



# City of Franklin

Mailing Address:  
109 3<sup>rd</sup> Ave S  
Franklin, TN 37064  
(615) 791-3217

## Meeting Agenda

### Design Review Committee

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Monday, April 20, 2026

4:00 PM

Eastern Flank Event Facility

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Notice is hereby given that a meeting of the Design Review Committee will be held on the date and time listed above. You may call 615.791.3212 for additional information. For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at 615.791.3216 at least 24 hours prior to the meeting. The typical process for discussing an item in this meeting setting is as follows: 1. Applicant / staff presentation, and 2. DRC comments. Accommodations have been made to ensure that the public is able to view the meeting. The public may view the meeting in the following ways: • Watch the meeting on FranklinTV or the City of Franklin website. • Watch the live stream through the City of Franklin Facebook and YouTube accounts. • Attend in person at the meeting location.

#### CALL TO ORDER

#### APPLICATIONS

1. Discussion Of Window Alterations At 334 Main St. Suite 104; Jenna Lee, Applicant.
2. Discussion of Site Alterations (Ramp) At 210 3rd Ave. N.; Brandon Priddy, Applicant.
3. Discussion Of New Construction, Signage, And Site Alterations (Williamson County EMS) At 110 Aldersgate Way, Lacey Fuller, Applicant.
4. Discussion Of An Addition (Principal) At 109 7th Ave. N.; Jacob Layne, Applicant.
5. Discussion Of Alterations (Principal) And Site Alterations At 121 Myles Manor Ct.; Scott Cash, Applicant.
6. Discussion Of A Conceptual Master Plan Draft At Carter Hill Park At 1220 Columbia Ave.; Lisa Clayton, Applicant.
7. Discussion Of Demolition And Reconstruction (Principal) At 1309 Adams St.; Ben McCreary, Applicant.

#### ADJOURN

Anyone needing accommodations due to disabilities please contact the ADA Coordinator at 615-791-3277 at least 24 hours prior to the meeting.

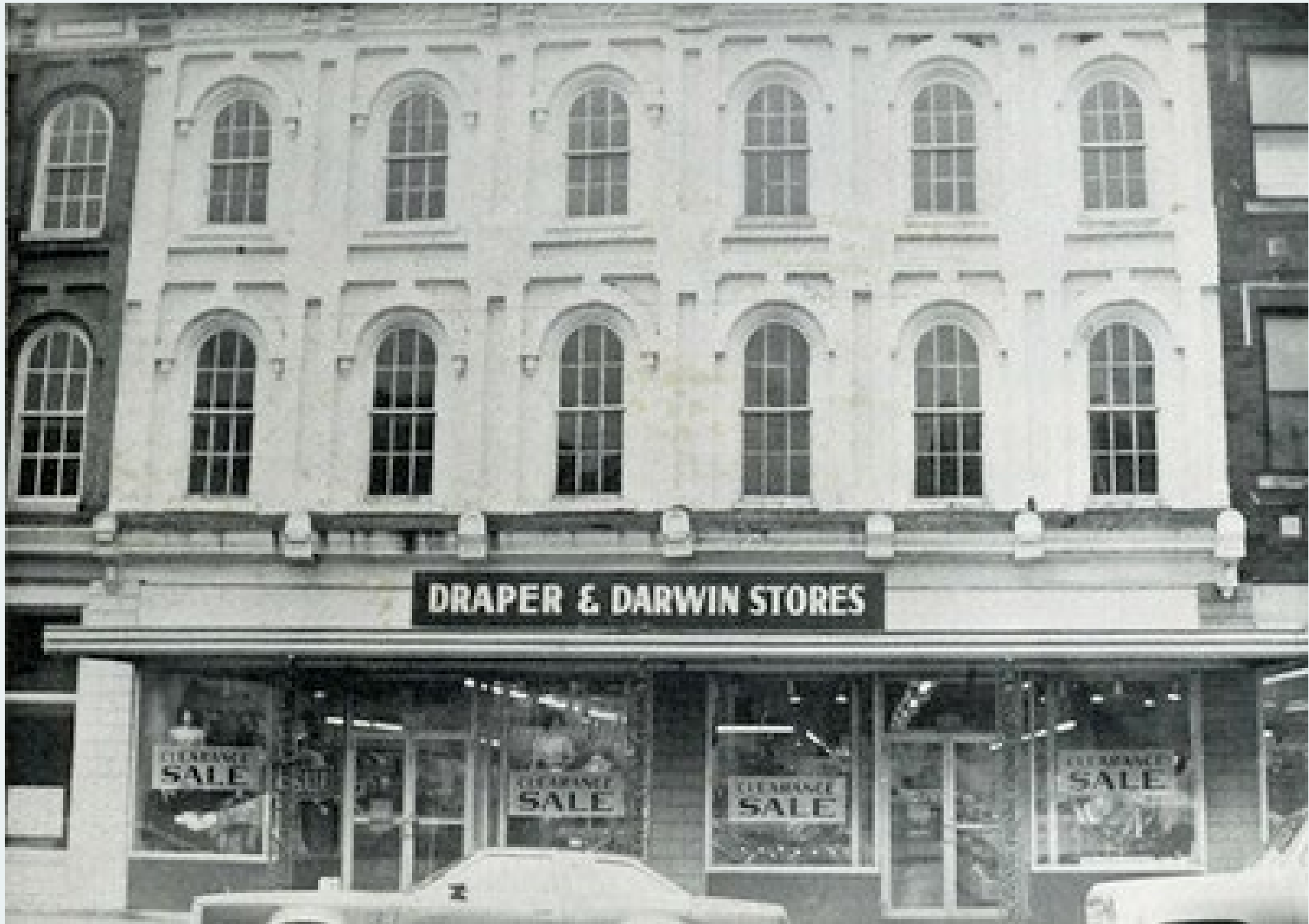
# 334 Main Street

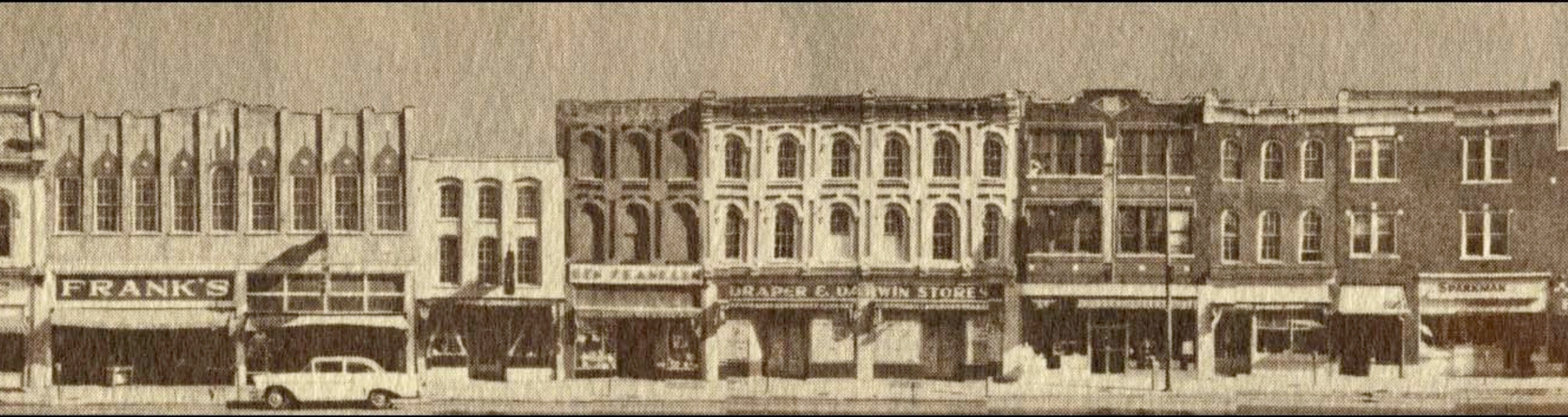


# 334 Main Street



- Proposal is to replace the 12 windows on the upper floors with accustom built divided lite window that is seen in the historic photos.





## Rear Elevation



1990s



1991 Streetscape



1979



Firemen continued a watch at the Ben Franklin Store up into the morning Saturday to be sure the blaze that gutted the building and destroyed its contents was completely out. The block of Main Street just west of the Public Square was closed much of the day. After firemen left a large crane was brought in to remove the awning and the roofing that had collapsed inside the building.

# 906

## 210 3<sup>rd</sup> Avenue North: Project Narrative Prepared for the Franklin Historic Zoning Commission DRC 906 Studio Architects : April 13, 2026

The applicant, Sean R. Aiello, is a lifelong Franklin resident and managing partner of the local law firm Schell & Oglesby, LLC. His family, the Hendersons, have produced a continuing line of practicing lawyers servicing Franklin and the surrounding area since the 1870s. Beginning with prior Tennessee Supreme Court Judge John Hughes Henderson, notable practitioners have included Judge John Henderson, Captain Tom Henderson, and Public Defender John Henderson who have all practiced off the Square. Sean envisions a return of downtown practice in a historic location to preserve both the history of the building and his family's legacy in the greater Franklin legal and civic community. He is currently working with our team to design a renovation of the property at 210 3<sup>rd</sup> Ave North where he will create a new home for his practice.

While the design team was able to secure a COA for a majority of the renovation for the property, one item which remained unresolved is the accessible ramp. There was a concern expressed by the Commission that the ramp as shown in the proposed design on the front of the building would interrupt the façade. While we understand the concern, we've studied the alternative locations and feel that the ramp at the front is the only solution. In this packages we have created exhibits to describe the design constraints which prevent location of the ramp on other faces of the building. A brief summary of those options:

North (side of building): shared access easement does not allow for ramp

South(side of building): setback requirements as outlined in zoning ordinance do not allow space for ramp

East (rear of building): due to the greater difference in elevation, the length of ramp required will not physically fit in the available space between the building and the rear setback as outlined in zoning ordinance

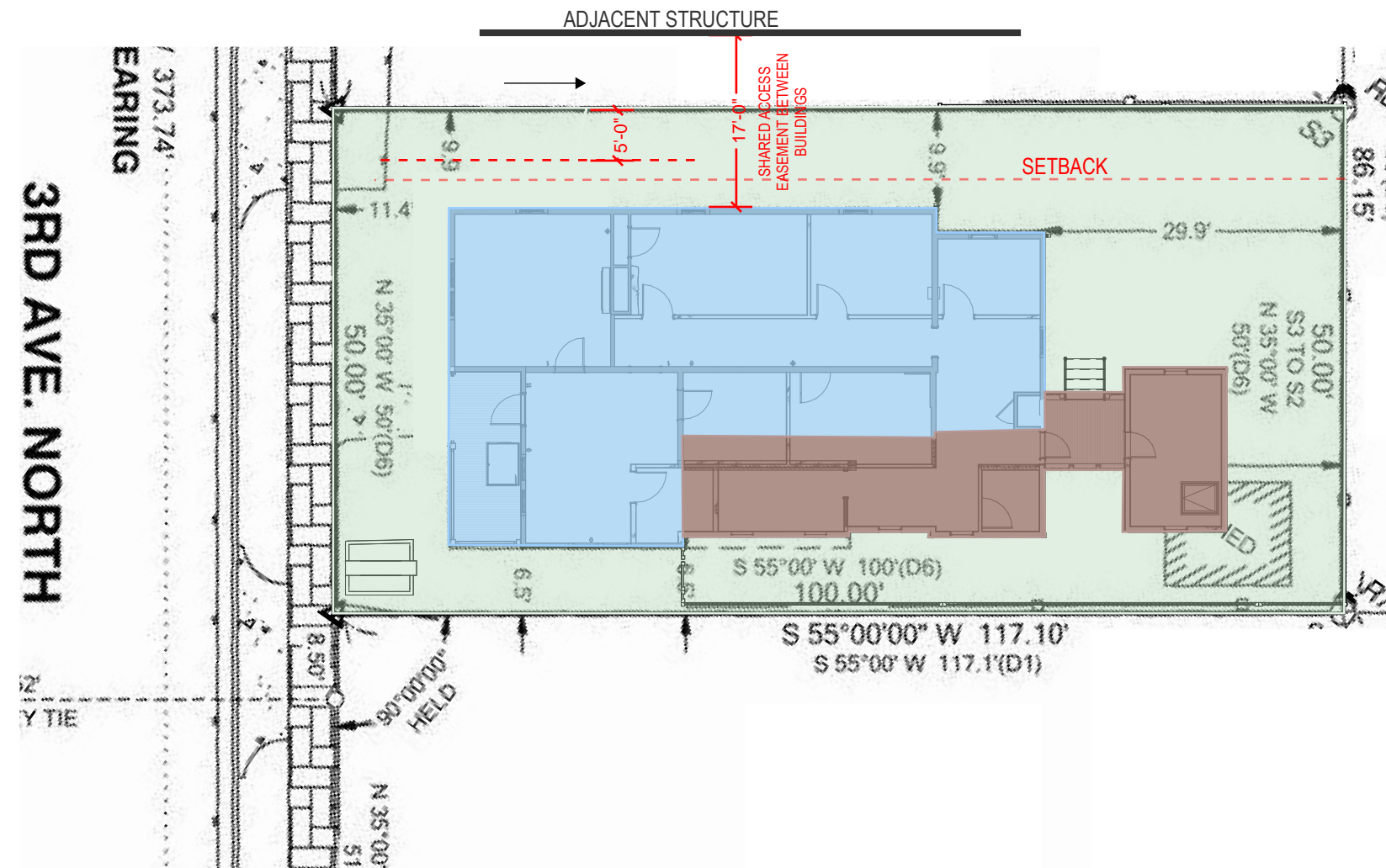
Front of the building: a low 20:1 slope eliminates the need for railings which are visual obstructions and the low height of the ramp (approximately 14 inches) makes it all but invisible along the front façade. We have shown two potential locations are would appreciate the opportunity to discuss which is preferred.

210 3RD AVE N.

# RAMP DESIGN : OPTION 1 - NORTH SIDE AT ACCESS DRIVE

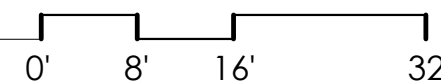
FRANKLIN LEGAL, LLC

**DESIGN CONSTRAINT:** A RAMP TO THE NORTH OF THE BUILDING WILL OBSTRUCT SHARED EASEMENT FOR ACCESS DRIVE AISLE WHICH SERVES BOTH PROPERTIES



## OPTION 1 - RAMP ON SIDE @ NORTH

1/16" = 1'-0"



210 3RD AVE N.

