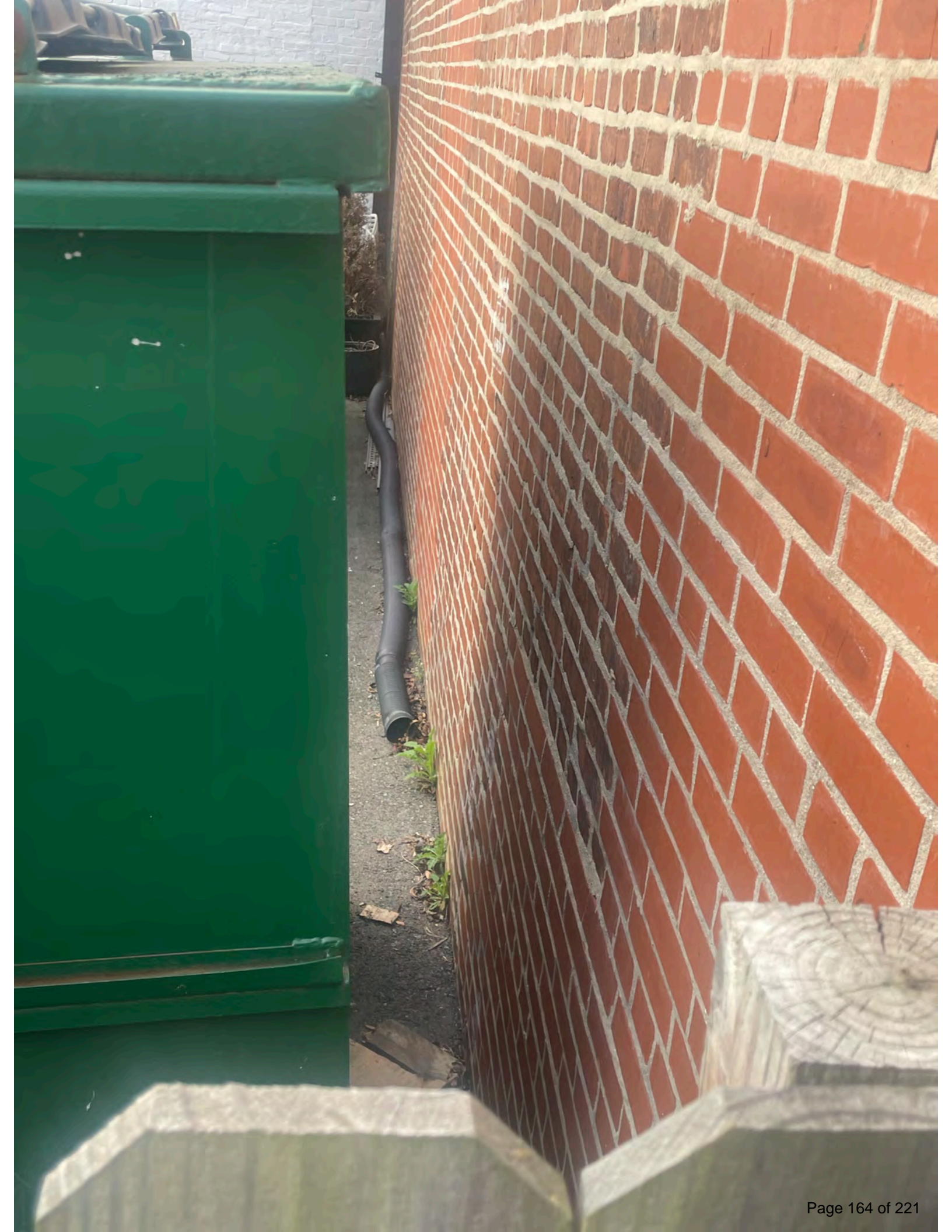
SHIPS VIA UPS

[+ Additional Info](#) [+ Parts](#) [+ Shopping Lists](#) [Request a Catalog](#)

HUGE SELECTION

LEGENDARY SERVICE

FASTEST DELIVERY









ONYX + ALABASTER  
DESIGN + BUILD



HISTORIC  
FRANKLIN  
TENNESSEE

## Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

**Address:** 223 Bridge St. (Downtown Franklin Historic District)  
**Applicant:** Waves, Inc. Evangelina Montelongo  
**Owner:** Ron Shuff Family Partnership, LP, Marla Albert  
**Project #:** 9115  
**Type of Work:** Consideration of Signage (Post-and-Arm, Wall & Convenience)

**Status:** Approval with Conditions  
(See “**Approved Work Specifications**” Below)

**Approval Date:** April 20, 2026  
**Expiration Date:** April 20, 2028 (if work has not commenced)  
**Reviewed By:** Elizabeth Bulay

### APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the installation of a post-and-arm sign, wall sign, convenience signage, and door signage at 223 Bridge Street.

The Guidelines allow for administrative approval of signs if all recommendations are met.

### Post-and-Arm

- **Location:** The Guidelines state to place the sign in a traditional front yard location and to be perpendicular to the public sidewalk. The proposed sign is located in the front landscaped area between the house and the sidewalk. The proposed location is appropriate but the orientation of the sign shall be perpendicular to the sidewalk.
- **Quantity:** The Guidelines state that a maximum of one per building is recommended only if no post-and-panel signs exist. A maximum of three signs is recommended for a building. However, where there is an entrance on a rear facade facing a parking area, an additional sign may be considered, limited to a directory sign, a small hanging/projecting sign, or a window sign. There is no existing post-and-arm sign on the site. The proposed quantity is appropriate as this is the first sign proposed in the sign package.
- **Sign Area:** The Guidelines state that the maximum sign area is 9 sq. ft. The proposed sign panels will be 36” x 36”, or 9 sq. ft. The proposed sign area size is appropriate.

- **Height:** The Guidelines state that the maximum post height is 7 feet in height. The proposed post will be 5.5' in height from grade. The proposed height is appropriate.
- **Material:** The Guidelines state that wall signs should be a finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The sign panel will be an aluminum panel and a metal post. The proposed materials are appropriate. The finish is proposed to be matte. The proposed materials and finish are appropriate.
- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The sign is proposed to be a dark blue background and white lettering. The proposed colors are appropriate.
- **Illumination:** No illumination is proposed for the signage within the application.

### **Wall Sign:**

- **Location:** The Guidelines state that wall signs must be placed in traditional locations and must be located below any second story or building cornice. The proposed sign is located on the rear of the building and is below the building's cornice. The proposed location is appropriate.
- **Quantity:** The Guidelines state that a maximum of one per building is recommended. A maximum of three signs is recommended for a building. However, where there is an entrance on a rear facade facing a parking area, an additional sign may be considered, limited to a directory sign, a small hanging/projecting sign, or a window sign. There is no existing wall sign on the site. The proposed quantity is appropriate as this is the second sign proposed in the sign package.
- **Sign Area:** The Guidelines state that the maximum sign area is 4.5 sq. ft. The proposed sign panels will be 25" x 25", for a total area of 4.3 sq. ft. The proposed sign area size is appropriate.
- **Height:** The Guidelines state that the maximum height is 12' from grade. The proposed sign height was not provided within the proposal. The sign height should align with the Guidelines recommendation.
- **Thickness & Projection:** The Guidelines state that the maximum projection from the wall is 6" and the maximum sign thickness is 2". The thickness and projection were not included within the application, but should be consistent with the Guidelines.
- **Material:** The Guidelines state that wall signs should be a finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The sign panel will be an aluminum sign panel with a matte background finish. The proposed materials and finish are appropriate.

- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The sign is proposed to be a dark blue background and white lettering. The proposed colors are appropriate.
- **Illumination:** No illumination is proposed for the signage within the application.

### Additional Convenience Signs:

- **Location:** The Guidelines state that convenience signs can be approved when they are not visible from the right-of-way. The proposed signs are located within the boundary of the property to the rear of the building. The sign locations are appropriate.
- **Quantity:** The Guidelines state that limited additional signs may be approved when they are not visible from the right-of-way. Three additional convenience signs are proposed and do not count towards the total quantity of signs, as they are not visible from the right-of-way. The quantity is appropriate.
- **Sign Area:** The Guidelines state that the recommended sign area, where not visible from the right-of-way, convenience signs used for parking spaces may be up to 1.5 square feet. The proposed signs are 1.5 sq. ft. The proposed sign size is appropriate.
- **Height:** The Guidelines state that when not visible from the right-of-way, convenience signs used for parking spaces may be up to 6.5 feet tall on a pole/post. The proposed sign height was not indicated within the application, but should align with the Guidelines.
- **Material:** The Guidelines state that signs should consist of a finished wood or metal with matte background finishes rather than reflective or shiny background finishes. The proposed signs will consist of an aluminum sign panel and pole and will utilize a matte finish. The materials are appropriate.
- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed signs utilize a dark blue background and white lettering. The proposed colors are appropriate.
- **Illumination:** No illumination is proposed.

### APPLICABLE GUIDELINES

Chapter 8 – Signs

### NOT APPROVED WORK SPECIFICATIONS

The three proposed door signs are not a sign type within the Design Guidelines and cannot be administratively approved by staff.

## **APPROVED WORK SPECIFICATIONS**

The post-and-arm sign, wall sign, and convenience signage are **approved** with the following conditions:

- The post and arm sign shall be perpendicular to the sidewalk.
- The wall sign's placement on the building should be less than 12' from the grade.
- The wall sign thickness must not exceed 2" and must not project more than 6" from the building.
- Mount the wall sign so that it minimizes the damage to historic materials.
- The height of the parking convenience signs must not exceed 6.5 feet and must be submitted to the Preservation Planner for review.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

**Emily Huffer | Preservation Planner**  
Planning & Sustainability Department  
City of Franklin, Tennessee  
615.550.6795 | <http://www.franklintn.gov/>

# WAVES, INC. SIGNAGE APPLICATION

## INDEX OF APPLICATION

1. Overview of Signage Requests
2. Front Arm and Post + Door Logo Image of Installation
3. Street Arm and Post Proof
4. Side Door/Main Entrance Door Logo Image of Installation
5. Door Logos Proof
6. Back of Building Direction Sign Image of Installation + Proof
7. Parking Signs Image of Installation + Proof





STREET  
ARM AND  
POST SIGN

BRIDGE ST.  
PEDESTRIAN RIGHT OF WAY

PARKING  
ENTRANCE

DOOR LOGO

SIDE DOOR  
LOGO/MAIN  
ENTRANCE  
(NOT RIGHT OF WAY)

WAVES

BACK  
DOOR  
LOGO  
(NOT RIGHT OF WAY)

BACK  
DIRECTIONAL  
SIGN  
(NOT RIGHT OF WAY)

#1  
PARKING  
SIGN

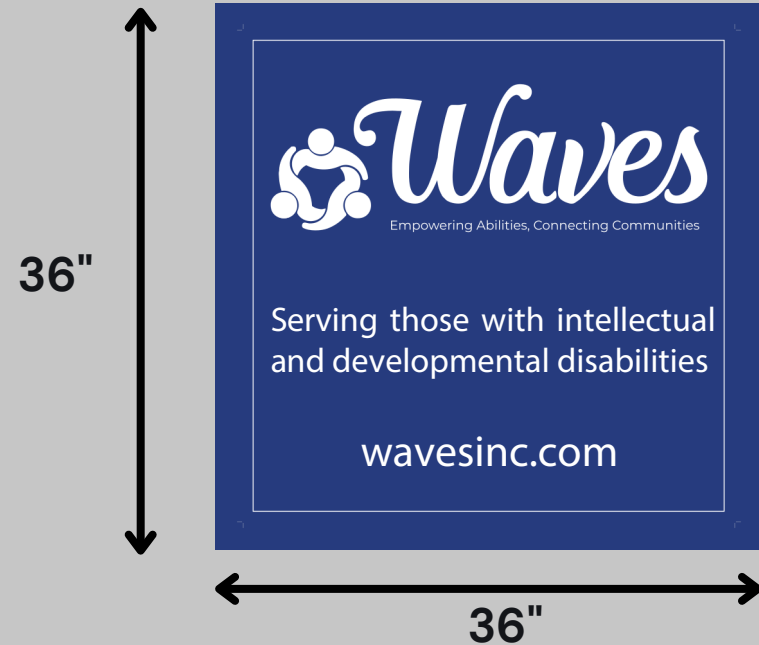
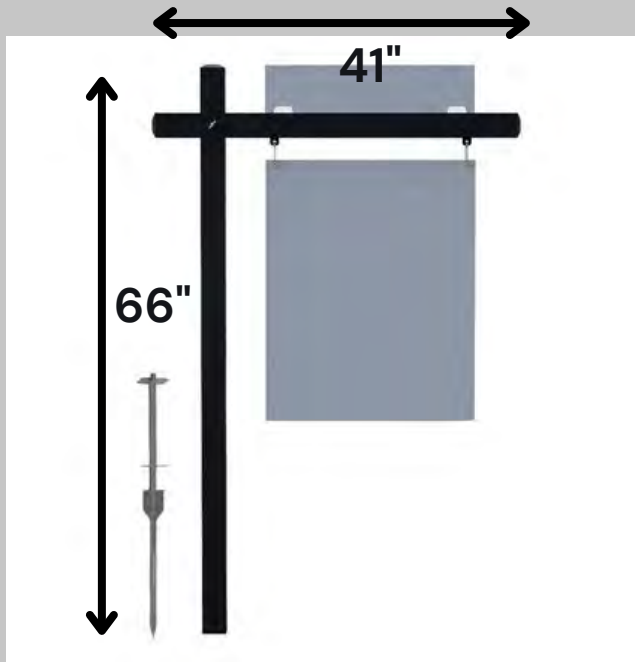
#2  
PARKING  
SIGN  
(NOT RIGHT OF WAY)

#3  
PARKING  
SIGN  
(NOT RIGHT OF WAY)

**FRONT STREET ARM AND POST SIGN  
+ DOOR LOGO  
(IMAGE OF INSTALLATION LOCATION)**



# STREET ARM AND POST SIGN PROOF



## COLONIAL POST/BASE DESIGN (2024)

- PROFESSIONAL, ELEGANT WAY TO DISPLAY YOUR SIGNS
- ADJUSTABLE SIGN FASTENING SYSTEM: ALLOWS FOR FLEXIBLE HOLE CONFIGURATION UP TO 30" WIDE PANELS
- ADJUSTABLE SIGN FASTENING SYSTEM ALLOWS FOR HOLE TO HOLE PLACEMENT FROM 10" TO 24" APART
- SUPPORTS RIDERS UP TO 30" W
- \*\*RECOMMENDED WITH SIGN MATERIALS INTENDED FOR OUTDOOR USE (CORRUGATED PLASTIC / ALUMINUMS)
- POST MATERIAL: POWDER COATED TO PREVENT RUSTING AND EXTEND OUTDOOR DURABILITY
- INCLUDES ALUMINUM CAPS ON THE POST AND ARM POWDER COATED TO MATCH THE POST COLOR
- POST DIMENSION: 66"H ABOVE GROUND (INSTALLED) AND COMES IN 2 PIECES
- ARM DIMENSION: 41" LONG

## HANGING POST SIGN

- 36" X 36"
- DOUBLE SIDED
- ALUMINUM
- MATTE FINISH
- DOUBLE SIDED

**SIDE DOOR LOGO  
MAIN OFFICE ENTRANCE  
(IMAGE OF INSTALLATION LOCATION)**



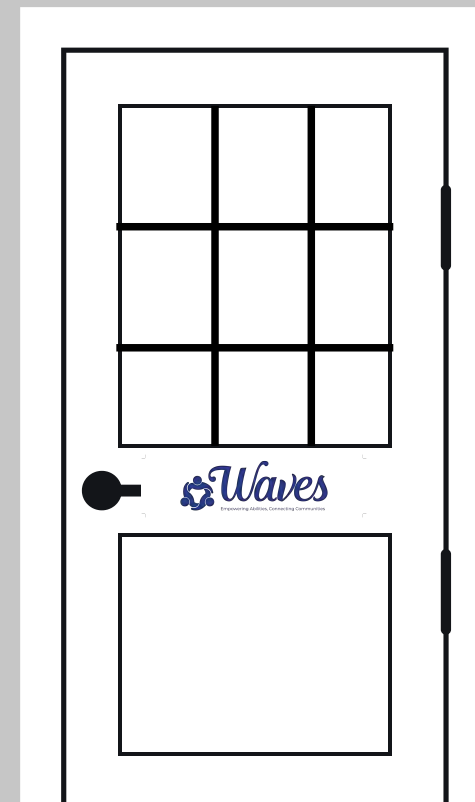
# DOOR LOGOS PROOF



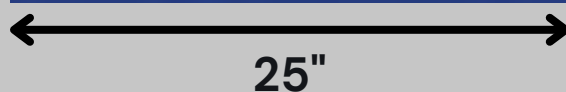
## DOOR LOGOS

- 6" X 24"
- WHITE VINYL
- DIGITALLY PRINTED
- MATTE FINISH
- *ALL DOOR LOGOS REFERENCED FOLLOW THIS DESIGN*

## EXAMPLE LAYOUT



# BACK OF BUILDING DIRECTIONAL SIGN + BACK DOOR LOGO (IMAGE OF INSTALLATION LOCATION + PROOF)



## DIRECITONAL SIGN

- 25" X 25"
- ALUMINUM
- MATTE FINISH

# PARKING SIGNS - 3

(IMAGE OF INSTALLATION LOCATION + PROOF)



## PARKING SIGNS

- 12" X 18"
- ALUMINUM
- MATTE FINISH
- ALUMINUM POLE

# OWNER AFFIDAVIT

## City of Franklin, Tennessee

When an application is not filed by the owner of the property, the City requires documentation that the owner of the property is aware of an application being filed on their behalf.

I/We Marla Albert  
(please print name(s) as listed on deed; if property owner is a company, provide full company name plus specific name(s) of representative)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

200 0780 0500  
(Property Parcel/Tax ID Number)  
and located at:

223 Bridge St  
(Street Address)

I am/We are fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Waves, Inc.  
(Please print name(s) in Full - This should be the applicant listed in IDT)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

  
Owner Signature

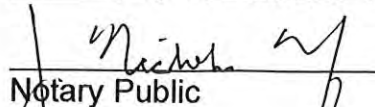
N/A  
Additional Owner Signature, if applicable

127 2nd Ave N  
Property Owner Mailing Address

Franklin, TN 37064  
City, State & Zip

Subscribed and sworn to before me this

23RD day of March, 2026.

  
Notary Public

My Commission Expires: 4-23-28





HISTORIC  
FRANKLIN  
TENNESSEE

## Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

**Address:** 347 Main St. (Downtown Franklin Historic District)  
**Applicant:** MetroCenter Signworks, INC., Peter Duncanson  
**Owner:** First Farmers & Merchant Bank Trust  
**Project #:** 9103  
**Type of Work:** Consideration of Signage (Band & Window)

**Status:** Approval with conditions  
(See “**Approved Work Specifications**” Below)

**Approval Date:** April 16, 2026  
**Expiration Date:** April 16, 2028 (if work has not commenced)  
**Reviewed By:** Elizabeth Bulay

### APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the installation of a band sign and window signs for the new tenant located at 347 Main Street.

The Guidelines allow for administrative approval of signs if all recommendations are met.

### Band Sign:

- **Location:** The Guidelines state to place a band sign within the flat fascia above the entrance, vertically aligned with the center of an architectural element such as a retail storefront/tenant space entrance or centered over the overall space occupied by the business. The proposed band sign is located in the fascia above the entrance and is centered over the overall space. The proposed location is appropriate.
- **Quantity:** The Guidelines state that a maximum of one band sign per main entrance, per retail storefront/tenant space on the ground floor is recommended, if no wall sign is present on the building. One band sign is proposed, and there is no wall sign present on the building. This is the first of the three recommended signs for a tenant (Two window signs and one proposed band sign). The quantity proposed is appropriate.
- **Sign Area:** The Guidelines state the recommended sign area maximum is 1 square foot per linear foot of width of building facade or retail storefront/tenant space. The proposed sign is 20” tall x 143” wide, or 19.86 sq. ft., and the linear width of the building façade is 25’. The sign area is appropriate.

- **Thickness & Projections:** The Guidelines state that sign thickness can be a maximum of 2” and project a total of 6” from the wall. The proposed sign is 1” thick and will be flush with the building. The proposed thickness and projection are appropriate.
- **Material:** The Guidelines state that the material should be a finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The proposed material is finished wood for the lettering. The material is appropriate, however the finish was not indicated.
- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed pin lettering color is black and will be located on the existing lighter-colored building elements. The color is appropriate for pin lettering on an existing lighter color building.
- **Illumination:** No illumination is proposed.

### Window Signs:

The Guidelines allow for administrative approval of window signs if all recommendations are met.

- **Quantity:** The Guidelines recommend a total of three signs for a retail/tenant space. The proposed window signs are the second and third signs proposed. The quantity of signs is appropriate.
- **Sign Area:** The Guidelines state that a maximum of 15 percent of an individual window area, or in cases where windows are grouped, the sign area shall not exceed 15 percent of the window grouping area.
  - One window sign is proposed above the front door in the transom window. The proposed sign area is 3.5” x 22”, .53 sq. ft., and the window area is 14” x 38”, 3.69 sq. ft. The proposed sign area is 6.97% of the window area and is appropriate.
  - The second window sign is proposed on the storefront window. The sign area is proposed to be 20.5” x 66”, or 8.5 sq. ft., and the window area is 87” x 103”, 62 sq. ft. The proposed sign area is 7.32% of the window area and is appropriate.
- **Placement:** The Guidelines state that window signage must be fully within the interior of the building and attached directly to or mounted within 12 inches of the inside of the business. The proposed signage is noted to be applied on the interior side of the window. The proposed placement is appropriate.
- **Material:** The Guidelines state that when using decals, use individual letters and graphics with a transparent background. The proposed background is transparent, and the lettering appears as individual vinyl letters. The proposed material is appropriate.
- **Color:** The Guidelines state that a maximum of 2 colors, using only light tones or only dark tones, but not a combination of the two. Use muted colors that complement the facade, although vibrant colors may be considered as an accent. The proposed window sign will utilize white for the lettering. The proposed colors are light-toned only and are appropriate.

## **APPLICABLE GUIDELINES**

### Chapter 8 – Signs

## **APPROVED WORK SPECIFICATIONS**

The band and window signs are **approved** with the following conditions:

- The signage must utilize matte background finishes.
- The window signs must be applied fully within the interior.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

**Emily Huffer | Preservation Planner**

Planning & Sustainability Department

City of Franklin, Tennessee

615.550.6795 | <http://www.franklintn.gov/>

347 Main St  
Franklin, TN 37064

Building Rendering & Dimensions

Tenant frontage = 25'  
Band Sign Allowance = 25 sf  
Proposed Band Sign = 20 sf  
(Details on p. 2)

Right Window Area = 62.2 sf  
Window Sign Allowance = 9.3 sf  
Proposed Right Window Sign = 9.2 sf  
(Details on p. 3)

Transom Window Area = 3.7 sf  
Window Sign Allowance = 0.55 sf  
Proposed Transom Window Sign = 0.54 sf  
(Details on p. 3)



Vinnie Louise - dear Vincent Franklin



Project No.: 3024
Date: 27 Mar 2026
Version: 2

Description: Wood Letters  
White Cut Vinyl Window Graphics

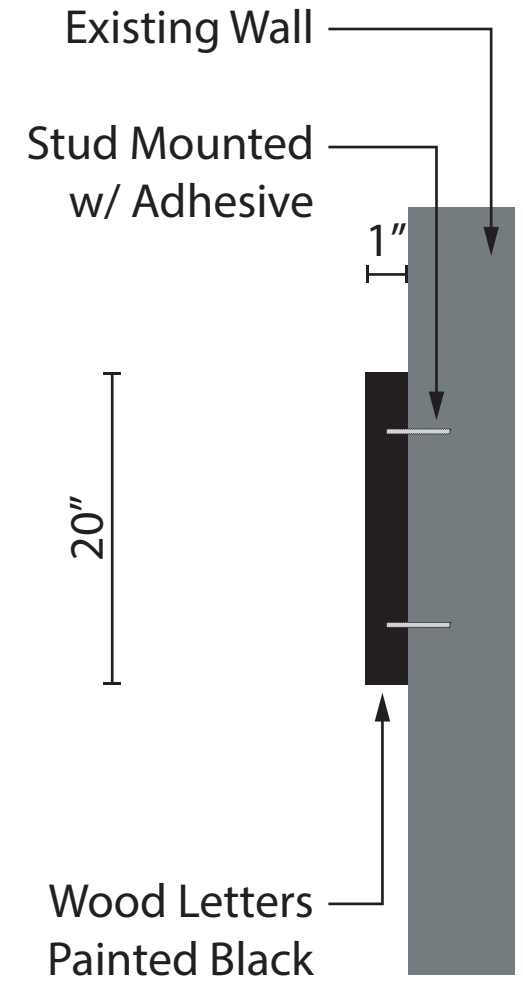
This is an original, unpublished drawing created for your exclusive use in conjunction with a project being planned for you by MetroCenter Signworks. It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion without the express, written approval of MetroCenter Signworks.