# RAMP DESIGN : OPTION 2 - SOUTH SIDE

FRANKLIN LEGAL, LLC

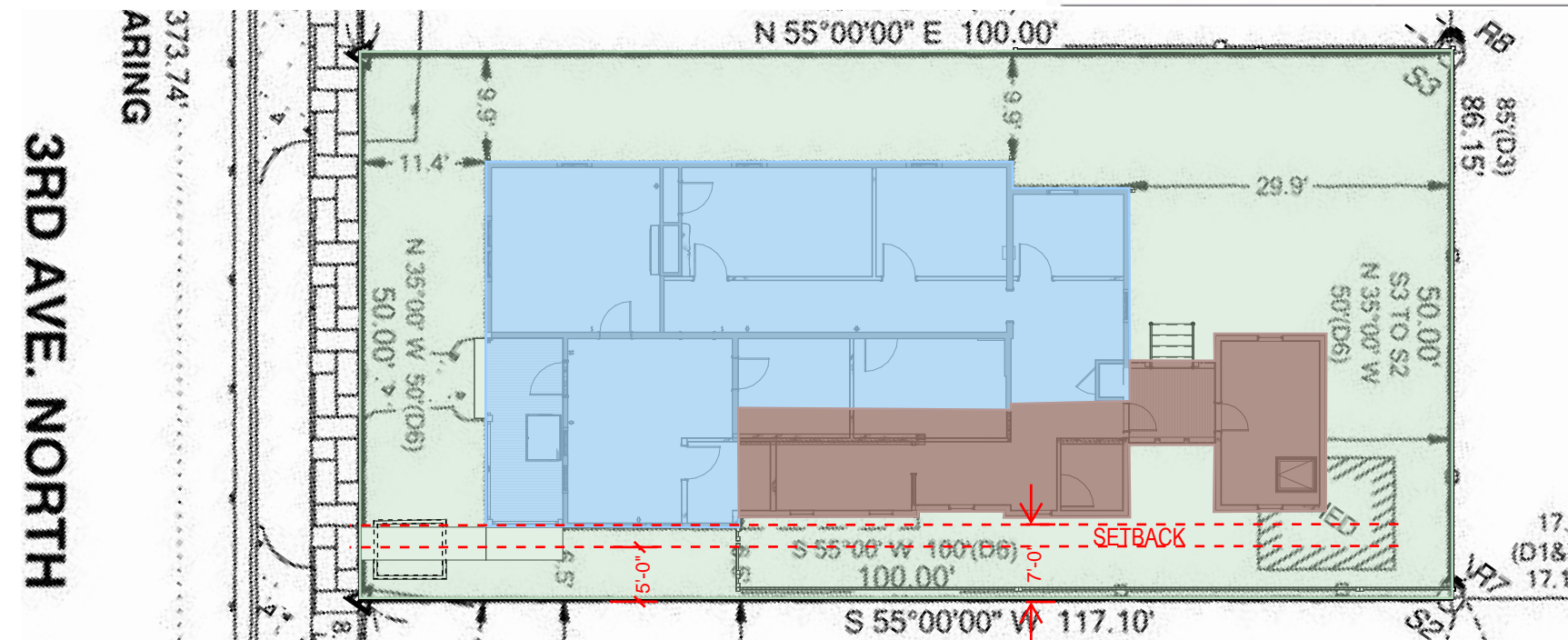
**DESIGN CONSTRAINT:** A RAMP TO THE SOUTH OF THE BUILDING WILL CONFLICT WITH THE MINIMUM 5' SETBACK OFF LOT LINE AS REQUIRED BY THE ZONING ORDINANCE.

## FROM ZONING ORDINANCE:

### Appurtenance Encroachments into Setbacks

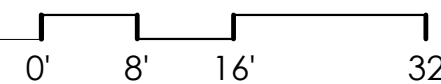
Front Yard	6 feet max
Side Yard	5 feet max, but no closer than <b>5 feet from lot line</b>
Rear Yard	6 feet max, but no closer than 20 feet from lot line

Steps may encroach up to the front lot line, but no closer than 5 feet from a side or rear lot line

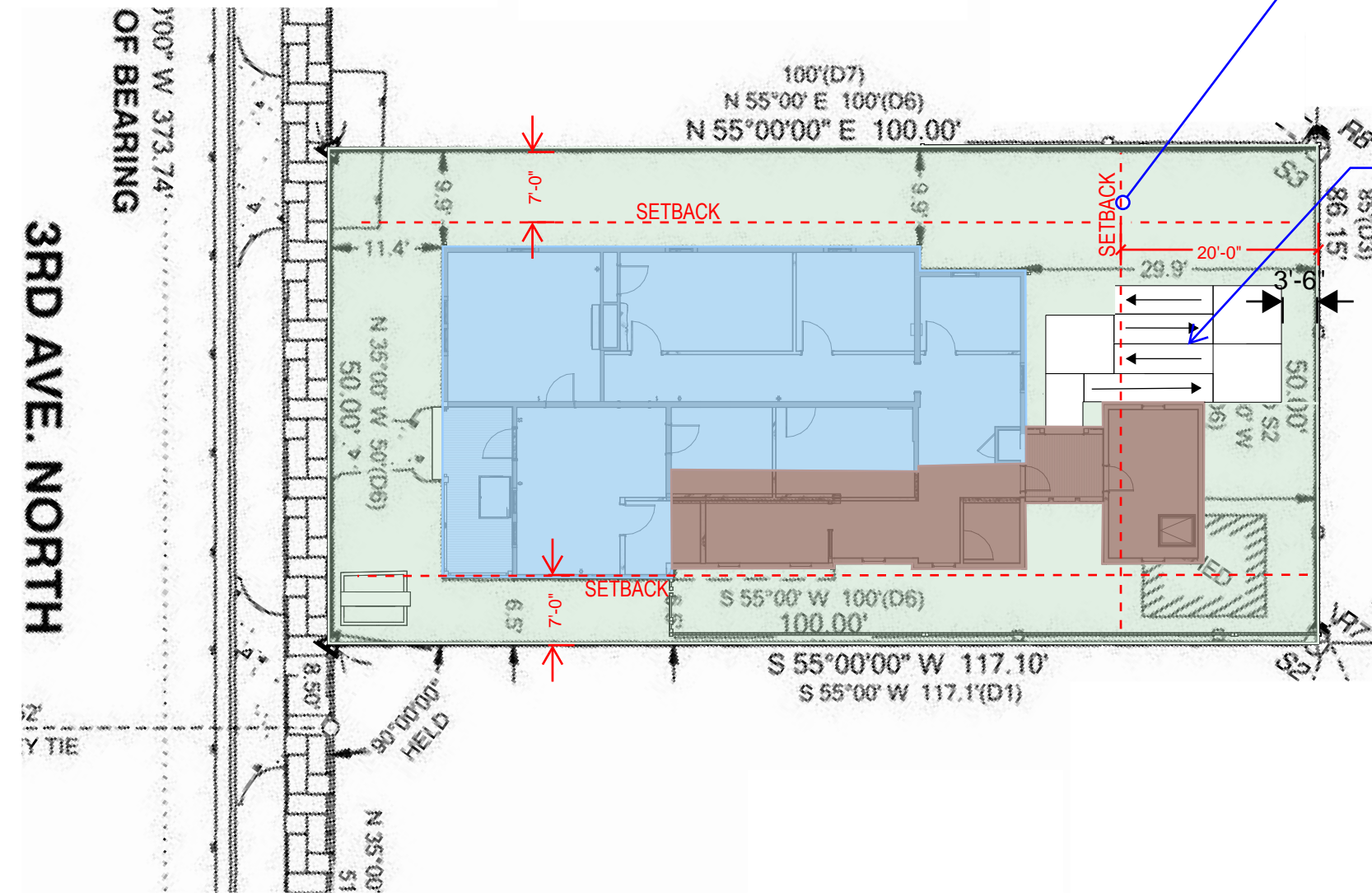


## OPTION 2 - RAMP @ SOUTH

1/16" = 1'-0"



**DESIGN CONSTRAINT:** THERE IS NOT ADEQUATE ROOM BETWEEN REAR OF BUILDING AND SETBACK TO FIT A RAMP AT THE LENGTH NECESSARY WITH LANDINGS AND SLOPE AS OUTLINED IN ADA REQUIREMENTS.



RAMP WOULD INFRINGE UPON 20' REAR SETBACK FOR BUILDING APPURTENANCE

THIS IS THE RAMP LENGTH AND CONFIGURATION THAT WOULD BE REQUIRED TO MAKE UP THE 42\"/>



EXISTING CONDITIONS AT REAR OF HOUSE AND 42\"/>

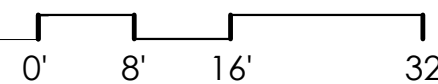
**FROM ZONING ORDINANCE:**

**Appurtenance Encroachments into Setbacks**

Front Yard	6 feet max
Side Yard	5 feet max, but no closer than 5 feet from lot line
Rear Yard	6 feet max, but no closer than <b>20 feet from lot line</b>
Steps may encroach up to the front lot line, but no closer than 5 feet from a side or rear lot line	

**OPTION 3 - RAMP IN BACK @ EAST**

1/16" = 1'-0"



210 3RD AVE N.

# RAMP DESIGN : OPTION 4 - FRONT RAMP SOUTH

FRANKLIN LEGAL, LLC

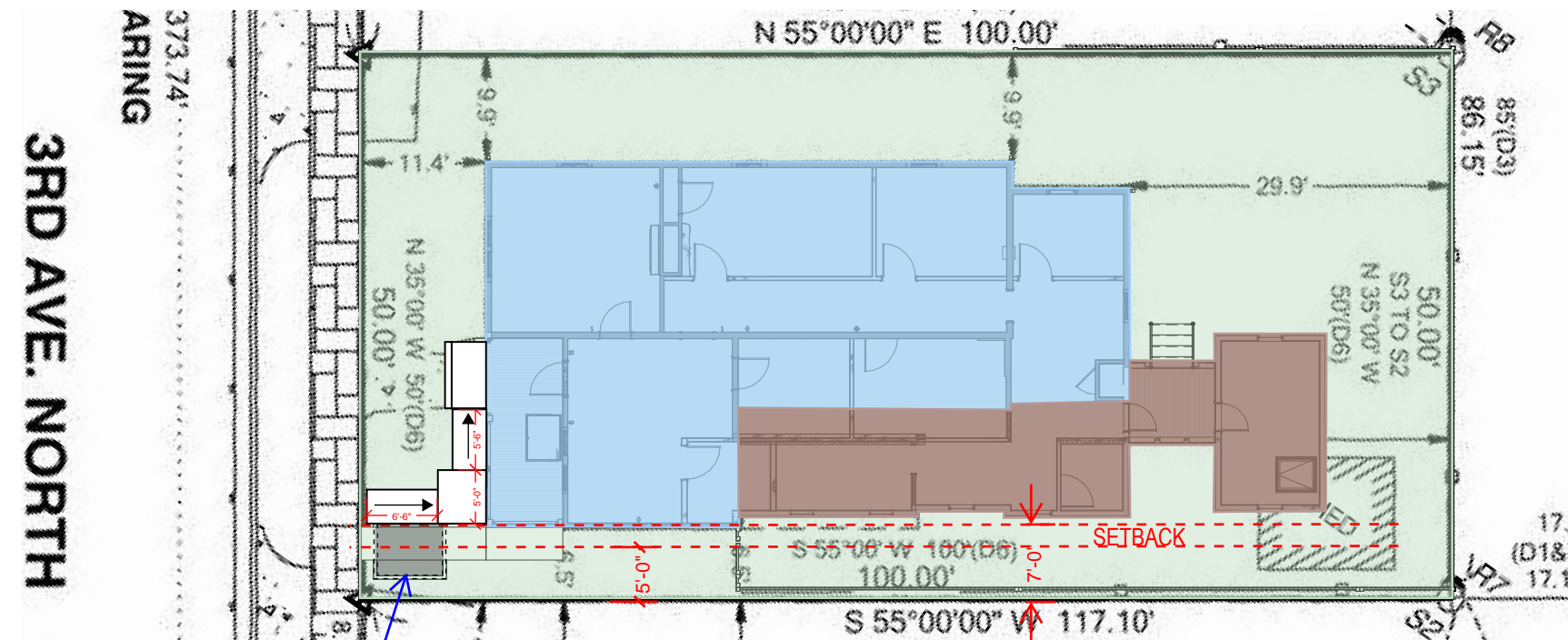
**DESIGN CONSTRAINT:** A RAMP TO THE SOUTH OF THE BUILDING WILL CONFLICT WITH THE MINIMUM 5' SETBACK OFF LOT LINE AS REQUIRED BY THE ZONING ORDINANCE.

## FROM ZONING ORDINANCE:

### Appurtenance Encroachments into Setbacks

Front Yard	6 feet max
Side Yard	5 feet max, but no closer than <b>5 feet from lot line</b>
Rear Yard	6 feet max, but no closer than 20 feet from lot line

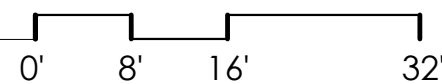
Steps may encroach up to the front lot line, but no closer than 5 feet from a side or rear lot line

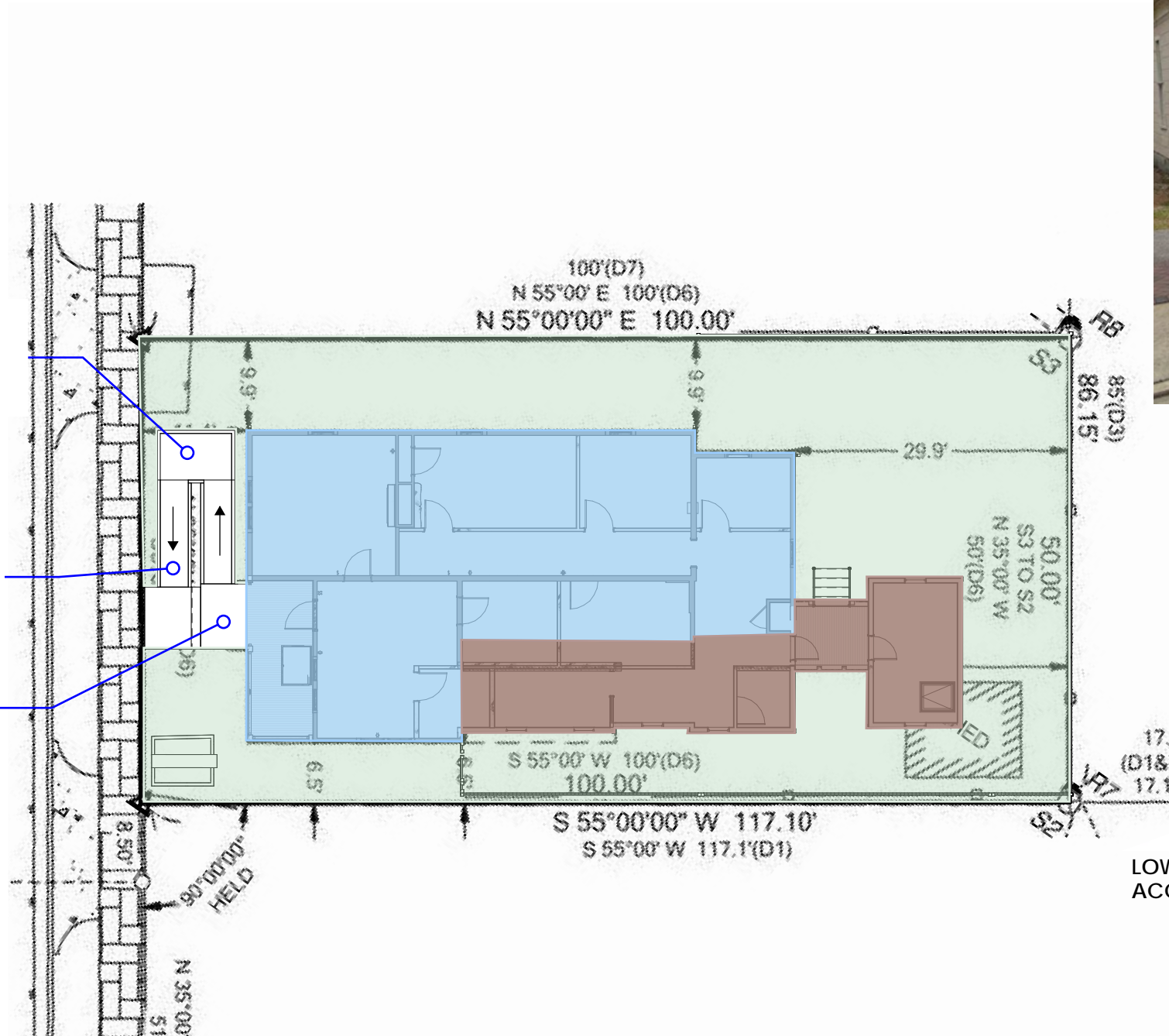


EXISTING MONUMENT SIGN

## OPTION 4 - FRONT RAMP ALT. 1

1/16" = 1'-0"



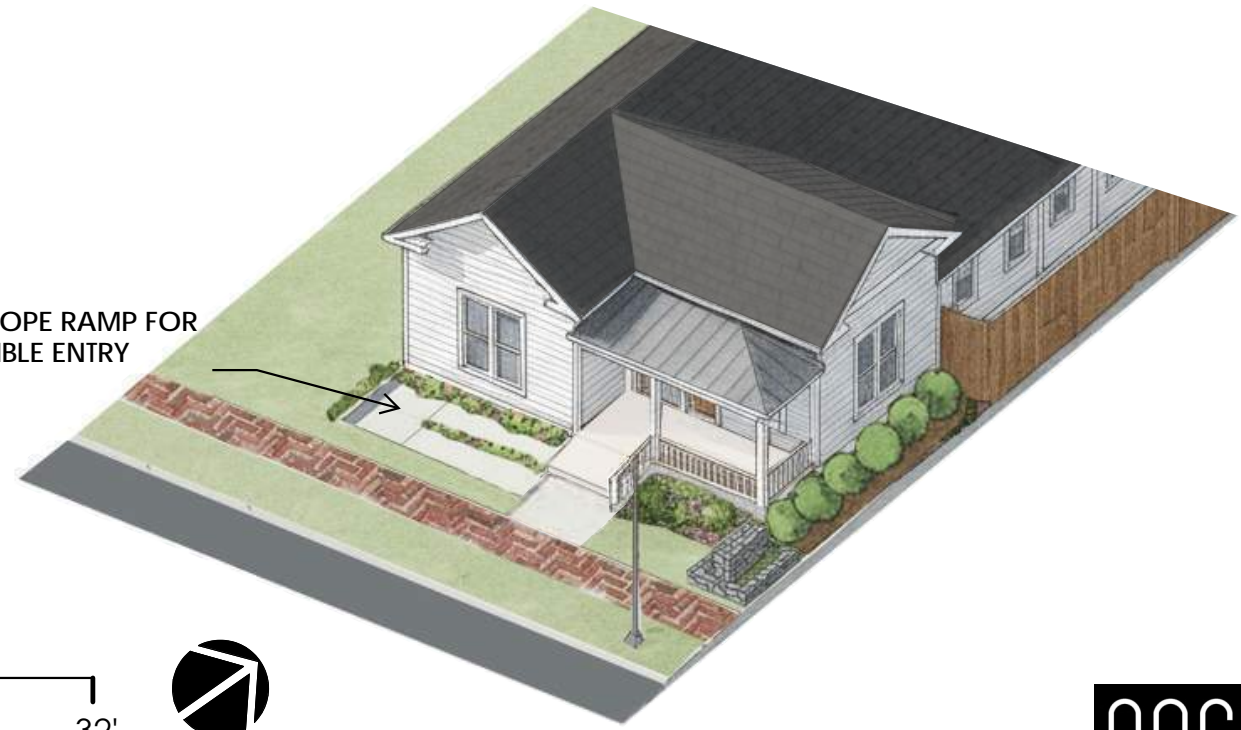


20:1 RAMP DOES NOT REQUIRE GUARDRAILS OR HANDRAILS REDUCING PROFILE ON FRONT FACADE

DOES NOT INTERFERE WITH REAR PARKING OR ACCESS TO BACK OF BUILDING.

TIES INTO EXISTING PATH ON FRONT OF BUILDING.

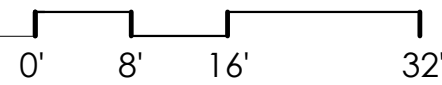
LOW SLOPE RAMP FOR ACCESSIBLE ENTRY



OPTION 5 - FRONT RAMP ALT. 2

1/16" = 1'-0"

(RECOMMENDED OPTION)



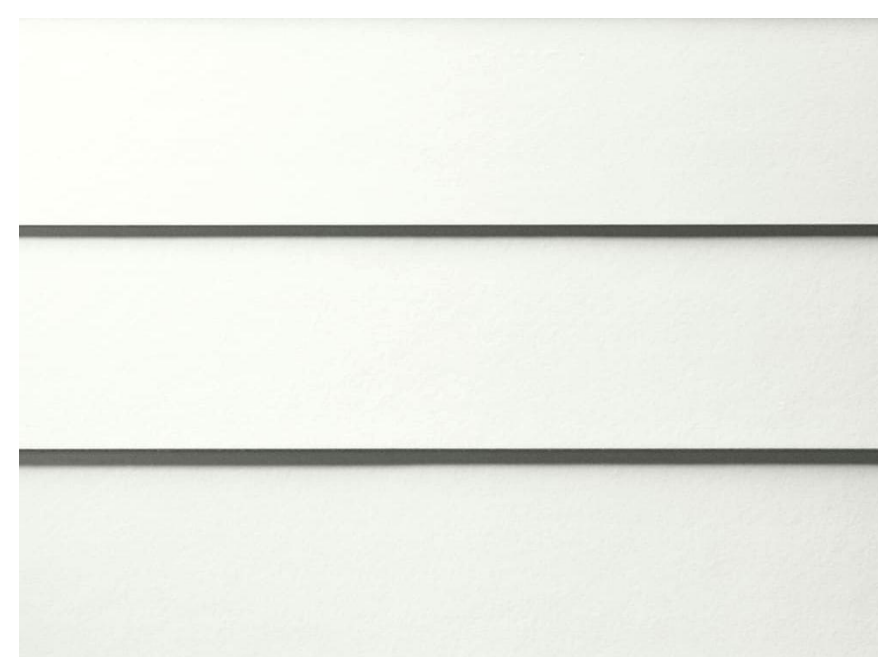
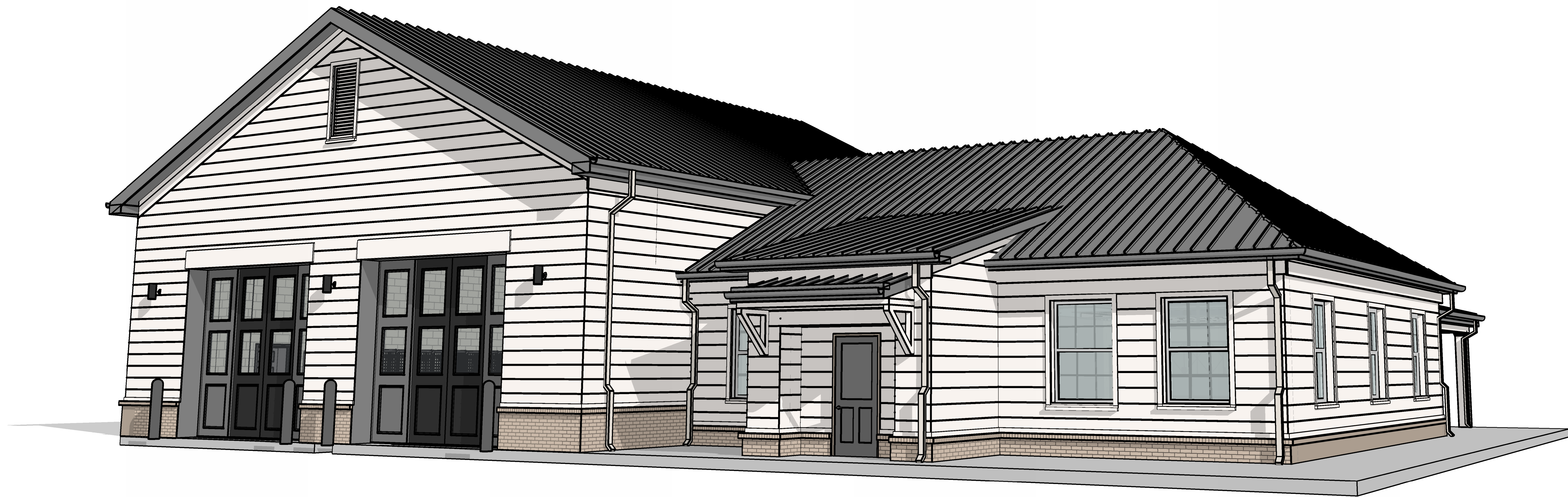


**Project: Williamson County Fire and Rescue EMS at FFUMC  
110 Aldersgate Way, Franklin, Tennessee 37069  
Prepared for: City of Franklin Historic Zoning Commission  
Applicant: Williamson County Department of Public Safety  
Architect: TMP  
Date: April 2026**

## **I. Project Overview**

This proposal is for the construction of a new Williamson County Emergency Medical Services (EMS) Station to serve the northern Franklin community. The facility will be located on the campus of Franklin First United Methodist Church (FFUMC) at 110 Aldersgate Way.

The project provides a small-scale civic building accommodating emergency response vehicles, crew facilities, and support spaces. Design and materials are guided by the Franklin Historic District Design Guidelines, Franklin Zoning Ordinance, and surrounding Historic properties.



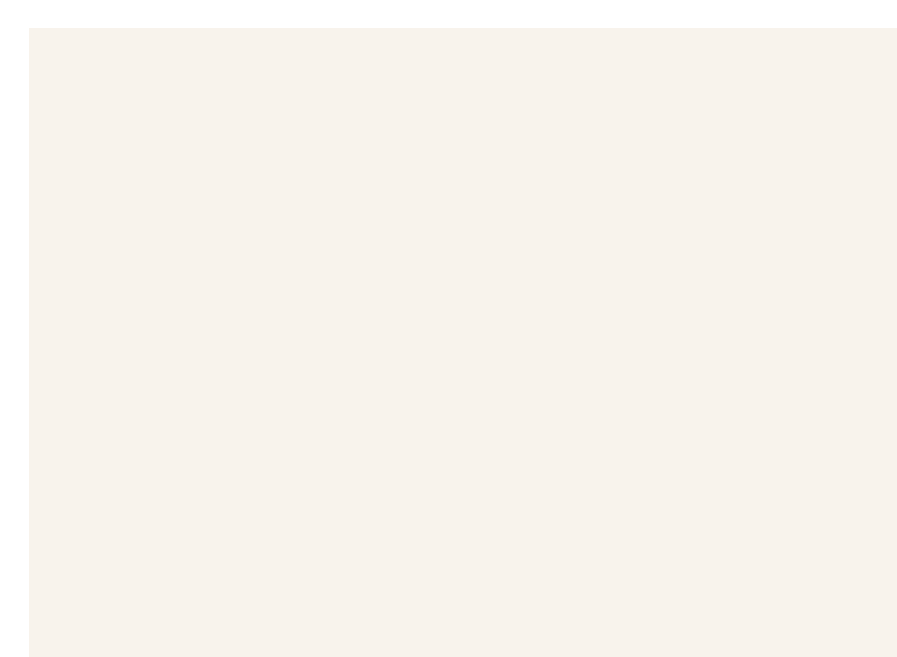
**WHITE/CREAM FIBER  
CEMENT PLANK LAP SIDING**  
JAMESHARDIE  
SMOOTH



**BRICK**  
TRIANGLE BRICK  
EVELYN BAY



**STANDING SEAM METAL  
ROOF**  
PAC-CLAD SNAP-CLAD  
MUSKET GRAY



**BRICK MORTAR**  
ARGOS  
WHITE / BROWN SAND



**EXTERIOR DOORS**  
SHERWIN WILLIAMS  
GRAY



**FIBERGLASS WINDOWS**  
PELLA IMPERVIA  
MORNING SKY GREY

NOTE: ALL MATERIAL LOCATIONS ARE NOTED ON SHEET A0000 – EXTERIOR ELEVATIONS



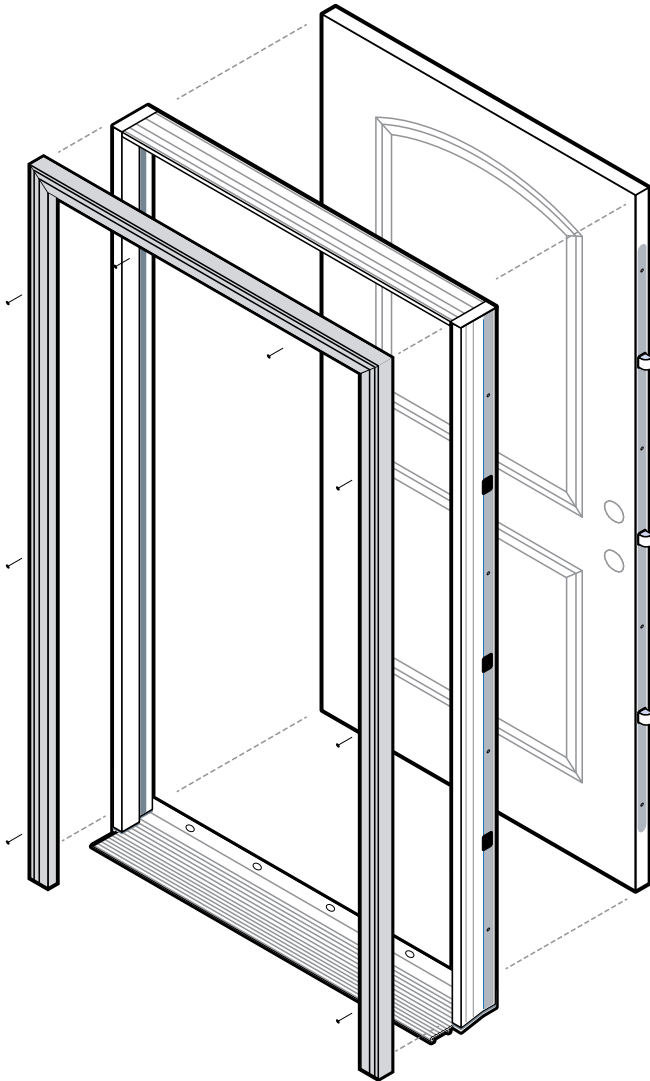


# Pella® Entry Doors



#1 preferred entry door brand by homeowners.\*

A curated collection of fiberglass and steel entry doors delivering dependable performance and inspired designs.