347 Main St  
Franklin, TN 37064

Band Sign Details

dear VINCENT

11'-11"



Tenant frontage = 25'  
Band Sign Allowance = 25 sf  
Proposed Band Sign = 20 sf

Vinnie Louise - dear Vincent Franklin



Project No.: 3024

Date: 27 Mar 2026

Version: 2

Description: Wood Letters 1" thick  
Painted black  
Stud mounted on sign band

This is an original, unpublished drawing created for your exclusive use in conjunction with a project being planned for you by MetroCenter Signworks. It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion without the express, written approval of MetroCenter Signworks.

347 Main St  
Franklin, TN 37064

Window Sign Details

White cut vinyl  
Installed on interior side of glass

Right Window Area = 62.2 sf  
Window Sign Allowance = 9.3 sf  
Proposed Window Sign = 9.2 sf

Transom Window Area = 3.7 sf  
Window Sign Allowance = 0.55 sf  
Proposed Transom Window Sign = 0.54 sf

Transom Window




Right Window



\*Black backgrounds shown for clarity

Vinnie Louise - dear Vincent Franklin

	Project No.: 3024	Description: White Cut Vinyl Lettering Reverse cut, installed on inside of windows
	Date: 27 Mar 2026	
	Version: 2	

This is an original, unpublished drawing created for your exclusive use in conjunction with a project being planned for you by MetroCenter Signworks. It is not to be shown to anyone outside your organization, nor is it to be used, reproduced, copied or exhibited in any fashion without the express, written approval of MetroCenter Signworks.

# OWNER AFFIDAVIT

## City of Franklin, Tennessee

When an application is not filed by the owner of the property, the City requires documentation that the owner of the property is aware of an application being filed on their behalf.

I/We FIRST Farmers' Merchant Bank TR ETAL  
(please print name(s) as listed on deed; if property owner is a company, provide full company name plus specific name(s) of representative)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

078C-0-00700-000  
(Property Parcel/Tax ID Number)

and located at:

347 Main St. Franklin TN 37064  
(Street Address)

I am/We are fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Loch Company  
(Please print name(s) in Full - This should be the applicant listed in IDT)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Signature]  
Owner Signature MANAGER for OWNER SIGN PERMIT

Loch Company - MANAGER  
Additional Owner Signature, if applicable

P.O. Box 92  
Property Owner Mailing Address

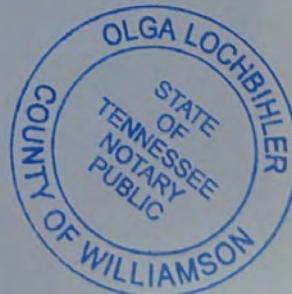
ARRINGTON TN 37014  
City, State & Zip

Subscribed and sworn to before me this

23 day of March, 20 26.

[Signature]  
Notary Public

My Commission Expires: 11-16-27





HISTORIC  
FRANKLIN  
TENNESSEE

## Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

**Address:** 819 W. Main St. (Hincheyville National Register Historic District)  
**Applicant:** Candie Westbrook  
**Owner:** Candie Westbrook  
**Project #:** 9102  
**Type of Work:** Minor Alteration on Rear Facade (Non-Historic Enclosed Carport)

**Status:** Approval with conditions  
See “**Approved Work Specifications**” Below)

**Approval Date:** April 8, 2026  
**Expiration Date:** April 8, 2028 (if work has not commenced)  
**Reviewer:** Elizabeth Bulay

### APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for a minor alteration to the rear façade and side façade on the enclosed non-historic carport located at 819 West Main Street. The proposal is to replace the existing aluminum sliding glass doors, windows, and transoms with wood-clad doors, wood windows, and transoms.

The Guidelines allow for administrative approval of the following minor alterations to the rear façade if all recommendations are met:

- Minor alterations to non-historic components on rear or obscured facades of historic or non-historic structures that enhance the compatibility with the context of the individual historic district (examples include rear doors, non-historic window replacement, or similar, but do not include any footprint or roofline alterations).

The nature of the location of the alterations, being on the rear and side façade of a non-historic building that is not readily visible by the public, is appropriate for an administrative review. The Guidelines recommend the following for doors and windows on an addition to a historic residential building:

- Design doors and doorways to read as secondary in appearance and detailing to the historic building.
- Design new windows to be compatible with the size, detailing, placement, rhythm, and relationship of solids to voids of those on the historic building.

- Use windows with historic profiles and dimensions with a double-hung appearance. Use true divided-light (TDL) or simulated divided-light (SDL) windows rather than snap-in muntins or grids between the glass (GBG) styles.
- Design windows to match the historic materials found on the building, but composite materials that have the appearance of wood are appropriate for windows, stops, jambs, and trim.

The request is to replace the existing aluminum sliding glass doors, windows, and transoms with wood-clad doors, wood windows, and transoms on a section of the building that was enclosed and is considered a non-historic addition due to its enclosure.

Lines 1 and 2 within the manufacturer’s specifications are the replacement sliding glass doors for the rear elevation. The design features a wood-clad door and utilizes a GBG design. The size of the openings will remain the same. Line 3 includes the specifications for the windows replacing the aluminum doors/windows on the right elevation of the building. The window is a wood-clad double-hung window with an 8-over-8 lite pattern utilizing a GBG design. The two interior windows and transoms on this elevation will be infilled with paneling to match the existing exterior finish of the enclosed area. Line 4 includes the specifications for the window replacing the aluminum door/window on the right elevation(interior) of the enclosed area. The window is a wood-clad double-hung window with a 3-over-3 lite pattern utilizing a GBG design. Lines 5, 6, and 7 are the specifications of the replacement transom windows. The windows are wood-clad and will feature a GBG lite pattern to match the replacement window and doors below them.

The replacement of the doors, windows, and transom, and the infill of the two windows, is appropriate. However, the selected replacement design is not appropriate, as it features a GBG (grill between the glass) design that is not recommended by the Guidelines. The configuration, design, and materiality of the proposed replacement windows and doors are appropriate. Additionally, the infill of the windows and transoms should be detailed so that it is clear that they were previously open.

### **APPLICABLE GUIDELINES**

2022 Historic District Design Guidelines  
Chapter 2: Additions to Historic Residential Buildings

### **APPROVED WORK SPECIFICATIONS**

The alterations are **approved** with the following conditions:

1. The windows must utilize a trued divided light (TDL) or simulated divided light (SDL) window profile, and specifications must be submitted to the Preservation Planner for documentation.
2. The windows and transoms that will be infilled must appear as filled-in openings so that change over time is seen on this portion of the building.
3. The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
4. Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

**Emily Huffer | Preservation Planner**  
Planning & Sustainability Department  
City of Franklin, Tennessee  
615.550.6795



TRAVIS TAYLOR

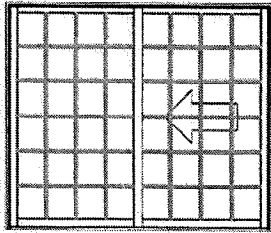
QUOTE BY : TRAVIS TAYLOR  
SOLD TO : Caldwell and Associates  
PO# :  
Ship Via : Ground

QUOTE # : JW260100H06 - Version 0  
SHIP TO :  
PROJECT NAME : 819 W Main St Franklin  
REFERENCE :

U-Factor Weighted Average: 0.31  
Volume: 117.50

SHGC Weighted Average: 0.18  
Weight: 1395.48

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 1	Rough Opening : <u>96 X 81 1/2</u>	Frame Size : 95 1/4 X 81 Sitrine Clad Sliding Patio Door, Auralast Pine, Stationary-O / Left-X, Narrow Stile, HYDROLOCK Sill, Black Sill, Brilliant White Exterior, Clear Panel/Frame, <u>Primed Interior.</u> Nail Fin (Standard), Color Match Metal DripCap, 4 9/16 Jamb, US National-WDMA/ASTM, PG 40, HP-InterLock, White Hardware, Keyed Alike, Harleston Multi-Point Insulated SunResist Tempered Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, 1" Contoured GBG Brilliant White Grid, Colonial All Lite(s) 4 Wide 6 High No Screen, , No Screen Prep, Assembled, IGThick=0.761(5/32 / 5/32). (Note: Color Tone Of Grille May Vary As A Result Of Glass Option). Clear Opening:40w, 77.1h, 21.4 sf,*Meets 5.7 sqft Egress (All Floors)*. . U-Factor: 0.32, SHGC: 0.19, VLT: 0.42, Energy Rating: 10.00, CPD: JEL-N- 820-04645-00001 PEV 2026.1.0.5504/PDV 8.258 (03/05/26)CW	\$7,833.65	1	\$7,833.65



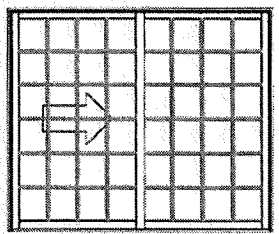
Viewed from Exterior. Scale: 1/2" = 1'

Max R.O. Width = 96"

CANDIE WESTBROOK  
615-969-4941  
CYW@WESTBROOK.TN.COM

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
------	-----------------------	--------------------------	-------------------	-----	-------------------

Line 2  
Rough Opening : 96 X 81 1/2



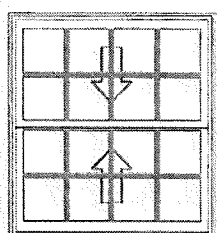
Viewed from Exterior. Scale: 1/2" = 1'

max R.O. Width 96"

Frame Size : 95 1/4 X 81  
 Sitrine Clad Sliding Patio Door, Auralast Pine,  
 Right-X / Stationary-O, Narrow Stile, HYDROLOCK Sill, Black Sill,  
 Brilliant White Exterior,  
 Clear Panel/Frame,  
Primed Interior,  
 Nail Fin (Standard), Color Match Metal DripCap,  
 4 9/16 Jamb,  
 US National-WDMA/ASTM, PG 40,  
 HP-InterLock,  
 White Hardware, Keyed Alike, Harleston  
 Multi-Point  
 Insulated SunResist Tempered Glass, Protective Film, Black Spacer, Argon  
 Filled, Traditional Glz Bd,  
 1" Contoured GBG Brilliant White Grid, Colonial All Lite(s) 4 Wide 6 High  
 BetterVue Mesh Heavy Duty Bottom Rolling Extruded Screen, Brilliant  
 White Screen.  
 Assembled,  
 IGThick=0.761(5/32 / 5/32). (Note: Color Tone Of Grille May Vary As A  
 Result Of Glass Option). Clear Opening:40w, 77.1h, 21.4 sf,\*Meets 5.7 sqft  
 Egress (All Floors)\*, .  
 U-Factor: 0.32, SHGC: 0.19, VLT: 0.42, Energy Rating: 10.00, CPD: JEL-N-  
 820-04645-00001  
 PEV 2026.1.0.5504/PDV 8.258 (03/05/26)CW

\$8,314.76 1 \$8,314.76

Line 3  
Rough Opening : 46 1/8 X 50



Viewed from Exterior. Scale: 1/2" = 1'

max R.O. Width 46 1/8"

Frame Size : 45 3/8 X 49 1/4  
 Sitrine Clad Double Hung, Auralast Pine.  
 Brilliant White Exterior,  
 Natural Interior,  
 Nail Fin (Standard), Color Match Metal DripCap,  
 4 9/16 Jamb,  
 Standard Double Hung, White Jambliner, Concealed Jambliner  
 White Hardware, .Recessed Sash Lock,  
 US National-WDMA/ASTM, PG 35,  
 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon  
 Filled, Traditional Glz Bd,  
 1" Contoured GBG Brilliant White Grid, Colonial All Lite(s) 4 Wide 2 High  
 Top, 4 Wide 2 High Btm.  
 BetterVue Mesh Brilliant White Screen.  
 \*Custom-Height\*, IGThick=0.726(1/8 / 1/8). (Note: Color Tone Of Grille  
 May Vary As A Result Of Glass Option). Clear Opening:41.6w, 21h, 6  
 sf.\*Does not meet typical state code egress requirements but local codes may  
 vary\*, .  
 U-Factor: 0.31, SHGC: 0.18, VLT: 0.41, Energy Rating: 11.00, CPD: JEL-N-  
 880-06734-00001  
 PEV 2025.4.0.5399/PDV 8.143 (12/04/25)CW

\$1,908.59 2 \$3,817.18

cust-19005

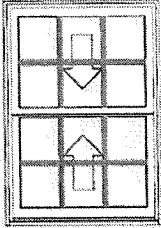
Page 2 of 4 (Prices are subject to change.) JW260100H06 (Ver:0) - 03/19/2026 1.04 PM

Quote Date: 01/22/2026

Drawings are for visual reference only and may not be to exact scale.  
 All orders are subject to review by JELD-WEN