Rendering shown with all available options.

- **Whole home solution**  
Trust Pella to be your whole project solution with our complete offering of windows, patio doors and entry doors. Support is available where and when you need it with trusted national, regional and local partners in sales and installation.
- **Innovative security sensors**  
Our integrated security sensors are factory-installed and integrated directly into the entry door system. Preserving the beauty and warranty of a Pella entry door while increasing peace of mind, they can be used with the free Pella Insynctive® app and integrate with many home security systems.
- **Premium hardware**  
Pella has partnered with Baldwin®, the #1 premium hardware brand to create three stunning collections to complement your project's style, architecture and coordinating window hardware.
- **Variety of panel materials**  
Available in fiberglass and steel, our collection of entry doors can meet the needs of your design vision, while providing exceptional performance and energy efficiency.
- **Rot-resistant frame system**  
Pella's complete panel and frame system for fiberglass and steel entry doors is made of a rigid closed cell poly-fiber material and is engineered to be exceptionally energy efficient. It does not absorb moisture and is rot resistant, reducing potential callbacks.
- **Energy-efficient panels**  
Our fiberglass and steel entry doors feature solid polyurethane foam-filled panels to increase energy efficiency and ensure years of exceptional performance.
- **Desired, on-trend colors**  
Select from a curated color collection, created in collaboration with the team at Sherwin-Williams DesignHouse for Performance Coatings. They are designed to complement Pella windows and patio doors and coordinate with other exterior finishes, including siding, roofing, stone and shingles.
- **Most popular styles**  
With the most popular panel styles, we've made the selection process for your next project faster and easier. With a panel offering that fits every home style, you can help fulfill your customer's desired aesthetic.
- **Available impact options**  
Offering panel and glass options for impact-certification, Pella's fiberglass and steel panels and frame system allow for code compliance. See performance details at [PellaADM.com](http://PellaADM.com) for more information.



Pella® entry doors are backed by some of the strongest warranties in the business.<sup>2</sup>

Pella entry door fiberglass systems with composite exterior frames are backed by the Pella Limited Lifetime Warranty. The Pella 20/10 Limited Warranty is the standard warranty for all steel and wood entry doors from Pella.

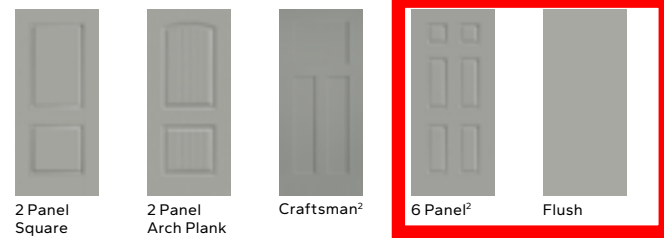
\* Study of homeowner perceptions of leading national brands. Study commissioned by Pella, 2019.

## Product Specifications

Entry Door Styles	Min. Width	Min. Height	Max. Width <sup>1</sup>	Max. Height	Performance Values <sup>1</sup>	
					U-Factor	SHGC
Flush Glazed Full Light <sup>2</sup>	30"	80"	36"	96"	0.25	0.16
Full Light <sup>2</sup>	30"	80"	36"	96"	0.25	0.16
3/4 Light <sup>2</sup>	32"	80"	36"	96"	0.25	0.21
3/4 Deluxe Oval Light <sup>2</sup>	32"	80"	36"	80"	0.24	0.15
1/2 Light 1 Panel Plank	32"	80"	36"	96"	0.23	0.16
Craftsman Light <sup>2</sup>	32"	80"	36"	96"	0.19	0.09
Twin Colonial Light	32"	80"	36"	80"	0.19	0.09
2 Panel Square	32"	80"	36"	96"	0.15	0.01
2 Panel Arch Plank	32"	80"	36"	96"	0.15	0.01
Craftsman <sup>2</sup>	32"	80"	36"	96"	0.15	0.01
6 Panel <sup>2</sup>	30"	80"	36"	96"	0.15	0.01
Flush	30"	80"	36"	96"	0.15	0.01

## Panel Styles

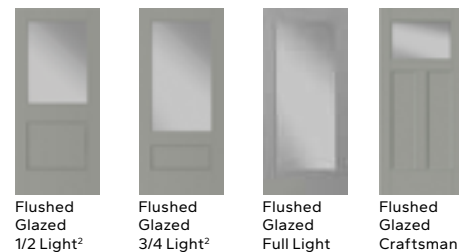
### Solid



### Glazed



### Flush Glazed

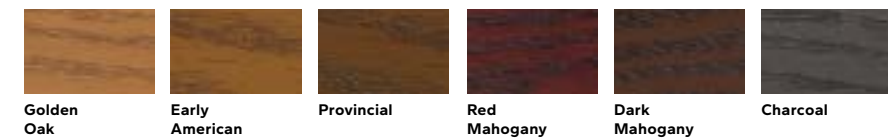


## Colors

### Finishes

Find the color that coordinates best with your project, from modern to traditional styles, across the country. Our curated collection of on-trend colors was created in collaboration with the team at Sherwin-Williams DesignHouse for Performance Coatings.

### Prefinished Stains



### Painted Fiberglass or Steel



## Glass

### Glass

Low-E insulating glass is available on a broad range of glazed entry doors. It provides thermal protection for exceptional energy efficiency, insulating from both heat and cold – making it a great choice for all climates. Decorative and impact-resistant glass options are available.

#### Low-E Glass

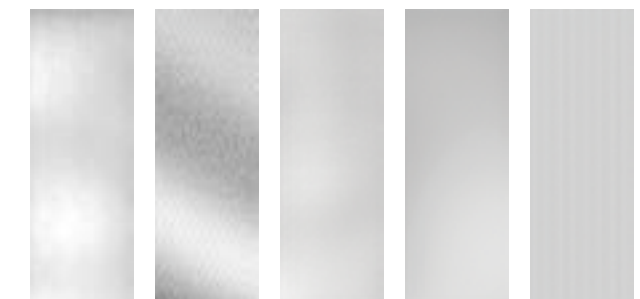
Energy-saving Low-E insulating glass is a simple, elegant option that helps protect flooring and furniture from fade damage.



Low-E Glass

#### Low-E Obscure Glass

An elegant way to add privacy, Pella's obscure glass patterns provide unique design simplicity.



Chord Double Water Pear Satin Etch Narrow Reed

## Added Peace of Mind

### Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella Insynctive® mobile app and are compatible with major security panel systems.\* For more information, go to [connectpella.com](http://connectpella.com).

<sup>1</sup> Values shown are for a single door. See your Pella representative for more information.

<sup>2</sup> Availability may be limited. Please contact your local Pella representative for more information.

<sup>3</sup> See written limited warranties for complete details, including exceptions and limitations, at [pella.com/warranty](http://pella.com/warranty) or contact Pella Customer Service at 877-473-5527.

\* Requires the Pella Insynctive App on a smart device, an Insynctive Bridge and a wireless home internet router with internet connection.



# SNAP-CLAD PANELS

Snap-Clad panels feature architectural aesthetics as well as structural performance. Snap-Clad panels, produced in continuous lengths, are leveled to provide superior flatness and feature an optional factory-applied sealant bead for improved weather resistance. Maximum panel length varies by facility and minimum panel length is 4'. Consult factory for longer lengths.

Snap-Clad panels feature a 1-3/4" leg height and a continuous interlock for improved structural performance and wind resistance. A concealed-fastener clip system allows for thermal expansion/contraction while providing extraordinary hold-down strength. Two clips are available: a standard clip for most mansard and fascia applications, and a high-performance clip for roofing applications and UL 90-rated assemblies.

## TRIM

All flashing and trim shall be fabricated by manufacturer or qualified fabricator. Flashing shall be PAC-CLAD aluminum (.032 - .063 gauge as specified) or PAC-CLAD steel (24 gauge or 22 gauge as specified). A 35-year non-prorated finish warranty can be supplied covering finish performance. Minimum bending radius is 2T; consult rep for details. Vinyl masking is recommended on all fabrication applications where extra handling is expected. NOTE: The strippable film must be removed immediately after installation.

## INSTALLATION

Snap-Clad panels are intended for use in roofing, mansard and fascia applications. Substrates may include 5/8" (min.) plywood, nailboard insulation or equal with an underlayment of ice and water shield applied horizontally from eave to ridge. Other substrates may include metal decking or rigid insulation in conjunction with bearing plates. A minimum 2:12 pitch is recommended in most applications. Contact Petersen for assistance with details on projects requiring lower slopes. For coastal applications, aluminum panels along with stainless steel clips must be used for warranty. Consult a local architect/engineer for compliance with local codes and conditions.

## OIL CANNING

Jobsite factors such as temperature variation, unlevel substrate and/or improper installation may promote oil canning. Oil canning does not affect panel finish or structural integrity and therefore is not cause for rejection.

### PRODUCT FEATURES

- ▶ Architectural/structural panel
- ▶ Factory-applied sealant available
- ▶ Continuous interlock
- ▶ Labor-saving one-piece design
- ▶ Pencil ribs upon request
- ▶ Striations upon request
- ▶ 35-year non-prorated finish warranty
- ▶ Maximum factory-produced panel length varies by facility. Consult rep for details.
- ▶ Weathertightness warranty available

### MATERIAL

- ▶ 24 gauge steel
- ▶ 22 gauge steel
- ▶ Panels available in Galvalume Plus

▶ .032 aluminum

▶ .040 aluminum

### UL CLASSIFICATION

- ▶ UL-580 Class 90 wind uplift
- ▶ UL-1897 wind uplift
- ▶ UL-790 Class A fire rated
- ▶ UL-263 fire resistance rated
- ▶ UL-2218 impact resistance rated
- ▶ UL-90 rated aluminum panel up to 16" O.C.
- ▶ UL-90 rated steel panel up to 18" O.C.

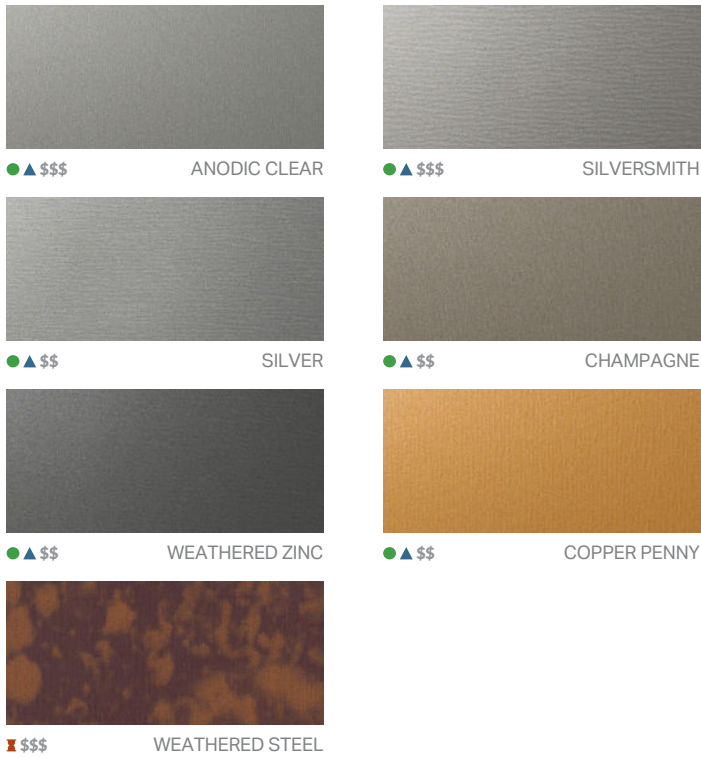
### ASTM TESTS

- ▶ ASTM E1592 tested
- ▶ ASTM E283/1680 tested
- ▶ ASTM E331/1646 tested

### FLORIDA BUILDING & MIAMI-DADE PRODUCT APPROVALS

Please refer to pac-clad.com or your local factory for specific product approval numbers for Snap-Clad.