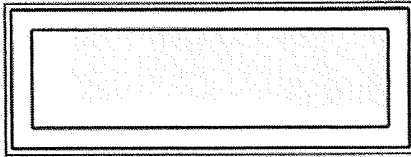
Last Modified: 03/19/2026

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
Line 4	Rough Opening : 35 X 50	Frame Size : 34 1/4 X 49 1/4 Sitrine Clad Double Hung, Auralast Pine, Brilliant White Exterior, Natural Interior, Nail Fin (Standard), Color Match Metal DripCap, 4 9/16 Jamb, Standard Double Hung, White Jambliner, Concealed Jambliner White Hardware, Recessed Sash Lock, US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, 1" Contoured GBG Brilliant White Grid, Colonial All Lite(s) 3 Wide 2 High Top, 3 Wide 2 High Btm, BetterVue Mesh Brilliant White Screen, *Custom-Width*, *Custom-Height*, IGThick=0.726(1/8 / 1/8), (Note: Color Tone Of Grille May Vary As A Result Of Glass Option). Clear Opening:30.5w, 21h, 4.4 sf,*Does not meet typical state code egress requirements but local codes may vary*, . U-Factor: 0.31, SHGC: 0.18, VLT: 0.41, Energy Rating: 11.00, CPD: JEL-N- 880-06734-00001 PEV 2025.4.0.5399/PDV 8.143 (12/04/25)CW	\$1,804.04	2	\$3,608.08



Viewed from Exterior. Scale: 1/2" = 1'

Line 5  
Rough Opening : 46 7/8 X 17 3/4



Viewed from Exterior. Scale: 1/2" = 1'

ADJUSTED R.O. WIDTH TO  
ALIGN WITH DOOR W/ 3"  
STUD AT CENTER

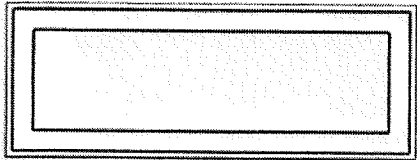
Frame Size : 46 1/8 X 17  
 Sitrine Standard, Clad Casement, Auralast Pine,  
 Brilliant White Exterior,  
 Natural Interior,  
 Nail Fin (Standard), Color Match Metal DripCap,  
 4 9/16 Jamb, 4/4 Thick,  
 Stationary,  
 US National-WDMA/ASTM, PG 35,  
 Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon  
 Filled, Traditional Glz Bd,  
 1" Contoured GBG Brilliant White Grid, Per Drawing ( 4 Rect Lite ) ( 0 Rad  
 Lite ) ( 0 Diam Lite ) ( 0 Goth Lite ) ( 0 Other Lite )  
 \*Custom-Width\*, \*Custom-Height\*, IGThick=0.726(1/8 / 1/8), (Note: Color  
 Tone Of Grille May Vary As A Result Of Glass Option).  
 U-Factor: 0.29, SHGC: 0.17, VLT: 0.39, Energy Rating: 13.00, CPD: JEL-N-  
 877-04277-00001  
 PEV 2026.1.0.5504/PDV 8.258 (03/05/26)CW  
 Drawing Number: M1926J19

\$1,167.79 4 \$4,671.16

SEE DRAWING  
# M1926J19  
FOR GRID ALIGNMENT

LINE	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	NET UNIT PRICE	QTY	EXTENDED PRICE
------	-----------------------	--------------------------	-------------------	-----	-------------------

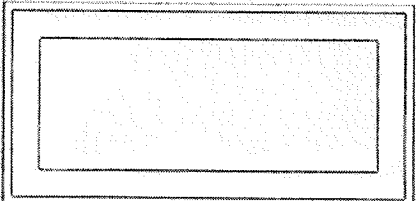
Line 6	Rough Opening : 46 1/8 X 17 3/4	<p>Frame Size : 45 3/8 X 17</p> <p>Siteline Standard, Clad Casement, Auralast Pine, Brilliant White Exterior, Natural Interior, Nail Fin (Standard), Color Match Metal DripCap, 4 9/16 Jamb, 4/4 Thick, Stationary,</p> <p>US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, 1" Contoured GBG Brilliant White Grid, Per Drawing ( 4 Rect Lite ) ( 0 Rad Lite ) ( 0 Diam Lite ) ( 0 Goth Lite ) ( 0 Other Lite )</p> <p>*Custom-Width*, *Custom-Height*, IGThick=0.726(1/8 / 1/8), (Note: Color Tone Of Grille May Vary As A Result Of Glass Option).            U-Factor: 0.29, SHGC: 0.17, VLT: 0.39, Energy Rating: 13.00, CPD: JEL-N-877-04277-00001            PEV 2026.1.0.5504/PDV 8.258 (03/05/26)CW            Drawing Number: M1926J20</p>	\$1,168.18	2	\$2,336.36
--------	---------------------------------	--	------------	---	------------



Viewed from Exterior. Scale: 1/2" = 1'

SEE DRAWING  
# M1926J20 FOR  
GRID ALIGNMENT

Line 7	Rough Opening : 35 X 17 3/4	<p>Frame Size : 34 1/4 X 17</p> <p>Siteline Standard, Clad Casement, Auralast Pine, Brilliant White Exterior, Natural Interior, Nail Fin (Standard), Color Match Metal DripCap, 4 9/16 Jamb, 4/4 Thick, Stationary,</p> <p>US National-WDMA/ASTM, PG 35, Insulated SunResist Annealed Glass, Protective Film, Black Spacer, Argon Filled, Traditional Glz Bd, 1" Contoured GBG Brilliant White Grid, Per Drawing ( 3 Rect Lite ) ( 0 Rad Lite ) ( 0 Diam Lite ) ( 0 Goth Lite ) ( 0 Other Lite )</p> <p>*Custom-Width*, *Custom-Height*, IGThick=0.726(1/8 / 1/8), (Note: Color Tone Of Grille May Vary As A Result Of Glass Option).            U-Factor: 0.29, SHGC: 0.17, VLT: 0.39, Energy Rating: 13.00, CPD: JEL-N-877-04277-00001            PEV 2026.1.0.5504/PDV 8.258 (03/05/26)CW            Drawing Number: M1926J20</p>	\$1,040.38	2	\$2,080.76
--------	-----------------------------	--	------------	---	------------



Viewed from Exterior. Scale: 1/2" = 1'

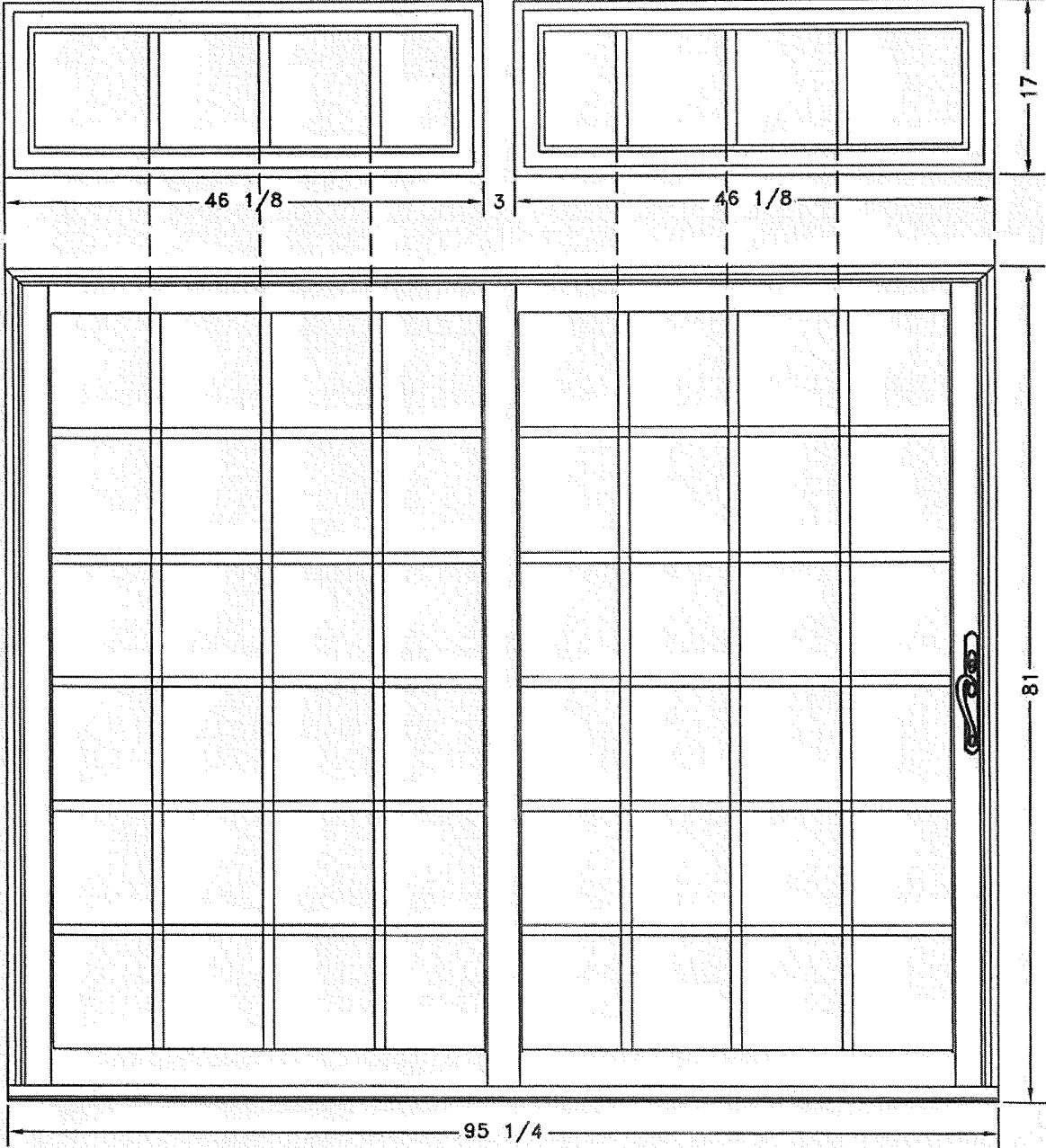
SEE DRAWING  
# M1926J20 FOR  
GRID ALIGNMENT

<b>Total:</b>	\$32,661.95
<b>Tariff Surcharge:</b>	\$133.62
<b>TAX (9.7500%):</b>	\$3,197.57
<b>Net Total:</b>	\$35,993.14
<b>Total Units:</b>	14

Protect yourself when you choose JELD-WEN Auralast pine products backed by a limited lifetime warranty against wood rot and termite damage.

**SIGN OFF REQUIRED**  
**X**

**SPECS:**  
**SITELINE CLAD CASEMENT**  
**1" CONTOURED GBG**

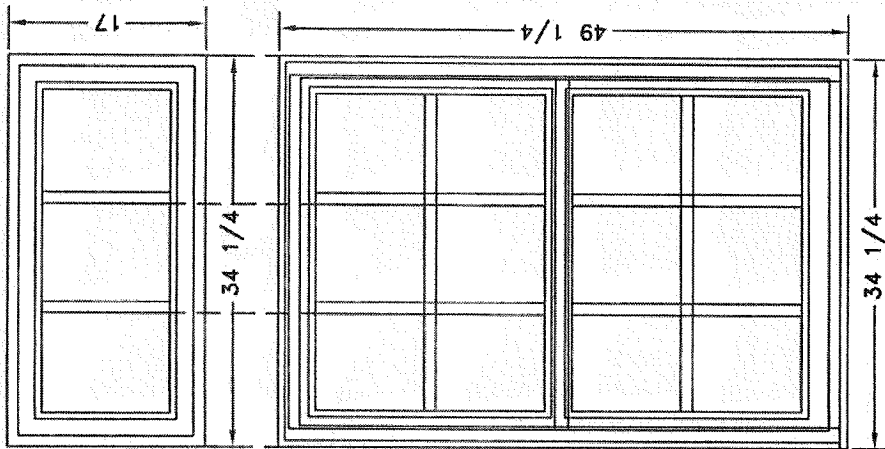
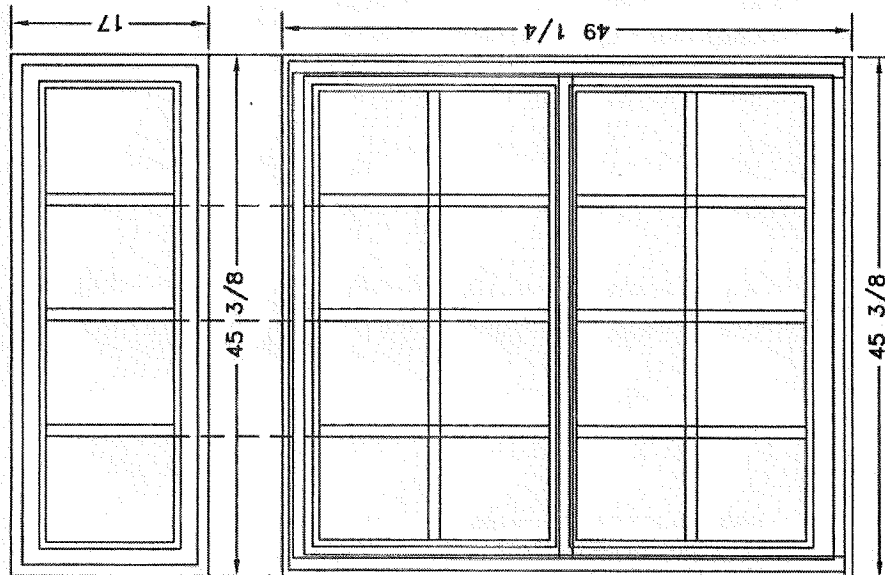


**SPECS:**  
**SITELINE CLAD SLIDING PATIO DOOR**  
**NARROW STILE**  
**1" CONTOURED GBG**

<b>JELD-WEN</b> WINDOWS & DOORS		DATE:	REVISION:	BY:
		---	---	---
PREMIUM CATALOG-HAWKINS		---	---	---
DEALER NAME:		---	---	---
DRAWING NO.:		DATE:	DRAWN FOR:	SCALE:
M1926J19		03/19/26	JULIE	3/4" = 1'
DRAWINGS AND ILLUSTRATIONS ARE PROVIDED FOR REFERENCE ONLY. PRODUCT IS MANUFACTURED AS SPECIFIED BY THE CUSTOMER PURCHASE ORDER. APPROVED MODIFICATIONS OR UNIQUE APPLICATIONS MUST ALSO BE NOTED ON THE PURCHASE ORDER. IT IS THE PURCHASERS RESPONSIBILITY TO VERIFY THAT ALL ITEMS SPECIFIED ON THE ORDER ARE CORRECT.				