# Premium Colors



# Timber Series Wood Grain

Available in 24 gauge steel and .032 aluminum



70% polyvinylidene fluoride (PVDF) pre-finished steel and aluminum for all architectural cladding applications

● Metallic Colors    \$ Pricing    ▲ Cool Colors    ✕ Extended Lead Time

See back for color performance and availability chart

# Standard Colors



IL: 800 PAC CLAD    TX: 800 441 8661    MD: 800 344 1400  
 AZ: 833 750 1935    GA: 800 272 4482    WA: 833 750 1935

# Performance and Availability

STANDARD COLORS	REFLECTIVITY	EMISSIVITY	3 YEAR EXPOSURE	SRI	STEEL			ALUMINUM			20-IN. COIL	
					24 GA.	22 GA.	.032	.040	.050	.063	24 GA.	.032
AWARD BLUE †	0.25	0.86	0.23	24	✓		✓					
BLACK (FKA BLACK ALUMINUM)	0.05	0.90	0.04	0	✓	✓	✓	✓	✓	✓	✓	✓
BONE WHITE	0.70	0.86	0.69	85	✓	✓	✓	✓	✓	✓	✓	✓
BURNISHED SLATE	0.32	0.86	0.31	33	✓						✓	
CARDINAL RED †	0.44	0.86	0.44	49	✓		✓				✓	✓
CHARCOAL	0.30	0.87	0.30	31	✓		✓	✓	✓		✓	✓
CITYSCAPE	0.05	0.87	0.50	57	✓	✓	✓	✓	✓		✓	✓
CLASSIC BRONZE * NEW	0.27	0.87	N/A	27	✓						✓	
COLONIAL RED	0.34	0.87	0.31	36	✓		✓	✓	✓		✓	✓
DARK BRONZE	0.27	0.86	0.29	26	✓	✓	✓	✓	✓	✓	✓	✓
FOREST GREEN	0.10	0.88	0.10	5	✓		✓	✓			✓	✓
GRANITE *	0.32	0.86	0.33	33	✓	✓	✓	✓	✓			✓
GRAPHITE	0.25	0.86	0.28	24	✓						✓	
HEMLOCK GREEN	0.31	0.87	0.30	32	✓		✓				✓	
INKWELL * NEW	0.27	0.86	N/A	26	✓						✓	
INTERSTATE BLUE	0.16	0.87	0.15	12	✓		✓		✓		✓	✓
IRON ORE NEW	0.27	0.87	N/A	27	✓		✓	✓	✓		✓	✓
MANSARD BROWN	0.31	0.87	0.31	32	✓		✓	✓	✓		✓	✓
MEDIUM BRONZE	0.30	0.88	0.29	31	✓	✓	✓	✓	✓	✓	✓	✓
MIDNIGHT BRONZE	0.06	0.90	0.06	1	✓			✓			✓	
MUSKET GRAY	0.32	0.87	0.31	33	✓	✓	✓		✓		✓	✓
PACIFIC BLUE (fka SLATE BLUE)	0.28	0.87	0.27	28	✓		✓				✓	✓
SANDSTONE	0.48	0.87	0.48	55	✓	✓	✓	✓	✓	✓		
SIERRA TAN	0.38	0.85	0.31	40	✓	✓	✓	✓	✓		✓	✓
SLATE GRAY	0.41	0.87	0.37	45	✓	✓	✓	✓	✓		✓	✓
STONE WHITE	0.69	0.86	0.67	84	✓	✓	✓	✓	✓	✓		
TERRA COTTA	0.35	0.87	0.33	37	✓		✓	✓		✓		✓
TRADITIONAL BLACK * NEW	0.28	0.87	N/A	28	✓		✓				✓	✓
<b>EXTENDED LEAD TIME</b>												
AGED BRONZE	0.29	0.87	0.27	29	✓						✓	
ALMOND	0.63	0.85	0.55	75	✓	✓	✓	✓	✓			
ANTIQUE BRONZE NEW	0.28	0.86	N/A	27	✓		✓	✓			✓	✓
BERKSHIRE BLUE *	0.29	0.86	0.27	29	✓							
BUCKSKIN NEW	0.37	0.86	N/A	39	✓						✓	✓
BURGUNDY	0.24	0.86	0.13	22	✓						✓	
HARTFORD GREEN	0.08	0.88	0.08	3	✓			✓			✓	
MILITARY BLUE	0.31	0.87	0.30	32	✓		✓				✓	✓
ONYX (fka MATTE BLACK STEEL)	0.26	0.85	0.25	24	✓	✓					✓	
PATINA GREEN	0.33	0.86	0.32	34	✓							
WEATHERED STEEL 🏰	0.26	0.86	N/A	25	✓							
<b>PREMIUM COLORS</b>												
ANODIC CLEAR 🏰	0.53	0.81	0.31	60				✓				
CHAMPAGNE 🏰	0.40	0.78	0.49	40	✓		✓	✓	✓			✓
COPPER PENNY 🏰	0.50	0.86	0.52	57	✓		✓	✓	✓		✓	✓
SILVER 🏰	0.47	0.82	0.46	52	✓	✓	✓	✓	✓		✓	✓
SILVERSMITH 🏰	0.54	0.81	0.32	61				✓				
WEATHERED ZINC 🏰	0.24	0.83	0.46	21	✓		✓		✓		✓	✓
<b>CLEAR-COAT ACRYLIC FINISH (NON-PVDF)</b>												
GALVALUME PLUS	0.68	0.14	0.55	57	✓	✓					✓	

PAC-CLAD Premium finishes are available from stock at a moderate extra cost. PAC-CLAD Copper Penny is a Non-Weathering finish. Solar Reflectance Index calculated according to ASTM E-1980. Reflectivity and solar reflectance index (SRI) values are provided by Sherwin-Williams®.

\* Low Gloss/Low Sheen, 70% PVDF finish † 10-year finish warranty 🏰 Premium Colors

**TECHNICAL DATA FOR 70% PVDF COATING:**

- ▶ South Florida Exposure: Color (ASTM D 2244) - No more than 5ΔE Hunter units at 20 years; Chalk (ASTM D 4214) - Rating no less than 8 at 20 years; Film integrity - 20 years.
- ▶ Accelerated Weathering (ASTM D 4587, ASTM G 154): 5000 Hours; Chalk, per ASTM D 4214, rating of 6 or better; Color, per ASTM D 2244, < 5ΔE (Hunter Units) color change.
- ▶ Chemical/Acid Pollution Resistance (ASTM D 1308): Pass

- ▶ T-Bend (ASTM D 4145): 1T - 3T with no loss of adhesion
- ▶ Humidity Resistance (ASTM D 2247): Galvalume or HDG, 100% RH, 2000 hours - No field blisters; Aluminum, 100% RH, 3000 hours - No field blisters
- ▶ Salt Spray Resistance (ASTM B 117): Aluminum: 3000 hours, creep from scribe no more than 1/16" (2mm), no field blisters. Galvalume or HDG: 2000 hours, creep from scribe no more than 1/8" (4mm), no field blisters

- ▶ Pencil hardness (ASTM D 3363): HB - 2H
- ▶ Specular Gloss (ASTM D 523) @ 60 degrees: Typical - 20 - 35
- ▶ Abrasion Resistance (ASTM D 968): 80 Liters/Mil +/- 5 Liters
- ▶ Cross Hatch Adhesion (ASTM D 3359): No loss of adhesion
- ▶ Reverse Impact (ASTM D 2794): Galvalume or HDG, 2x metal thickness inch-pounds, no loss of adhesion; Aluminum, 1.5x metal thickness inch-pounds, no loss of adhesion
- ▶ Flame Test (ASTM E 84): Class A Coating

PAC-CLAD® is a registered trademark of Petersen Aluminum Corp. The PAC-CLAD finish is 70% polyvinylidene fluoride (PVDF). Sherwin-Williams® is a trademark of SWIMC LLC. Galvalume Plus® is a registered trademark of BIEC International. 10/25





# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
 TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
 CATALOG #: \_\_\_\_\_

## FEATURES

- 4" architectural LED downlight and wall wash cylinder delivering 600 up to 3500 lm
- Five beam distributions from 0.3 to 1.2 Spacing Criteria
- Quiet reflector appearance with 50° optical cutoff
- 2700K–5000K, 80+ and 90+ CRI options
- Available in Surface, Wall, Pendant, or Cord Mount configurations
- Versatile canopy options for recessed and surface-mounted J-box applications
- Variety of dimming protocol options including 0–10V, DALI, DMX, and Lutron EcoSystem



## CONTROL TECHNOLOGY



## SPECIFICATIONS

### CONSTRUCTION

- Seamless heavy gauge aluminum cylinder body with a clean appearance
- Available in Surface (S), Wall (W), Pendant (P), or Cord (CM) mounting types
- Canopy options include Conduit Canopy (CC), Power Canopy (PC), Power Conduit Canopy (PCC), or Recessed Mount Driver (RMD), (See Dimensions section for details)
- For S or CM with CC or PCC options, and P with standard, CC or PCC canopy options, use 4" octagonal junction box (by others).
- All Wall Mount: Die cast aluminum mounting arm allows direct mounting to standard 4" octagonal or square junction box
- Pendant mount with standard canopy allows sloped ceiling up to 45°, and P with CC or PC or PCC allows sloped ceiling up to 35° (5° for RMD)
- Select from 4 standard architectural painted finishes, Brushed Aluminum, or specified custom color

### OPTICS

- Visually pleasing 50° cutoff to source and source image
- The light distribution is free of distracting bright spots or pixelation and the perimeter has a smooth transition
- Optical grade silicone lens integral to light engine
- High purity spun aluminum reflector, self-flanged
- Large selection of anodized finishes and colors
- Painted cones and flange options available

### ELECTRICAL

- Chip-on-board (COB) LED with 2 SDCM
- Multiple CCTs, 80+ or 90+ CRI
- Long LED life: L90 at 55,000 (TM-21)
- Universal voltage 120V–277V driver, 347V optional

### ELECTRICAL (CONTINUED)

- UL Class 2, inherent short circuit and overload protection
- Flicker free 0–10V dimming with 1% or <1% performance
- DALI, DMX, and Lutron EcoSystem options
- NX Lighting Controls provides options for standalone and networked functionality with wired or wireless connectivity for NX system deployments
- Lutron Athena control options also available

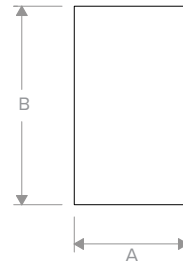
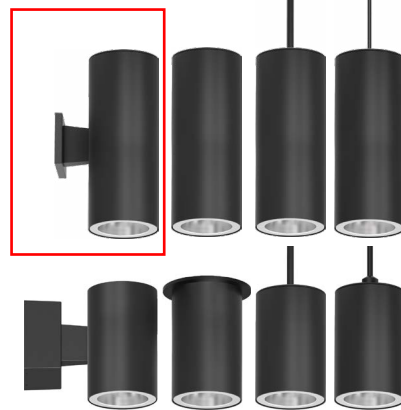
### INSTALLATION

- Light Engine/Trim assembly is mechanically secured with torsion springs for ease of installation
- A quick connect is provided for easy maintenance or upgrade
- Recessed Mount Driver (RMD) is accessible from above or below ceiling; assembly mounts with ¼-20 threaded rod (by others) and requires 6" plenum clearance
- Conduit Canopy options (CC or PCC) allow field selectable conduit entry (up to 4@ 90°) (See Dimensions section)
- Conduit Canopies utilize a patent pending mounting yoke to secure cylinder to the ceiling surface
- Cord can be cut in the field to custom length
- Standard and Custom Pendant lengths available (specify when ordering)

### CERTIFICATIONS

- cCSAus certified to UL 1598
- Cylinder configurations suitable for either damp or wet locations. (See ADDITIONAL INFORMATION section for details.)

## LITEISTRY™



Typical Dimensions and Weights			
Lumen Package	"A" Diameter Inches (mm)	"B" Height Inches (mm)	Weight lbs (kg)
06L–15L	5.6 (140)	14 (356)	19.4 (8)
20L–30L	5.6 (140)	14 (356)	19.8 (9)
35L	5.6 (140)	14 (356)	20.3 (9)

See DIMENSIONS section for complete details

### CERTIFICATIONS (CONTINUED)

- EM: Certified under UL924 standard for emergency lighting and power equipment
- EM: Emergency battery packs are California Energy Commission (CEC) Title 20 Compliant
- For -BAA Option: This product meets federal procurement law requirements under the Buy American Act (FAR 52.225-9). [See Buy American\(n\) Solutions](#)
- For -TAA Option: Product configurations meet federal procurement law requirements under the Trade Agreements Act (FAR 52.225-11). [See Buy American\(n\) Solutions](#)

### WARRANTY

- 5 year warranty

KEY DATA	
Lumen Range	600-3500
Wattage Range	8-43
Efficacy Range (LPW)	90–99*
Reported Life (Hours)	L90 / >55,000
Input Current (mA)	67-345 (120V)

\*Based on Specular, 35K, 80 CRI

# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_

TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_

CATALOG #: \_\_\_\_\_

## ORDERING GUIDE

Example: LTC-4RD-CM15WHPCC-15L35K9WD-DM1-SS-WH

CATALOG # \_\_\_\_\_

LTC-4RD		Aperture/Shape/Function	Cylinder Mounting	Canopy Option	Lumen Output	CCT	CRI
LTC-4RD	4" Round Downlight Cylinder		<b>S</b> Surface	Refer to chart on Page 3 for available canopy options based on driver/controls selection	<b>06L</b> 600 Lumens <sup>3</sup>	<b>27K</b> 2700K	<b>8</b> 80+ CRI
LTC-4RDS	4" Round Shallow Downlight Cylinder		<b>W</b> Wall			<b>10L</b> 1000 Lumens <sup>3</sup>	<b>30K</b> 3000K
LTC-4RW	4" Round Wall Wash Cylinder		<b>P</b> Pendant (Standard) Nominal 18" length from cylinder top to ceiling <sup>10</sup>	<i>Standard Canopy</i> <sup>3,9</sup>	<b>15L</b> 1500 Lumens <sup>3</sup>	<b>35K</b> 3500K	
LTC-4RWS	4" Round Shallow Wall Wash Cylinder		<b>P_</b> Pendant (Custom) Specify length from cylinder top to ceiling in 1 inch increments from 15 to 60 <sup>10</sup>	<b>CC</b> Conduit Canopy <sup>3,9</sup>	<b>20L</b> 2000 Lumens <sup>3</sup>	<b>40K</b> 4000K	
			<b>Cord</b> <sup>5</sup>	<b>PC</b> Power Canopy <sup>3,9</sup>	<b>25L</b> 2500 Lumens <sup>3</sup>	<b>50K</b> 5000K <sup>1</sup>	
			<b>CM</b> 6ft Clear Cord	<b>PCC</b> Power Conduit Canopy <sup>3,9</sup>	<b>30L</b> 3000 Lumens <sup>3,8</sup>		
			<b>CMBL</b> 6ft Black Cord	<b>RMD</b> Recessed Mount Driver <sup>3,9</sup>	<b>35L</b> 3500 Lumens <sup>3,8</sup>		
			<b>CMWH</b> 6ft White Cord				
			<b>CM15</b> 15ft Clear Cord				
			<b>CM15BL</b> 15ft Black Cord				
			<b>CM15WH</b> 15ft White Cord				

Distribution	Driver Options	Control Options	Voltage	Options	Reflector Finish	Reflector Color
<b>VNR</b> Very Narrow (0.3 SC/20°) <sup>12</sup>	<b>DM1</b> 0-10V Dimming to 1% <sup>3</sup>	<b>NX Lighting Controls</b> <u>Networked Wireless</u>	<i>Standard</i> 120-277V	<b>EM</b> 6W Emergency Battery Pack (CEC Title 20 Compliant) with integral test switch and indicator light, self-diagnostic feature <sup>3,13,14</sup>	<i>Finish not applicable with painted reflectors (WC or BC)</i>	<i>Standard Semi-Spec</i>
<b>NR</b> Narrow (0.4 SC/29°)	<b>DM01</b> 0-10V Dimming to <1% <sup>3</sup>	<b>NXW</b> NX Networked Wireless Radio Module NXRM2 and Bluetooth® Programming, without Sensor <sup>2,3,7</sup>	<b>34</b> 347V <sup>3,6</sup>	<b>EMC</b> Emergency Battery pack (CEC Title 20 Compliant) with canopy mounted test switch assembly, self-diagnostic feature <sup>3,13,16</sup>	<b>S</b> Specular	<b>LW</b> Light Wheat <sup>18</sup>
<b>MD</b> Medium (0.7 SC/44°)	<b>DMX</b> DMX with RDM Dimming to <0.1% <sup>3,7</sup>	<u>Networked Wired</u>			<b>SS</b> Semi-Specular	<b>PW</b> Pewter <sup>18</sup>
<b>WD</b> Wide (0.9 SC/61°)	<b>DALI</b> DALI Dimming to 1% <sup>3</sup>	<b>NXE</b> NX Wired Enabled, Dual RJ45 SmartPORTS, without Sensor <sup>2,3,7</sup>			<b>MFC</b> American Matte™	<b>WC</b> Painted Matte White Cone and Flange
<b>XW</b> Extra Wide (1.2 SC/78°)	<b>EDM</b> Lutron Hi-Lume EcoSystem Dimming to 1% <sup>3</sup>	<b>Other Lighting Controls</b> <u>Networked Wireless</u>			<b>VS</b> Softglow®	<b>BC</b> Painted Matte Black Cone and Flange
<b>WW</b> Wall Wash <sup>8,14</sup>	<b>DM00</b> Lutron Athena compatible driver option <sup>3,15</sup>	<b>AWN</b> Lutron Athena Enabled <sup>3,7,15</sup>			<b>VSS</b> SoftSheen™	

**Notes:**

- 5000K available in 80+ CRI only.
- NX requires DM1 driver option.
- For lumen outputs/configurations available, see chart on page 3.
- WT not needed for WC, BT not needed for BC.
- Cord can be cut in the field to custom length.
- 347V requires DM1 driver; not available with Controls or EM.
- Standard S, P, CM with DMX or controls options require RMD, (PC or PCC highly recommended), see Dimensions section for details.
- 30L and 35L require vented cylinder. Not available with WW.
- See Dimensions section for canopy configuration details.
- Stem length varies by canopy configuration. See Dimensions section for details.
- Canopy and metal accent color for Brushed Aluminum is Black.
- VNR available up to 30L.
- EM for use with DM1 driver option only. Not available with Controls.
- EM and EMC not available with WW.
- DM00 must be selected with AWNR Lutron Athena controls option.
- EMC available only with PC & PCC canopy option.
- For BAA and TAA options, please consult factory for lead times.
- Only available in SS Semi-Specular reflector finish.

Flange Color Options	Exterior Cylinder Color	Options
<i>Standard matches reflector color</i>	<b>BA</b> Brushed Aluminum <sup>11</sup>	<b>BAA</b> Buy American Act (FAR 52.225-9) Compliant <sup>17</sup>
<b>WT</b> Matte White Flange <sup>4</sup>	<b>BZ</b> Bronze	<b>TAA</b> Trade Agreements Act (FAR 52.225-11) Compliant <sup>17</sup>
<b>BT</b> Matte Black Flange <sup>4</sup>	<b>BL</b> Matte Black	
	<b>WH</b> Matte White	
	<b>SVR</b> Silver	
	<b>CC_</b> Custom Color (Specify RAL#, Example: CCRAL1073)	
	<b>TCC_</b> True Custom Color (Specify description, Example: TCC BABY BLUE, Paint chip must be provided to match)	

# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

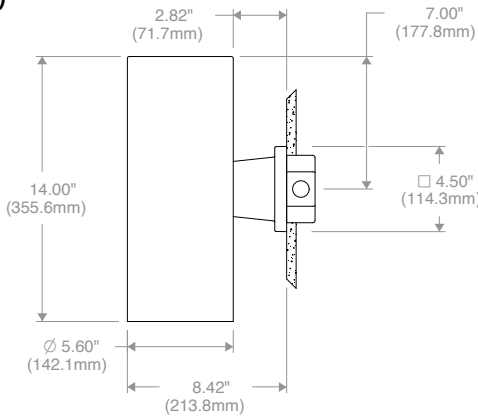
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TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_

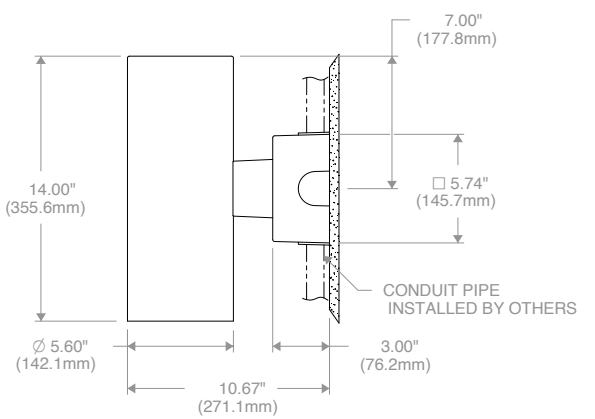
CATALOG #: \_\_\_\_\_

## DIMENSIONS

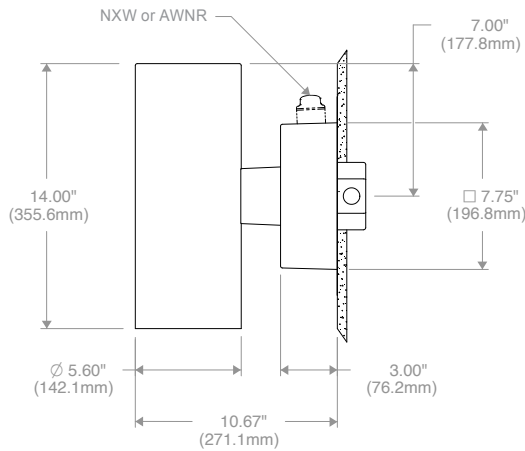
### LTC-4RD (14" CYLINDER BODY) WALL (W)



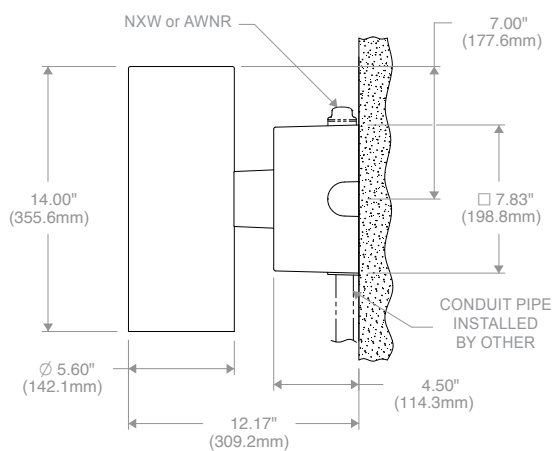
**Wall  
(Standard Canopy)  
W**



**Wall  
Conduit Canopy  
WCC**

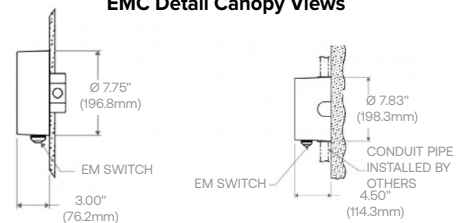


**Wall  
Power Canopy  
WPC**



**Wall  
Power Conduit Canopy  
WPCC**

### EMC Detail Canopy Views



**WPC-EMC**

**WPCC-EMC**

# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

## PHOTOMETRY

### LTC-4RD-P-20L35K8VNR-DM1-S-BL

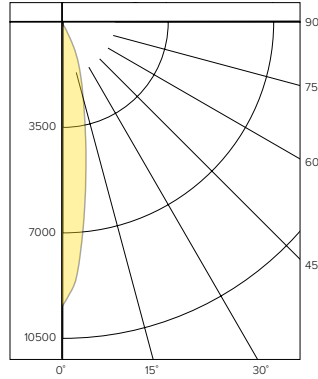
#### LUMINAIRE DATA

Test No.	R20.01331-C01
Description	2000 lm, Very Narrow, 3500K, 80 CRI
Delivered Lumens	2032
Watts	22.4W
Efficacy	91
Mounting	Pendant
Spacing Criterion	0.3
Beam Angle (FWHM)	20

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2011	99.0
0-60	2032	100.0
0-90	2032	100.0
0-180	2032	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	9388
5	7360
15	2780
25	1073
35	198
45	20
55	0
65	0
75	0
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	3489
55°	0
65°	0
75°	0
85°	0

\*Candela/Square Meter

### LTC-4RD-P-20L35K8NR-DM1-S-BL

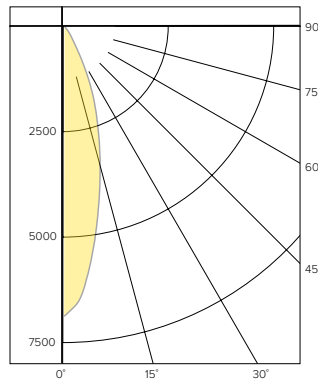
#### LUMINAIRE DATA

Test No.	R19.00532-01
Description	2000 lm, Narrow, 3500K, 80 CRI
Delivered Lumens	2238
Watts	22.5W
Efficacy	99.3
Mounting	Pendant
Spacing Criterion	0.4
Beam Angle (FWHM)	29

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2208	98.6
0-60	2237	99.9
0-90	2238	100.0
0-180	2238	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	6877
5	6035
15	3284
25	1313
35	260
45	26
55	3
65	1
75	0
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	4535
55°	645
65°	292
75°	0
85°	0

\*Candela/Square Meter

### LTC-4RD-P-20L35K8MD-DM1-S-BL

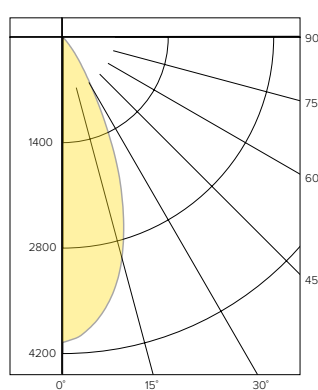
#### LUMINAIRE DATA

Test No.	R19.00533-01
Description	2000 lm, Medium, 3500K, 80 CRI
Delivered Lumens	2152
Watts	22.5W
Efficacy	95.6
Mounting	Pendant
Spacing Criterion	0.7
Beam Angle (FWHM)	44

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	2113	98.2
0-60	2151	99.9
0-90	2152	100.0
0-180	2152	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	4053
5	3893
15	3037
25	1493
35	366
45	34
55	3
65	1
75	0
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	5931
55°	645
65°	292
75°	0
85°	0

\*Candela/Square Meter

# LTC-4RDW

LITEISTRY 4" ROUND CYLINDER

## PHOTOMETRY CONTINUED

### LTC-4RD-P-20L35K8WD-DM1-S-BL

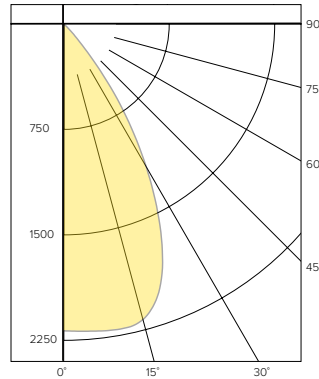
#### LUMINAIRE DATA

Test No.	R19.00534-01
Description	2000 lm, Wide, 3500K, 80 CRI
Delivered Lumens	2059
Watts	22.5W
Efficacy	91.6
Mounting	Pendant
Spacing Criterion	0.9
Beam Angle (FWHM)	61

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1983	96.3
0-60	2056	99.8
0-90	2059	100.0
0-180	2059	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	2201
5	2210
15	2051
25	1504
35	692
45	169
55	10
65	3
75	1
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	11338
55°	1075
65°	584
75°	477
85°	0

\*Candela/Square Meter

### LTC-4RD-P-20L35K8XW-DM1-S-BL

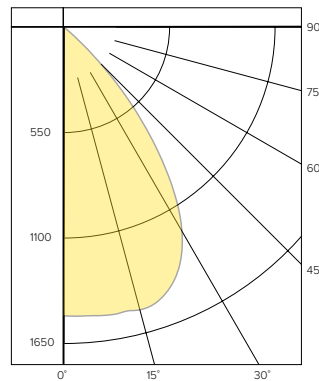
#### LUMINAIRE DATA

Test No.	R19.00535-01
Description	2000 lm, Extra Wide, 3500K, 80 CRI
Delivered Lumens	2028
Watts	22.5W
Efficacy	90.2
Mounting	Pendant
Spacing Criterion	1.2
Beam Angle (FWHM)	78

#### ZONAL LUMEN SUMMARY

Zone	Lumens	% Luminaire
0-40	1794	88.5
0-60	2025	99.8
0-90	2028	100.0
0-180	2028	100.0

#### POLAR GRAPH



#### CANDELA DISTRIBUTION

Degree	Candela
0	1235
5	1252
15	1392
25	1454
35	1010
45	256
55	6
65	2
75	1
85	0
90	0

#### LUMINANCE DATA\*

Vertical Angle	Average
45°	44656
55°	1290
65°	584
75°	231
85°	477

\*Candela/Square Meter

#### LUMEN MULTIPLIER

Option	27K8	30K8	35K8	40K8	50K8	27K9	30K9	35K9	40K9
Multiplier	0.94	0.98	1.00	1.01	1.02	0.81	0.84	0.85	0.85

Photometrics are published below at a nominal 3500 Kelvin, 80+ CRI. This table may be used to approximate the lumen values at different Kelvin temperatures. Power consumption would stay the same.

#### REFLECTOR FINISH MULTIPLIER (BASED ON CLEAR (STANDARD) COLOR)

Option	Specular (S)	Semi-Specular (SS)	American Matte (MFC)	Softglow (VS)	Softsheen (VSS)
Multiplier	1	1	0.984	0.888	0.938

#### REFLECTOR COLOR MULTIPLIER (BASED ON SEMI-SPECULAR (SS) FINISH)

Option	Clear (Standard)	Light Wheat (LW)	Pewter (PW)	White Cone (WC)	Black Cone (BC)
Multiplier	1	.861	0.915	0.984	0.442

Multiply FINISH xCOLOR to calculate other reflector finish and color combinations. Example: SoftGlow Pewter (VSPW) = 0.888 (VS) x 0.915 (PW) = 0.813

Wall luminaire · Light emission on one side

**Application**

This wall mounted luminaire has light output in one direction. Arranged individually or in groups, it is a great design element for a host of lighting applications. Downward orientation only.

**Materials**

Clear safety glass with matte finish  
 Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
 High temperature silicone gasket  
 Mechanically captive stainless steel fasteners

**NRTL** listed to North American Standards, suitable for wet locations  
 Protection class IP 65

**Weight:** 4.2 lbs.

**Electrical**

Operating voltage 120-277VAC  
 Minimum start temperature -30° C  
 LED module wattage 15.4 W  
 System wattage 20.5 W  
 Controllability 0-10V, TRIAC, and ELV dimmable  
 Color rendering index Ra > 80  
 Luminaire lumens 1024 lm  
 LED service life (L70) 60000hrs

**LED color temperature**

- 4000K (K4)
- 3500K (K35)
- 3000K (K3)
- 2700K (K27)

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL, custom, and premium colors provided in polyester powder and/or liquid paint.