**SIGN OFF REQUIRED**  
X

**SPECS:**  
SITELINE CLAD CASEMENT  
1" CONTOURED GBG



**SPECS:**  
SITELINE CLAD DOUBLE HUNG  
1" CONTOURED GBG

<b>JELBOWEN</b> WINDOWS & DOORS		DATE:	REVISION:	BY:
PREMIUM CATALOG-HAWKINS				
RESALE NAME:		DATE:	SCALE:	
DRAWING NO.:	DATE:	DRAWN FOR:		
M1926J20	03/19/26	JULIE		3/4" = 1'

DRAWINGS AND ILLUSTRATIONS ARE PROVIDED FOR REFERENCE ONLY. PRODUCT IS MANUFACTURED AS SPECIFIED BY THE CUSTOMER PURCHASE ORDER. APPROVED MODIFICATIONS OR UNUSUAL APPLICATIONS MUST ALSO BE NOTED ON THE PURCHASE ORDER. IT IS THE PURCHASER'S RESPONSIBILITY TO VERIFY THAT ALL ITEMS SPECIFIED ON THE ORDER ARE CORRECT.

























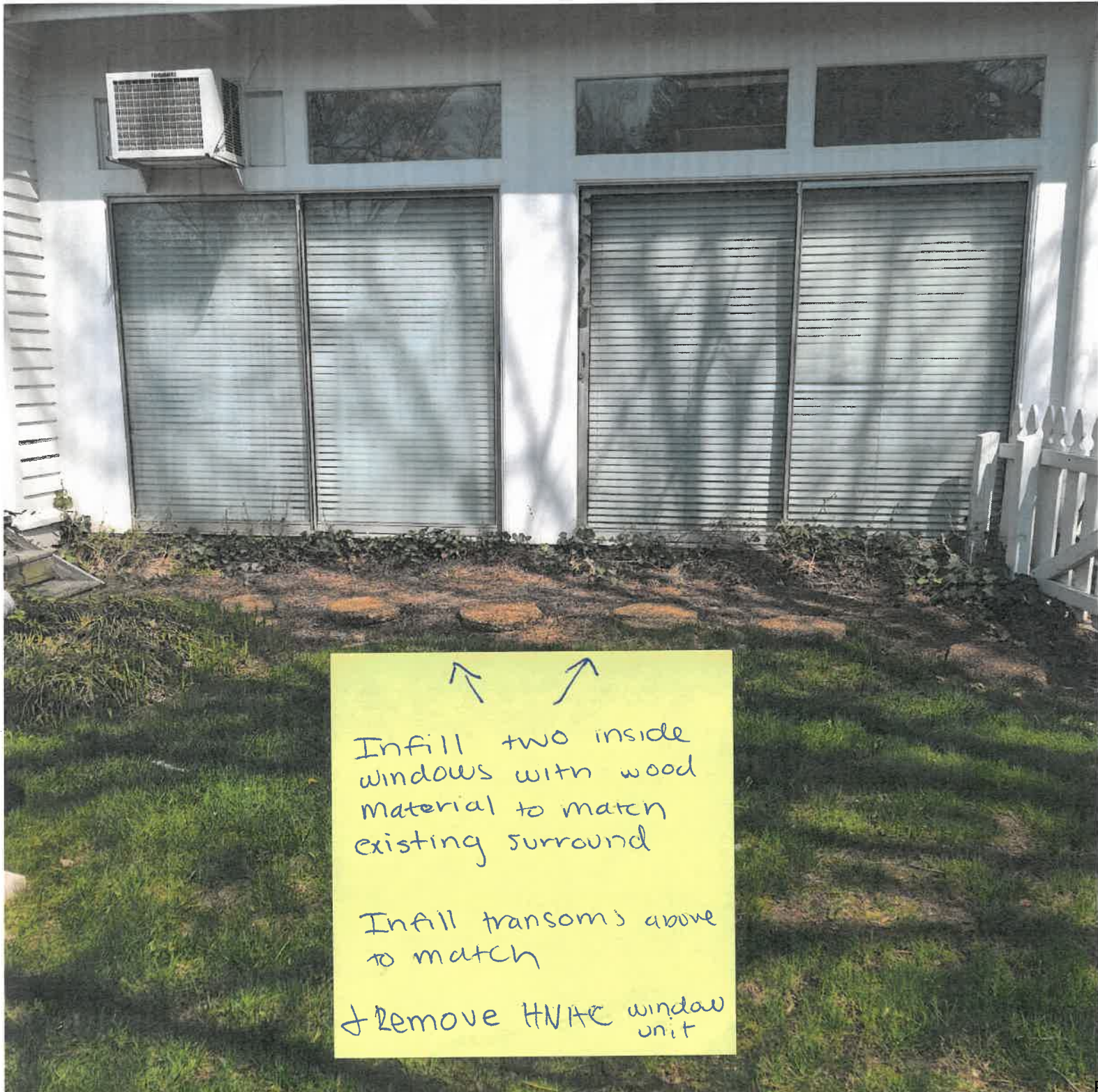












↑ ↑

Infill two inside windows with wood material to match existing surround

Infill transoms above to match

Remove HVAC window unit

**OWNER AFFIDAVIT**  
**City of Franklin, Tennessee**

Well Candie Y. Westbrook  
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

078C J 020.00  
(Property Parcel/Tax ID Number)

and located at:

819 W. Main St. Franklin TN 37064  
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

\_\_\_\_\_  
(Please print Name/Names in Full)  
to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

Candie Y. Westbrook  
Signature

819 W. Main St.  
Property Owner Mailing Address

Franklin, TN 37064  
City, State & Zip

Subscribed and sworn to before me this

24 day of March, 2026.

Melissa A. Smith  
Notary Public

My Commission Expires: 9-6-27





HISTORIC  
FRANKLIN  
TENNESSEE

## Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

**Address:** 423 S. Margin St. (Downtown Franklin Historic District)  
**Applicant:** Brandon Priddy, Studio 906  
**Owner:** Heritage Foundation of Williamson County, Bari Beasley  
**Project #:** 9052  
**Type of Work:** Consideration of Rear Yard Fencing (Revision to COA)

**Status:** Approval with Conditions  
(See “**Approved Work Specifications**” Below)

**Approval Date:** April 23, 2026  
**Expiration Date:** April 23, 2028 (if work has not commenced)

**Reviewed By:** Elizabeth Bulay

### APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for an update to an issued COA for the design of the rear yard fencing at 423 South Margin Street.

The Guidelines allow for administrative approval of rear yard fencing if all recommendations are met. Rear yard fencing is defined as fencing recessed at least 20’ from the front facade of the building. A section of fencing in front of the building is proposed for replacement. It is appropriate to remain in its existing location, which serves as rear yard fencing for the adjacent property owners.

- **Location:** The Guidelines state that fences and walls are to be erected in typical locations along property lines. The proposed fence appears to meet the Guidelines for location, as it is being proposed along the rear perimeter of the property and will replace the existing fencing. The location is appropriate.
- **Height:** The Guidelines state that walls and fences in the rear yard cannot exceed 7’ in height. The height of the proposed new fence is 7’. The height is appropriate.
- **Material:** The Guidelines state that fences and walls are to be designed so that they support the historic character of the district. The use of wood picket, vertical wood plank, split rail, horse fencing, brick, cast iron, or similar metal fencing, as appropriate, based on the site and setting for rear yards. A vertical wood plank fence is proposed. The materials are appropriate.

- **Design:** The Guidelines state that fences and walls should be compatible with the principal building. The design of the proposed fence is a 7' vertical wood plank fence with bracing and posts on the interior of the fence. The proposed design of the wood fence is appropriate

### **APPLICABLE GUIDELINES**

Chapter 7 – Fences, Gates, and Walls

### **APPROVED WORK SPECIFICATIONS**

The rear yard wood fencing is **approved** with the following conditions:

- The fencing may be installed as shown in light of the Historic District Design Guidelines.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

**Emily Huffer | Preservation Planner**

Planning & Sustainability Department

City of Franklin, Tennessee

615.550.6795

<http://www.franklintn.gov/>

NO.	Date	Issues/Revisions
1	02/19/24	Site Plan Resubmittal
2	03/04/24	Site Plan Resubmittal
3	04/07/26	Fence Detail Exhibit

NOT FOR CONSTRUCTION- FOR PRICING ONLY

FRANKLIN GROVE

FRANKLIN, TENNESSEE

80% CONSTRUCTION DOCUMENTS

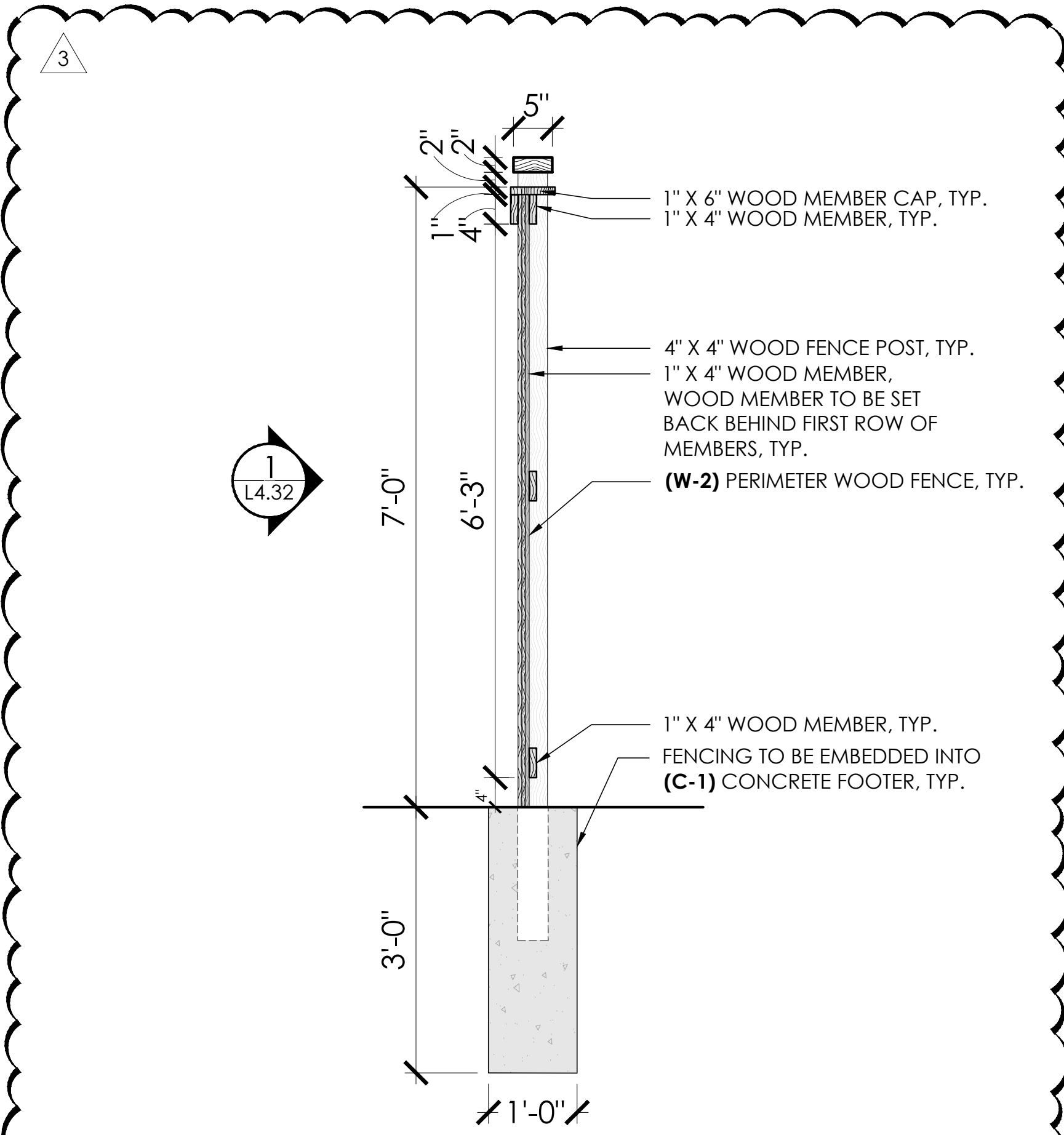
PROJECT NO.: 202046  
DRAWN BY: JY  
CHECKED BY: RW, CB