**Available colors**

- Black (BLK)
- Silver (SLV)
- Natural Bronze (NTB)
- CUS:
- Bronze (BRZ)
- White (WHT)
- RAL:

Type:

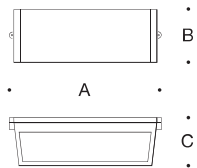
BEGA Product:

Project:

Modified:

**Available options**

- AMB Amber LED
- CUS Custom finish
- FSC Fusing
- MGU Marine grade undercoat
- NTB Natural bronze (premium finish)
- RAL RAL Classic, matte finish



Wall luminaire · Light emission on one side

	LED	A	B	C
<b>B22360</b>	15.4 W	12 <sup>1</sup> / <sub>2</sub>	4 <sup>3</sup> / <sub>8</sub>	4

**Compact floodlight · Very narrow beam**

**Application**

Compact floodlight with mounting canopy for direct mounting to horizontal or vertical surfaces. Designed to illuminate architectural features, signage, landscaping, or to provide general illumination in a space. Pair with a variety of optical accessories.

**Materials**

Clear safety glass  
 Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy  
 High temperature silicone gasket  
 Mechanically captive stainless steel fasteners  
 Pure anodized aluminum reflector  
 Silicone optic with excellent high temperature and UV stability  
 Composite concentric ring louver

**NRTL** listed to North American Standards, suitable for wet locations  
 Protection class IP 65

**Weight:** 5.1 lbs.

**EPA (Effective projection area):** 0.3 sq. ft.

**Electrical**

Operating voltage 120-277VAC  
 Minimum start temperature -30° C  
 LED module wattage 12.5W  
 System wattage 15.0W  
 Controllability 0-10V, TRIAC, and ELV dimmable  
 Color rendering index Ra > 80  
 Luminaire lumens 1132lm  
 LED service life (L70) 60000hrs

**LED color temperature**

- 4000K (K4)
- 3500K (K35)
- 3000K (K3)
- 2700K (K27)

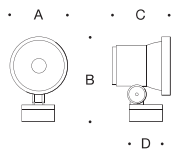
**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL, custom, and premium colors provided in polyester powder and/or liquid paint.

**Available colors**

- Black (BLK)
- Silver (SLV)
- Natural Bronze (NTB)
- CUS:
- Bronze (BRZ)
- White (WHT)
- RAL:



**Compact floodlight · Very narrow beam**

	LED	β	A	B	C	D
<b>B77700</b>	12.5W	9°	6 1/4	8 7/8	6 1/2	3 7/8

Type:

BEGA Product:

Project:

Modified:

**Available options**

- B70076 Elliptical spread lens
- B70720 Glare shield · 360°
- B70757 Glare shield · 180°
- CUS Custom finish
- MGU Marine grade undercoat
- NTB Natural bronze (premium finish)
- RAL RAL Classic, matte finish





906 STUDIO, PLLC  
249 4TH AVENUE N  
SUITE 200  
FRANKLIN, TN 37064  
615.988.9065  
906studio.com

## WHITMORE RESIDENCE

109 7th Avenue N

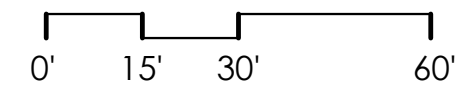
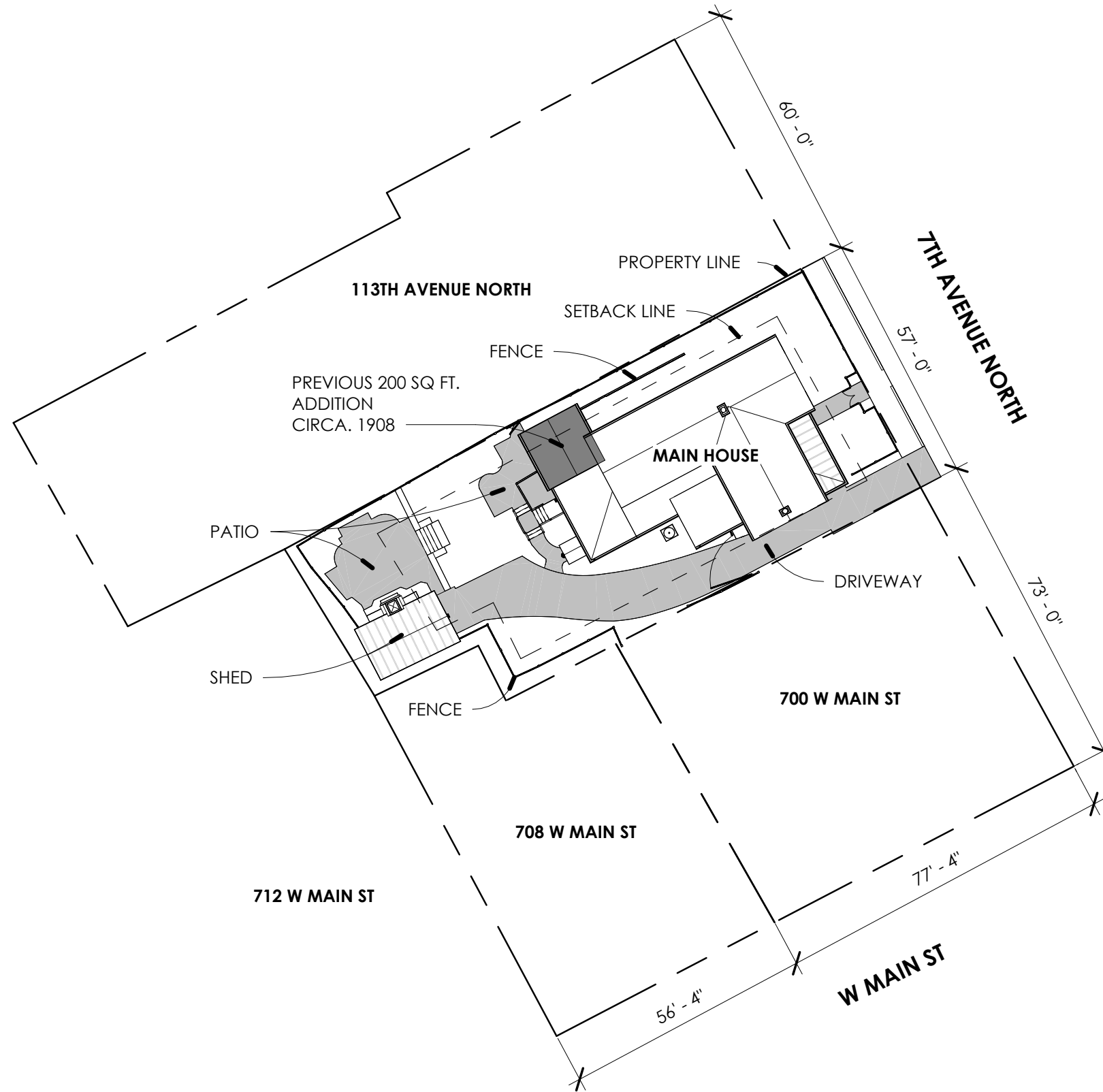
109 7th Ave N Franklin, TN 37064, USA