FENCE DETAILS

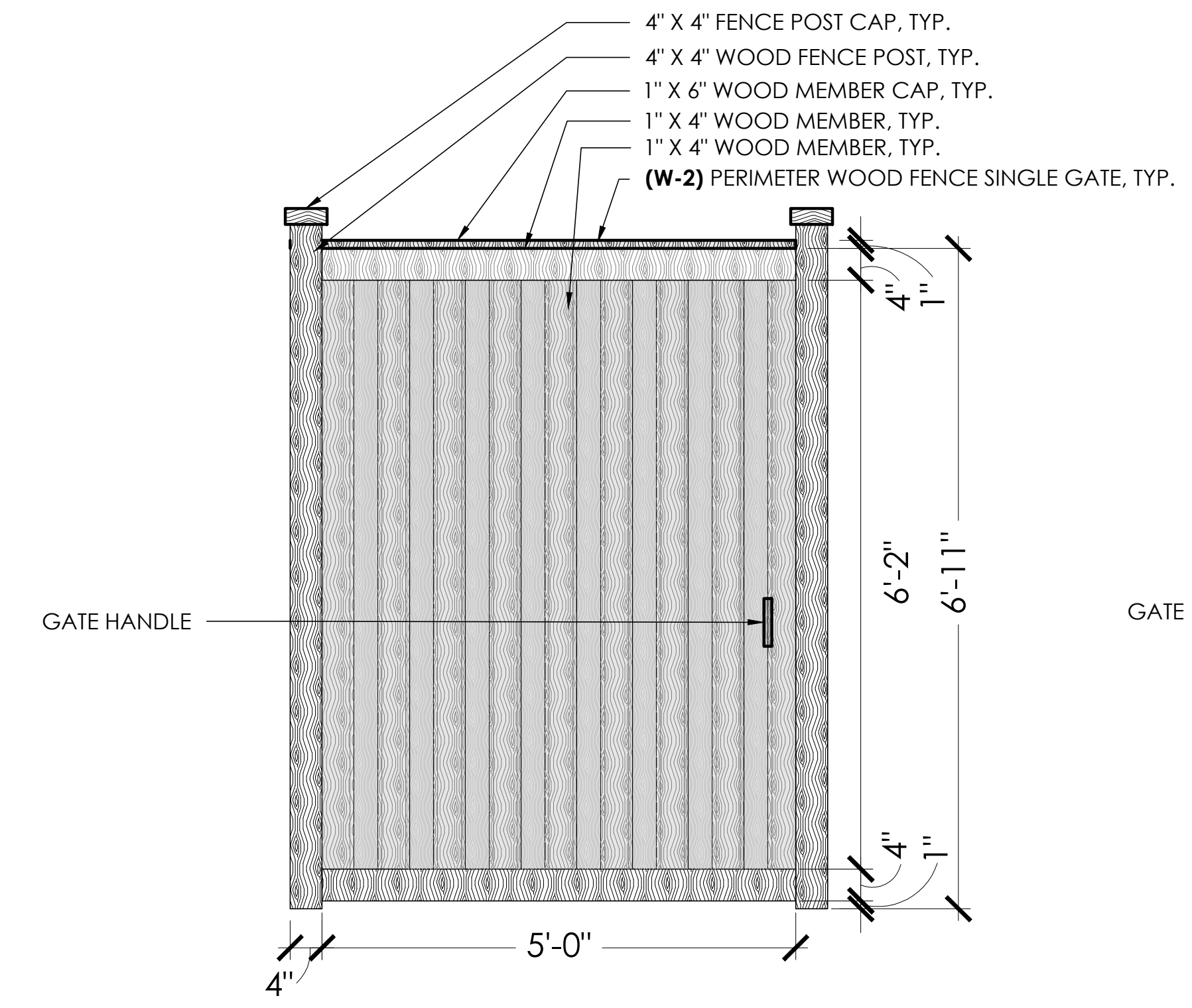
DATE: NOVEMBER 18, 2024  
SCALE: PER PLANS

DRAWING NUMBER

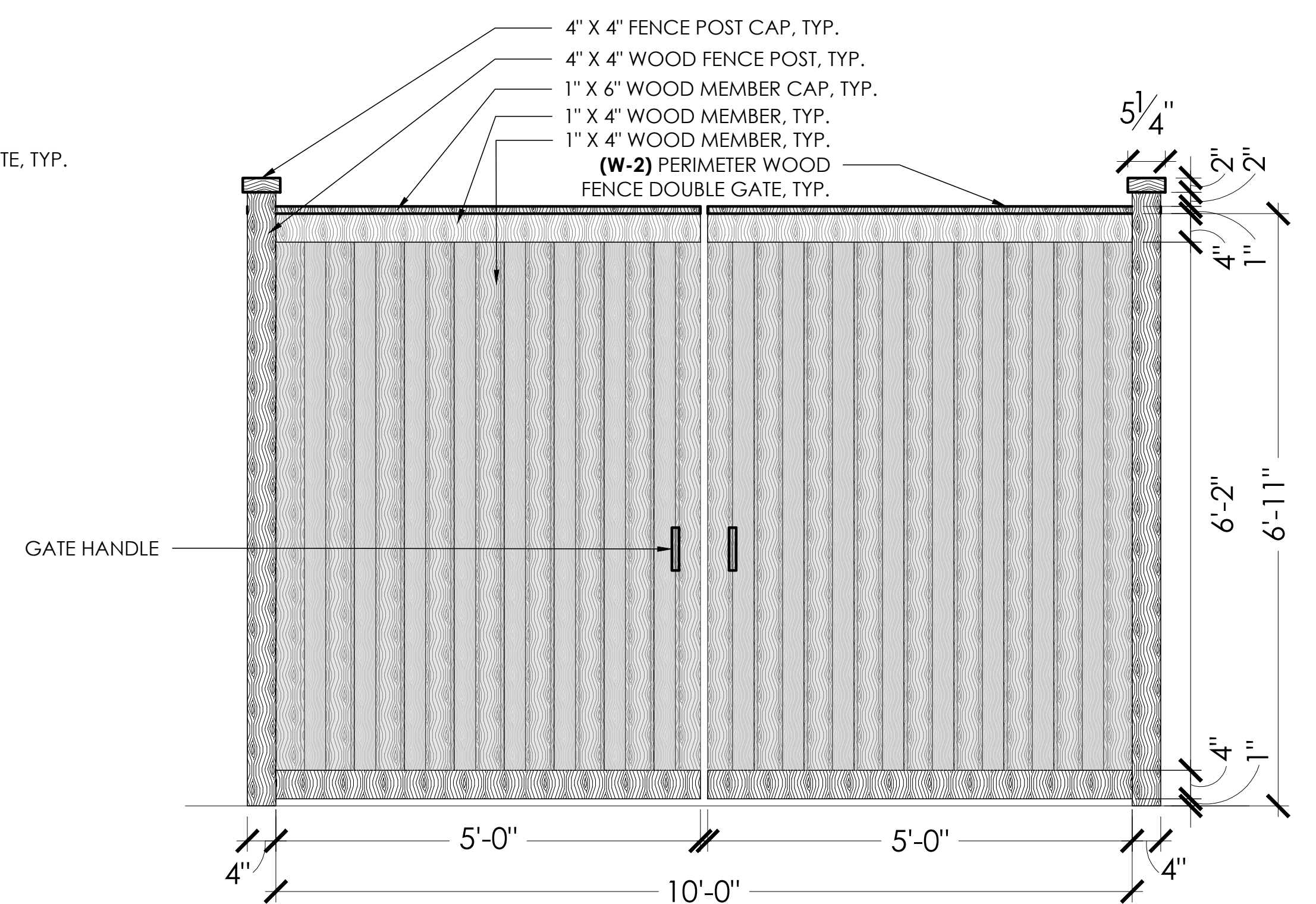
L4.32



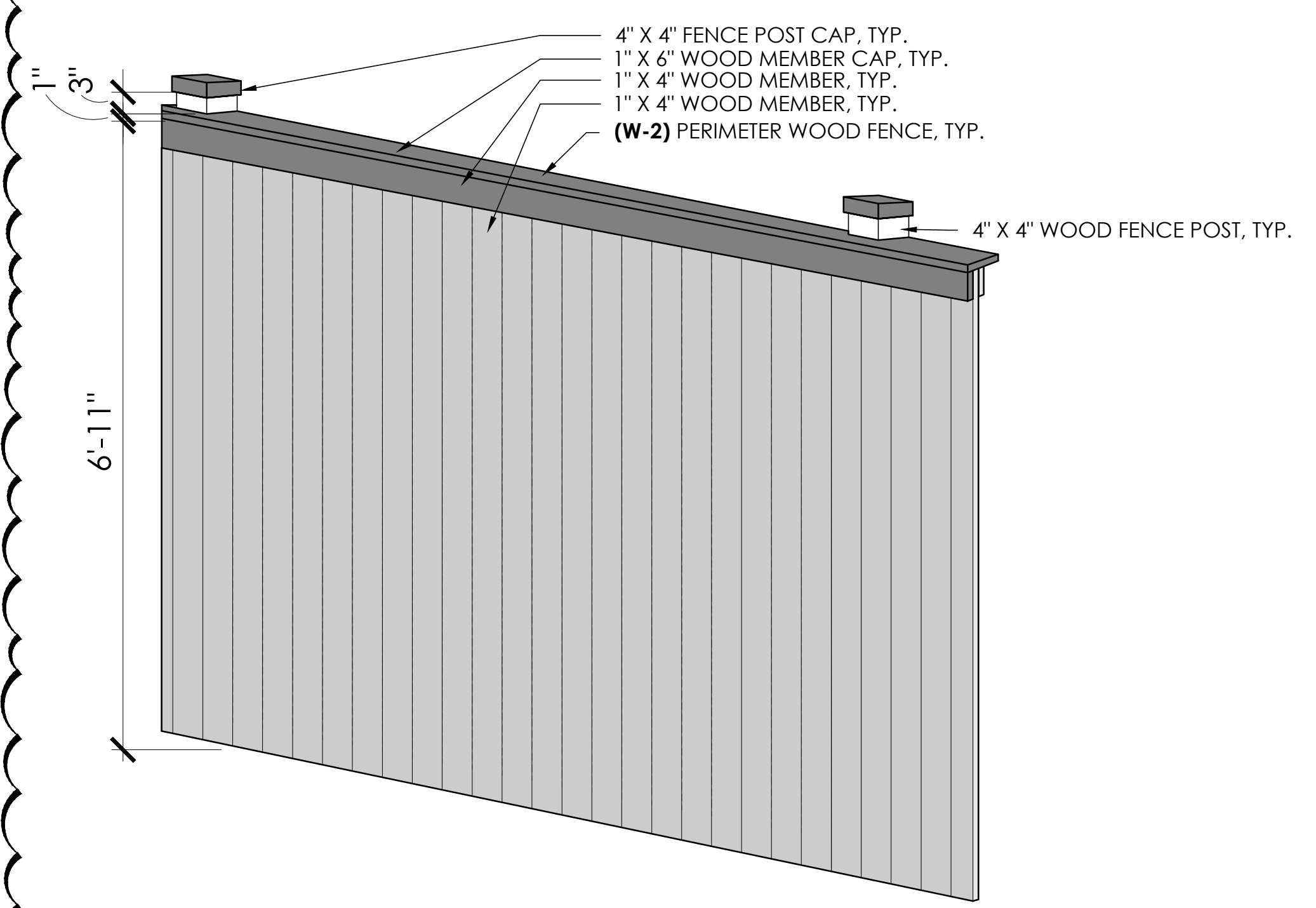
5 PERIMETER FENCING PANEL - SECTION



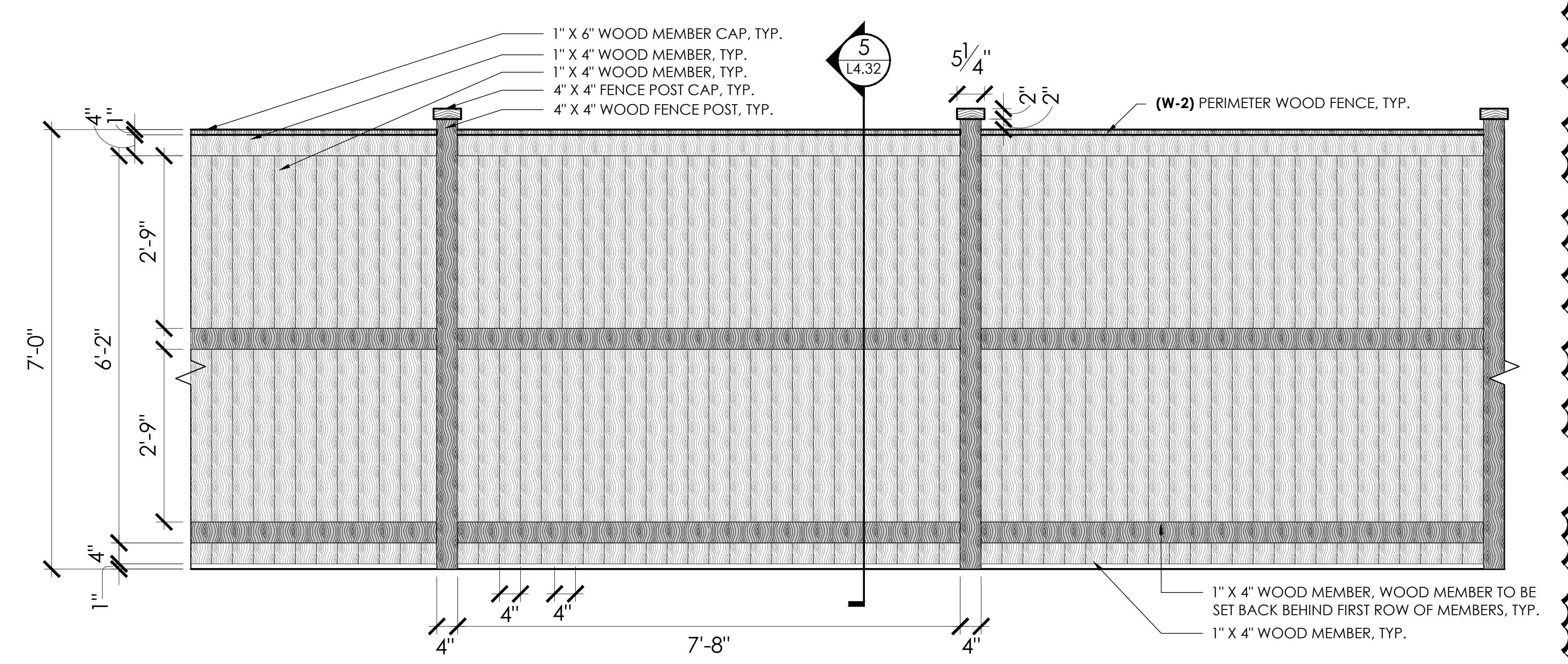
4 PERIMETER SINGLE WOODEN GATE - ELEVATION



3 PERIMETER DOUBLE WOODEN GATE - ELEVATION



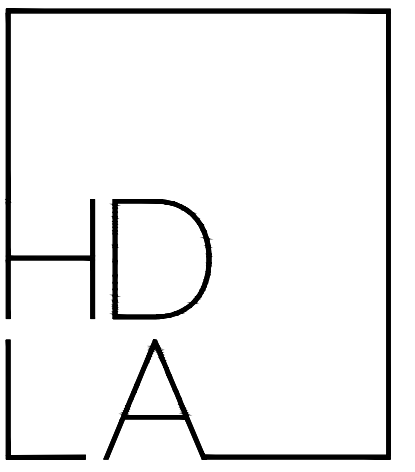
2 PERIMETER WOODEN FENCE PANELING - ELEVATION



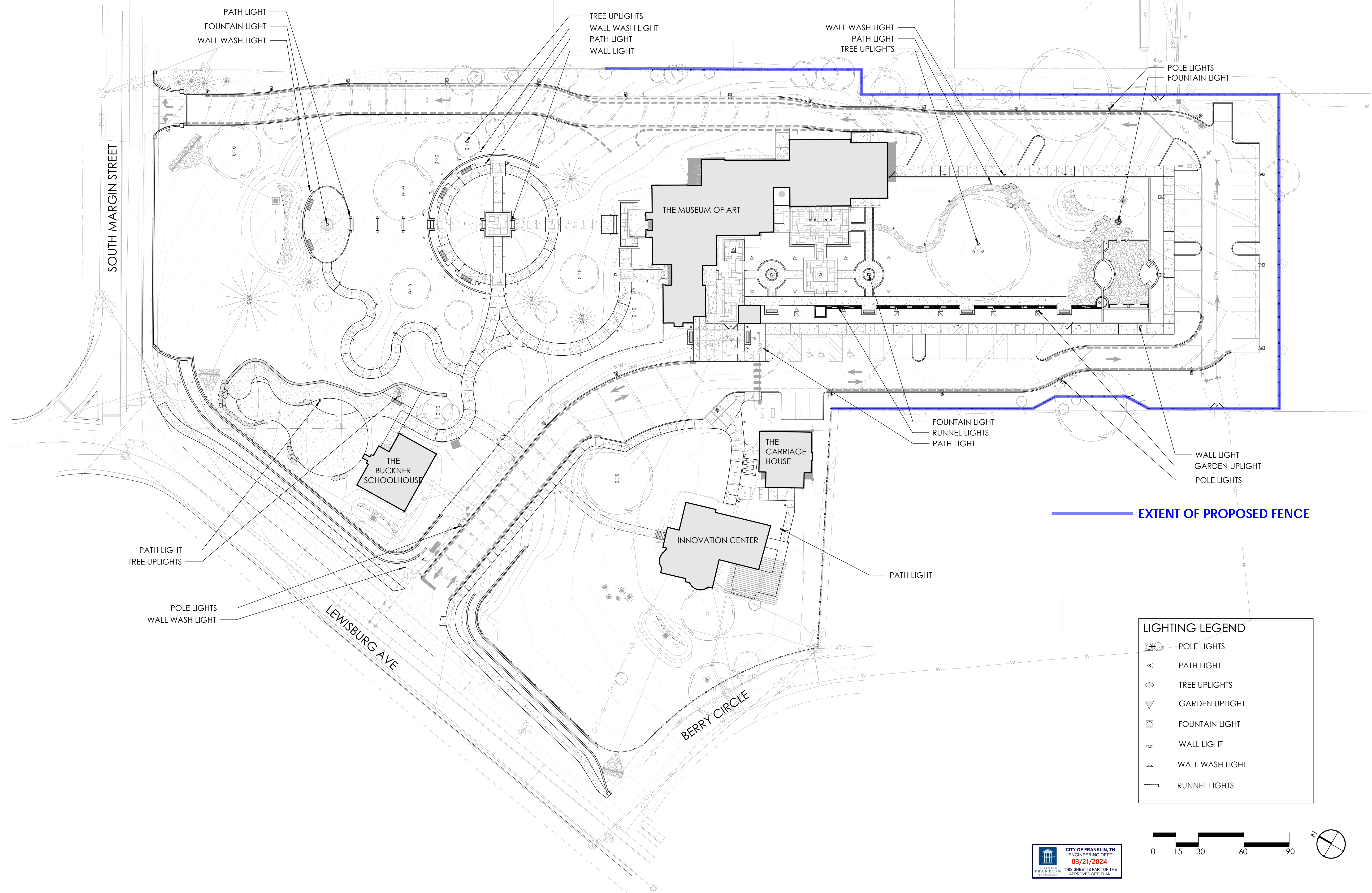
1 PERIMETER WOODEN FENCE - ELEVATION

# SITE PLAN

CITY OF FRANKLIN  
COF PROJECT# 8122

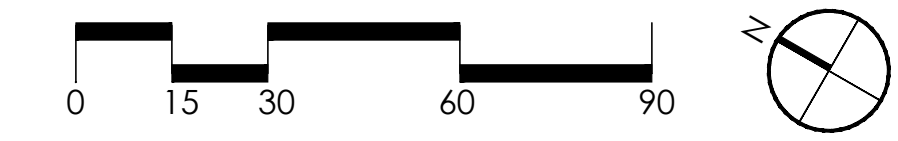


LANDSCAPE ARCHITECTS  
507 Main St. Nashville, TN 37206  
t. 615.327.4447  
www.hodgsondouglas.com



EXTENT OF PROPOSED FENCE

LIGHTING LEGEND	
	POLE LIGHTS
	PATH LIGHT
	TREE UPLIGHTS
	GARDEN UPLIGHT
	FOUNTAIN LIGHT
	WALL LIGHT
	WALL WASH LIGHT
	RUNNEL LIGHTS



NO.	Date	Issues/Revisions
1	02/19/24	Site Plan Resubmittal

STAMP



PROJECT NAME

## FRANKLIN GROVE

FRANKLIN,  
TENNESSEE

SITE PLAN SUBMITTAL

PROJECT NO.: 2004  
DRAWN BY: MA  
CHECKED BY: RW, CB

DRAWING TITLE

OVERALL LIGHTING  
PLAN

DATE: MARCH 13, 2023  
SCALE: PER PLANS

DRAWING NUMBER

# L6.0



EXISTING DAMAGED FENCE



EXISTING DAMAGED FENCE

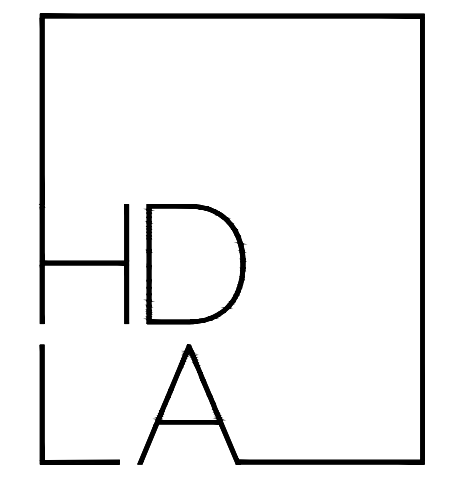


EXISTING DAMAGED FENCE



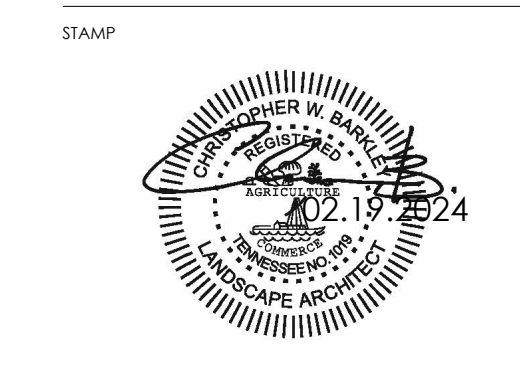
EXISTING DAMAGED FENCE

PHOTOS OF EXISTING FENCE



LANDSCAPE ARCHITECTS  
507 Main St. Nashville, TN 37206  
t. 615.327.4447  
www.hodgsondouglas.com

NO.	Date	Issues/Revisions
1	02/19/24	Site Plan Resubmittal



PROJECT NAME  
**FRANKLIN GROVE**

FRANKLIN,  
TENNESSEE

SITE PLAN SUBMITTAL

PROJECT NO.: 2004  
DRAWN BY: MA  
CHECKED BY: RW, CB

DRAWING TITLE  
**OVERALL LIGHTING  
PLAN**

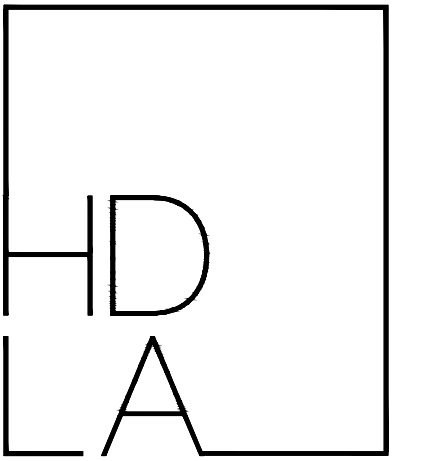
DATE: MARCH 13, 2023  
SCALE: PER PLANS

DRAWING NUMBER

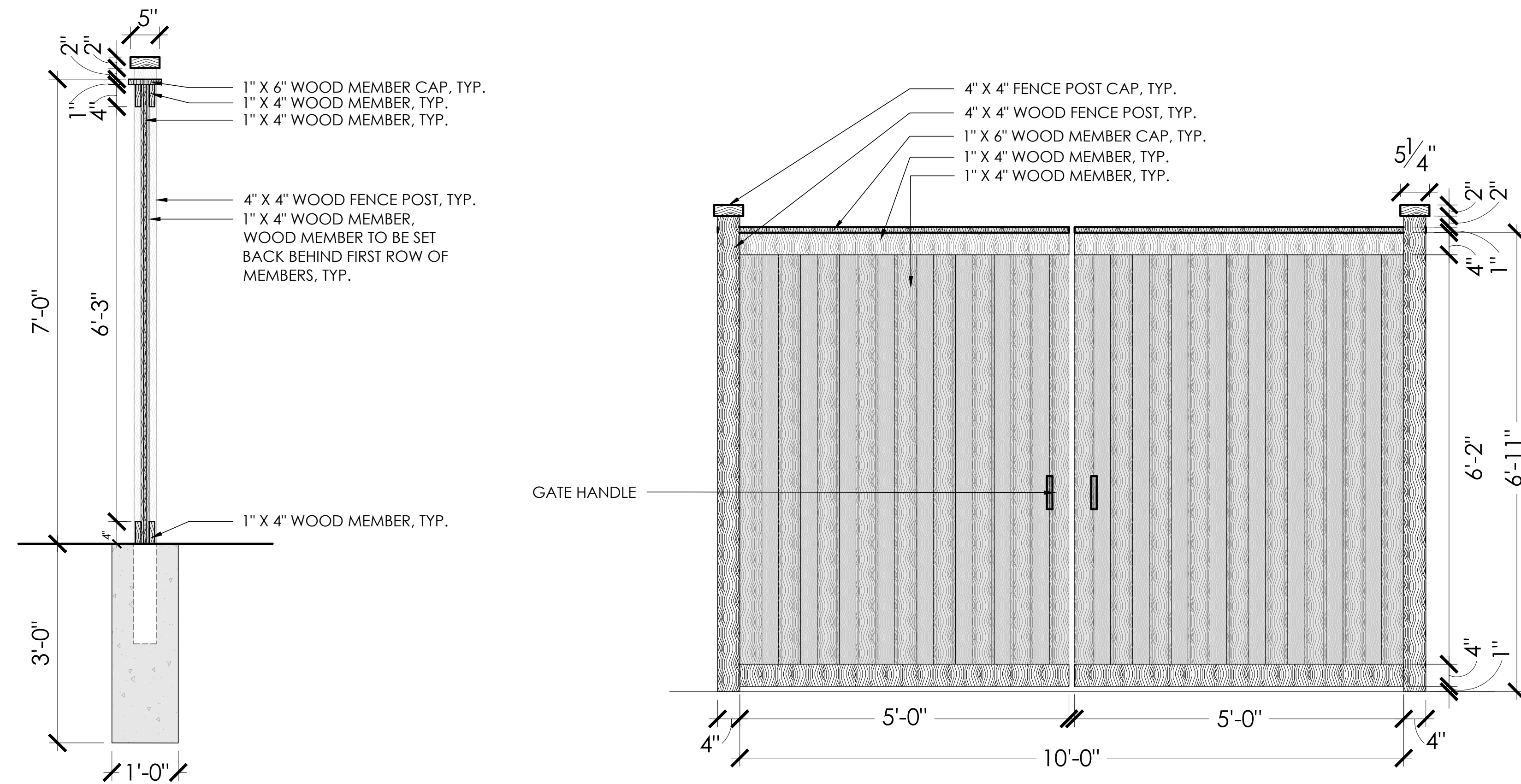
L6.0

# DETAILS OF PROPOSED NEW WOOD FENCE

CITY OF FRANKLIN  
COF PROJECT# 8122

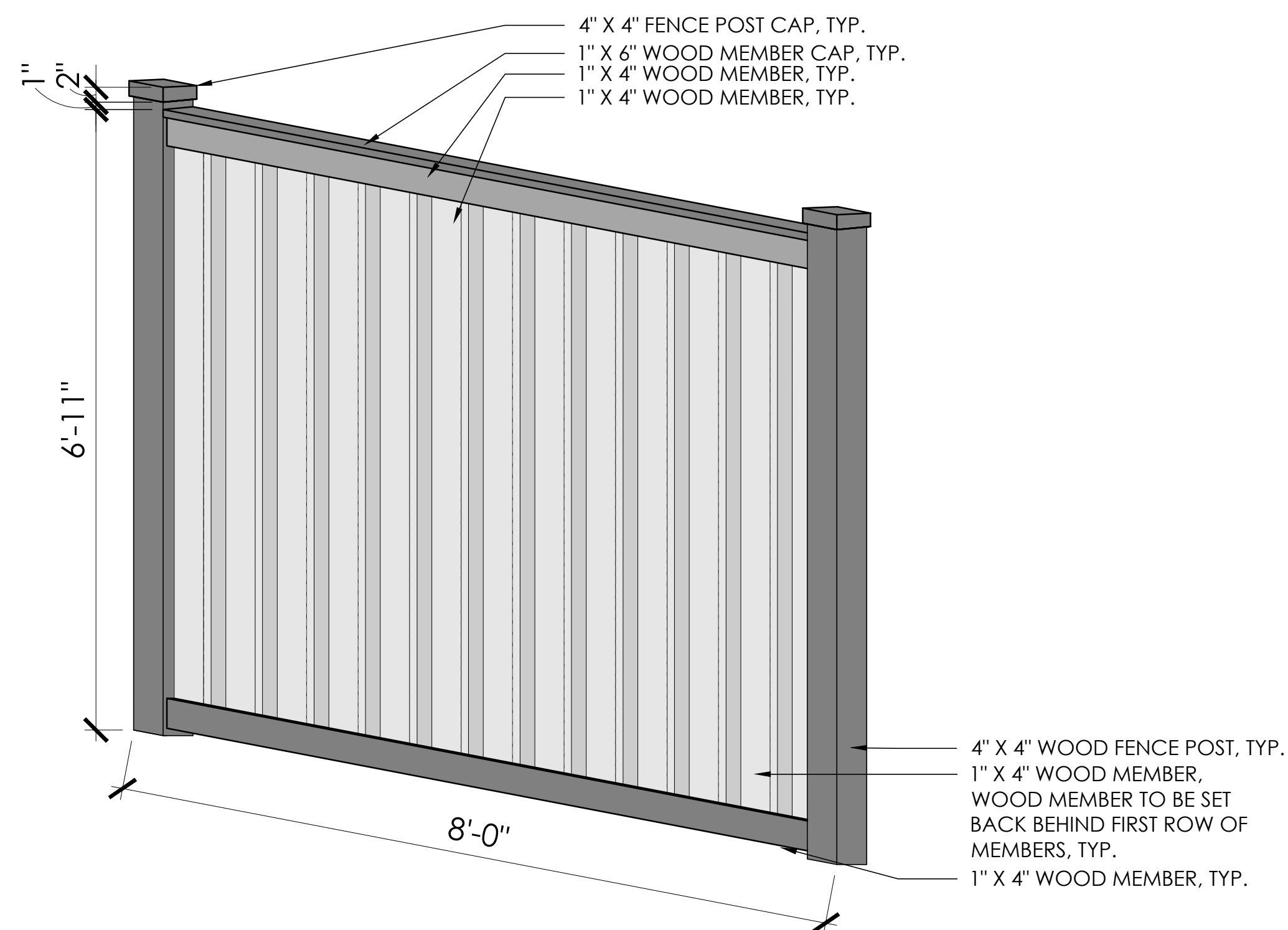


LANDSCAPE ARCHITECTS  
507 Main St. Nashville, TN 37206  
t: 615.327.4447  
www.hodgsondouglas.com

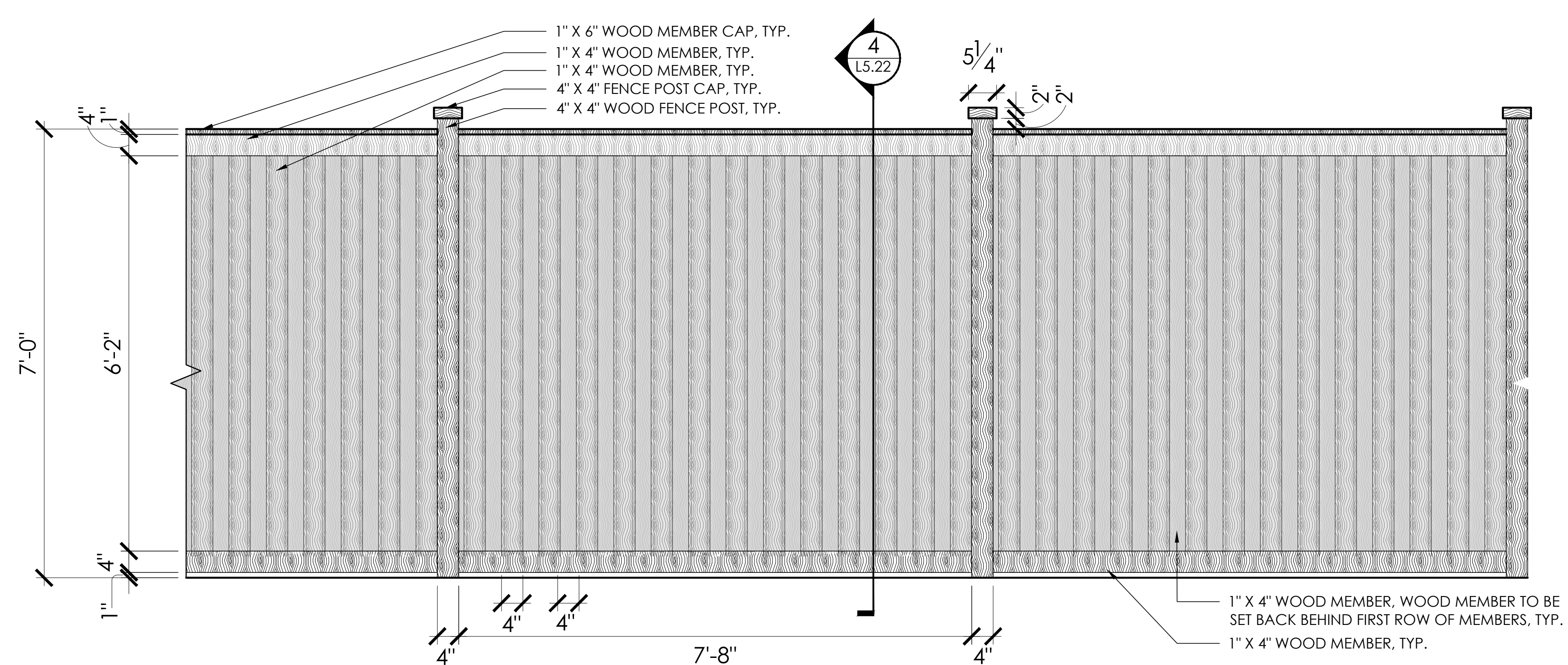


**4** PERIMETER FENCING PANEL - SECTION

**3** PERIMETER WOODEN GATE - ELEVATION

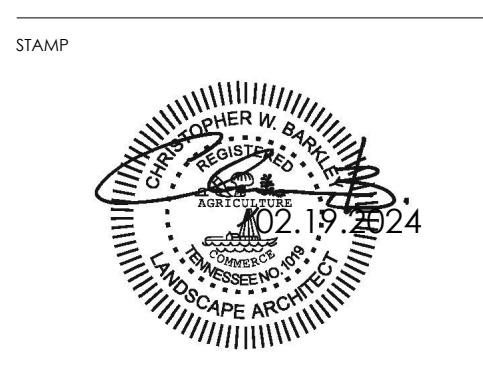


**2** PERIMETER WOODEN FENCE PANELING - ELEVATION



**1** PERIMETER WOODEN FENCE - ELEVATION

NO.	Date	Issues/Revisions
1	02/19/24	Site Plan Resubmittal



FRANKLIN GROVE

FRANKLIN, TENNESSEE

SITE PLAN SUBMITTAL

PROJECT NO.: 2004  
DRAWN BY: MA  
CHECKED BY: RW, CB

FENCING & GATE DETAILS

DATE: MARCH 13, 2023  
SCALE: PER PLANS

DRAWING NUMBER

L5.22

# OWNER AFFIDAVIT

## City of Franklin, Tennessee

We/ The Heritage Foundation of Williamson County, TN

(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

Franklin Grove Estate & Gardens

(Property Parcel/Tax ID Number)

and located at:

423 South Margin Street, Franklin, TN 37064

(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

906 Studio Architects, PLLC

(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

Bari H. Beasley Nov. 13, 2023

Signature

112 Bridge Street

Property Owner Mailing Address

Franklin, TN 37064

City, State & Zip

Subscribed and sworn to before me this

13<sup>th</sup> day of Nov., 2023.

Jenny M. Cross  
Notary Public

My Commission Expires: 1/26/2025