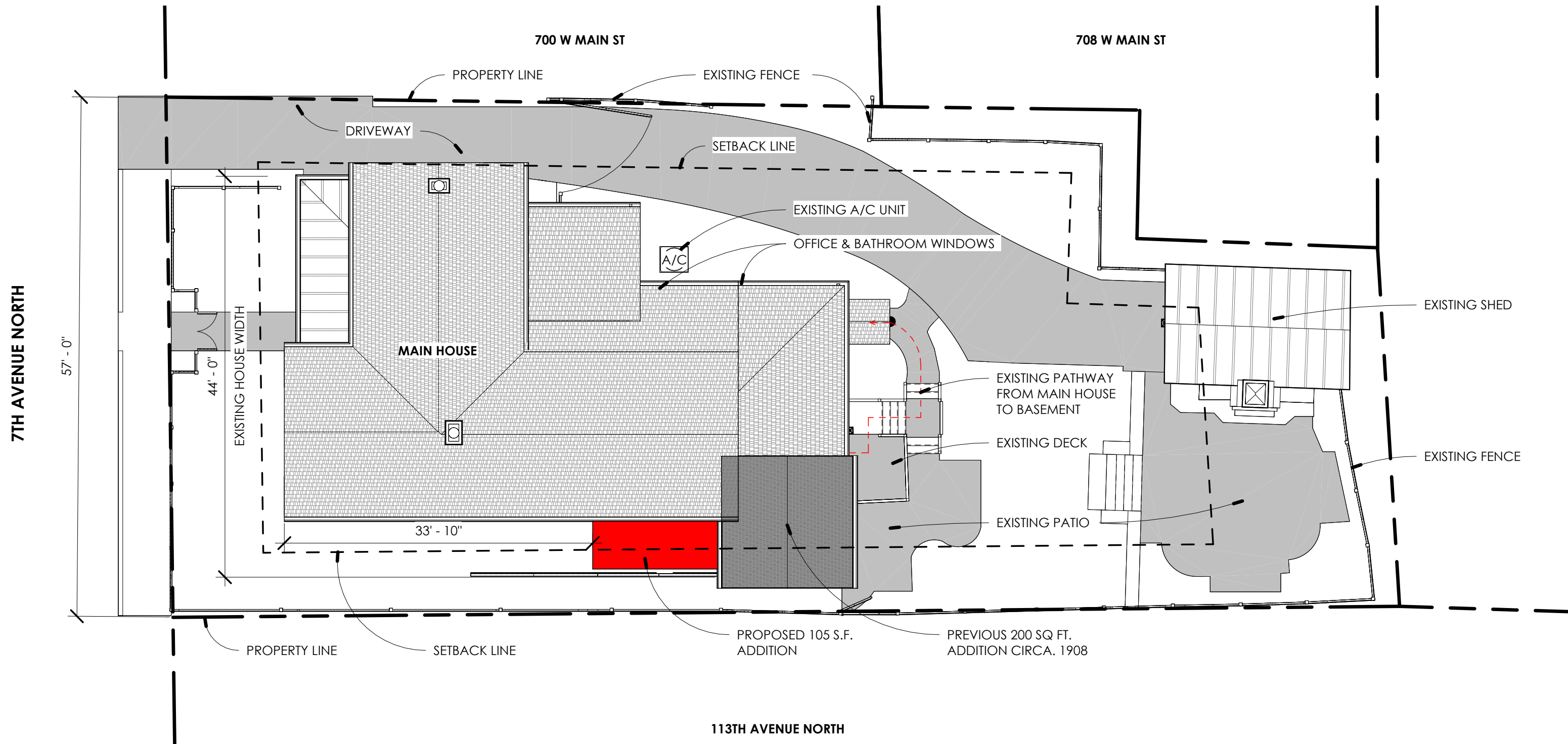
04/13/26

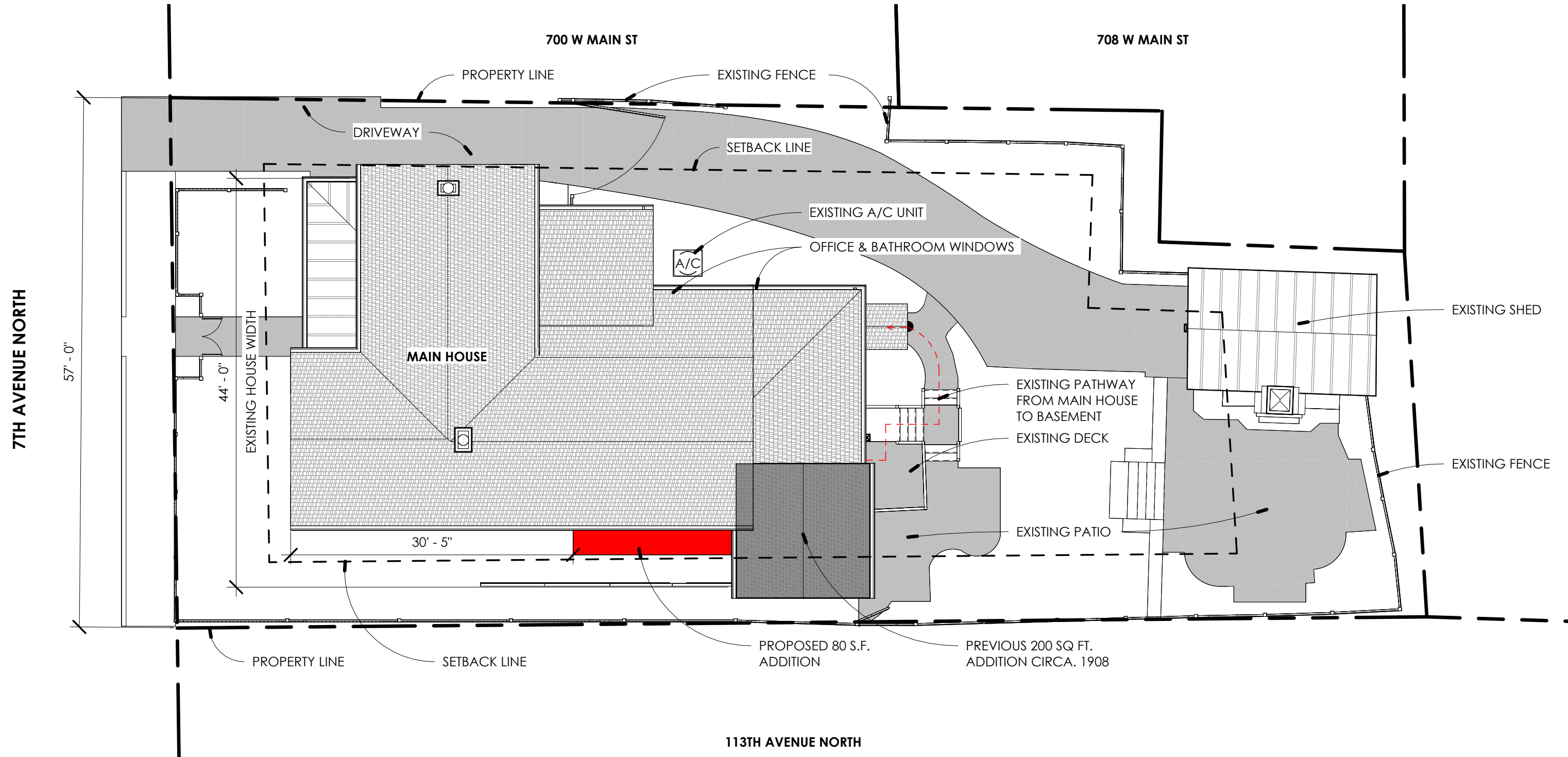
**PROPERTY INFORMATION:**

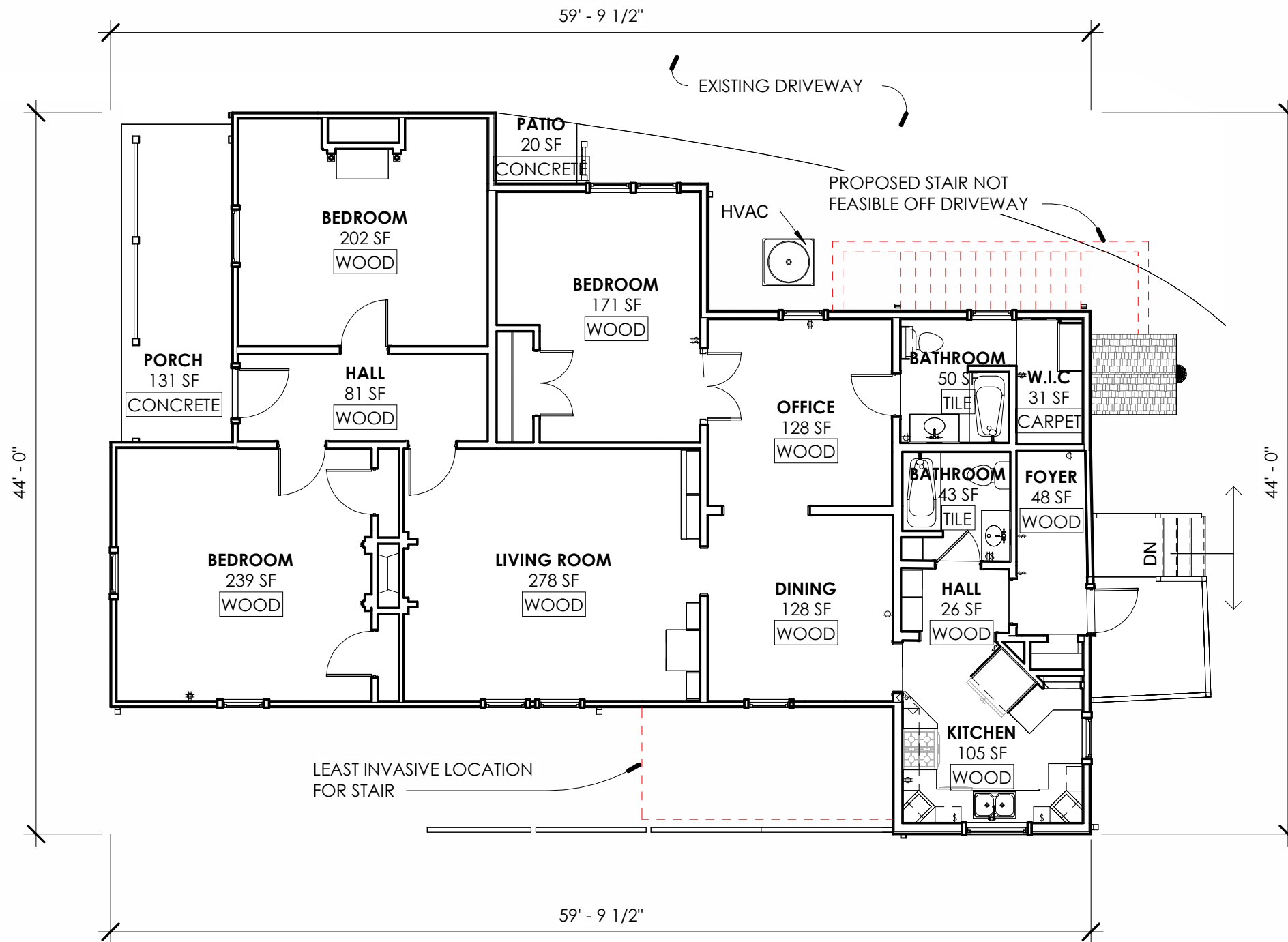
- BUILT IN 1892
- R-4 ZONING, CENTRAL FRANKLIN OVERLAY, HISTORIC PRESERVATION OVERLAY
- 7,029 S.F. LOT
- EXISTING IMPERVIOUS: 4,492 S.F. (63.91%)
- PROPOSAL TO REPLACE PATIO AND/OR DRIVEWAY WITH PERMEABLE PAVERS TO REDUCE IMPERVIOUS S.F.

- APPROX. 200 SQ FT ADDITION ADDED TO REAR OF HOME PRIOR TO 1908

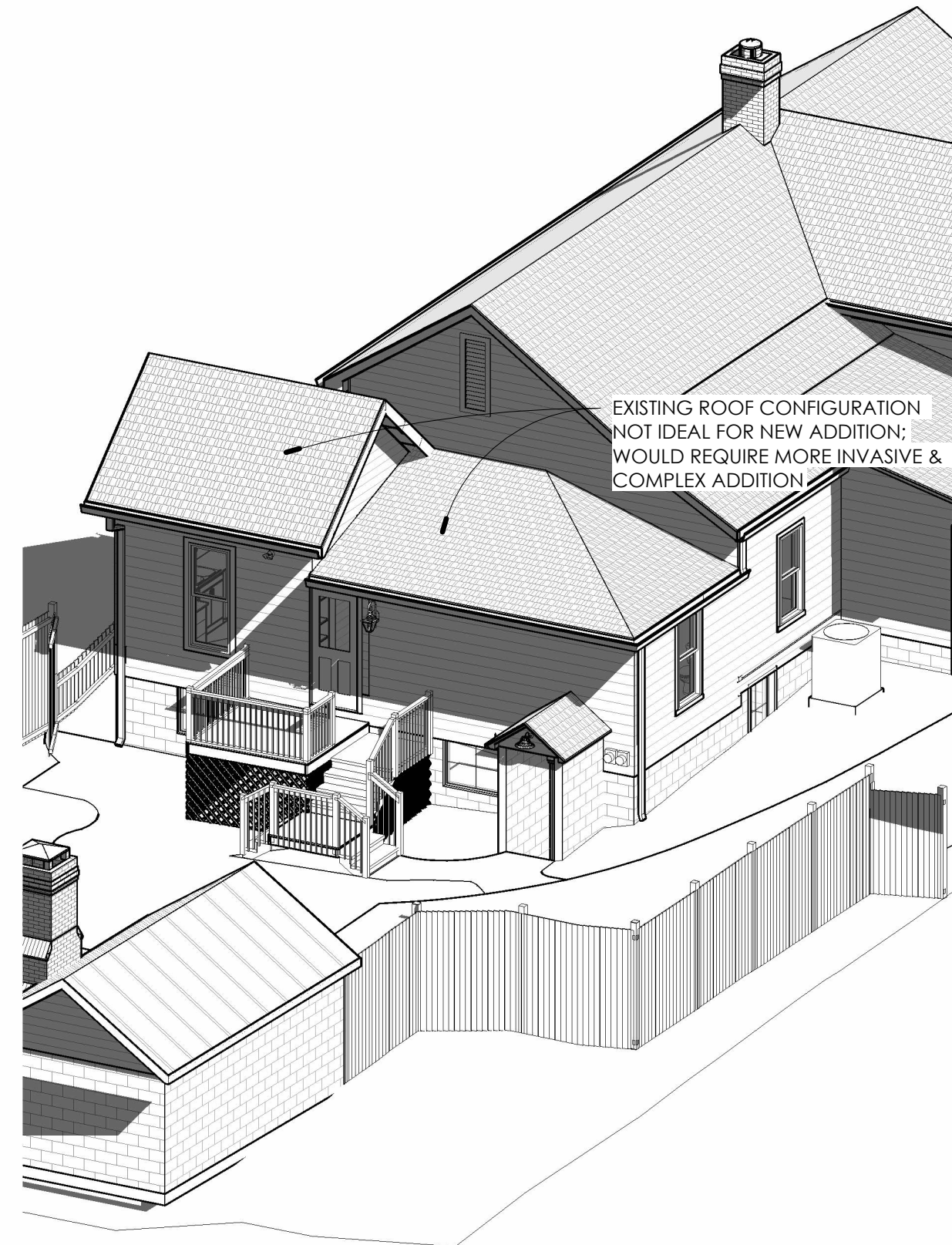




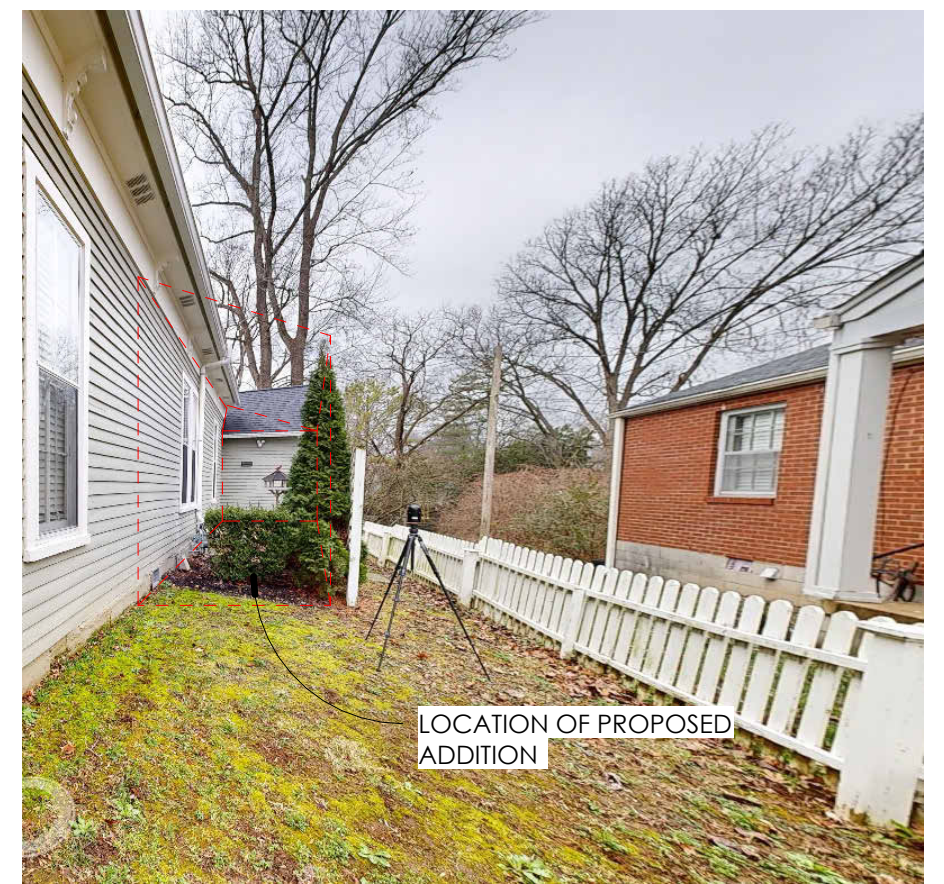
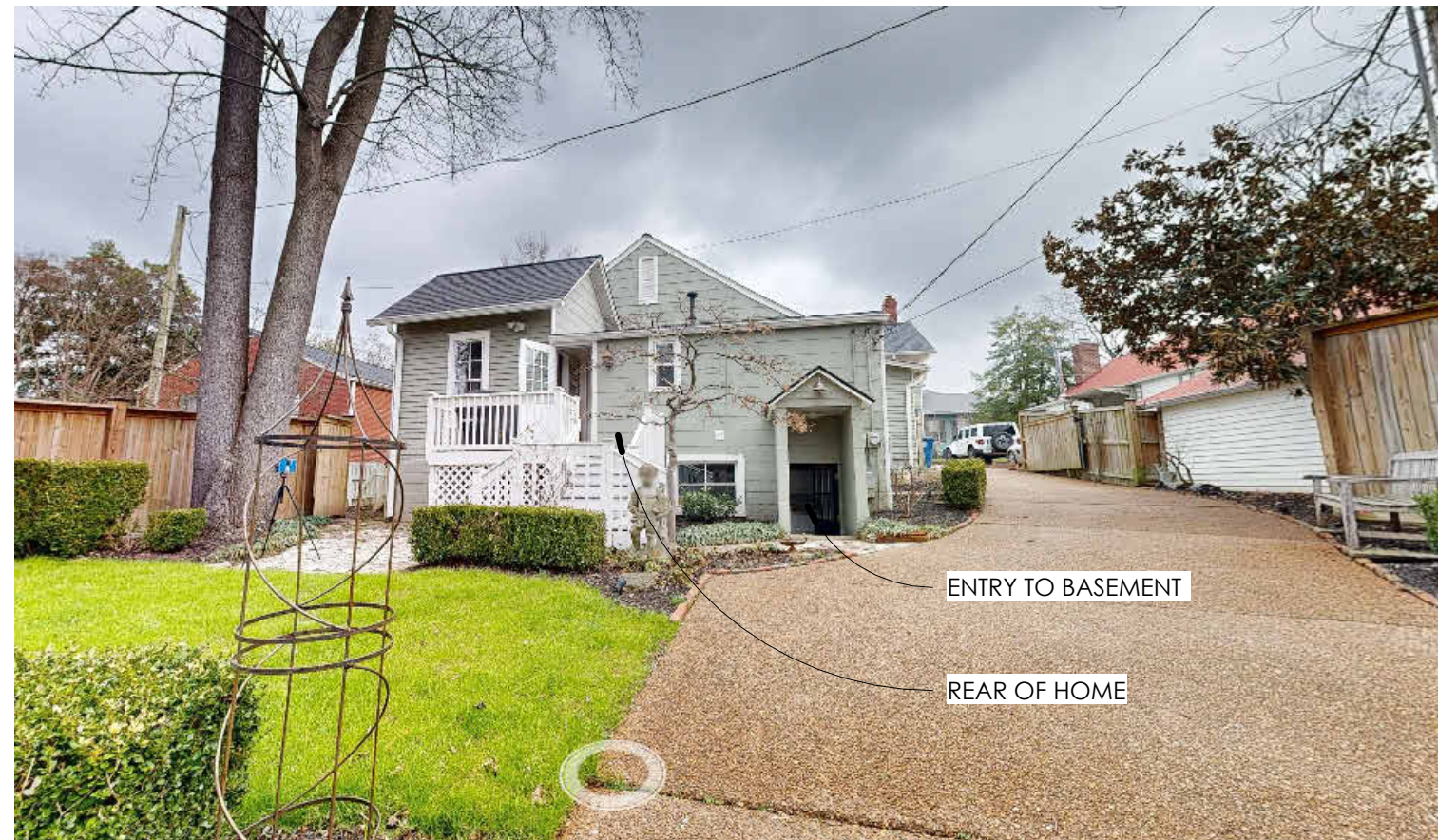


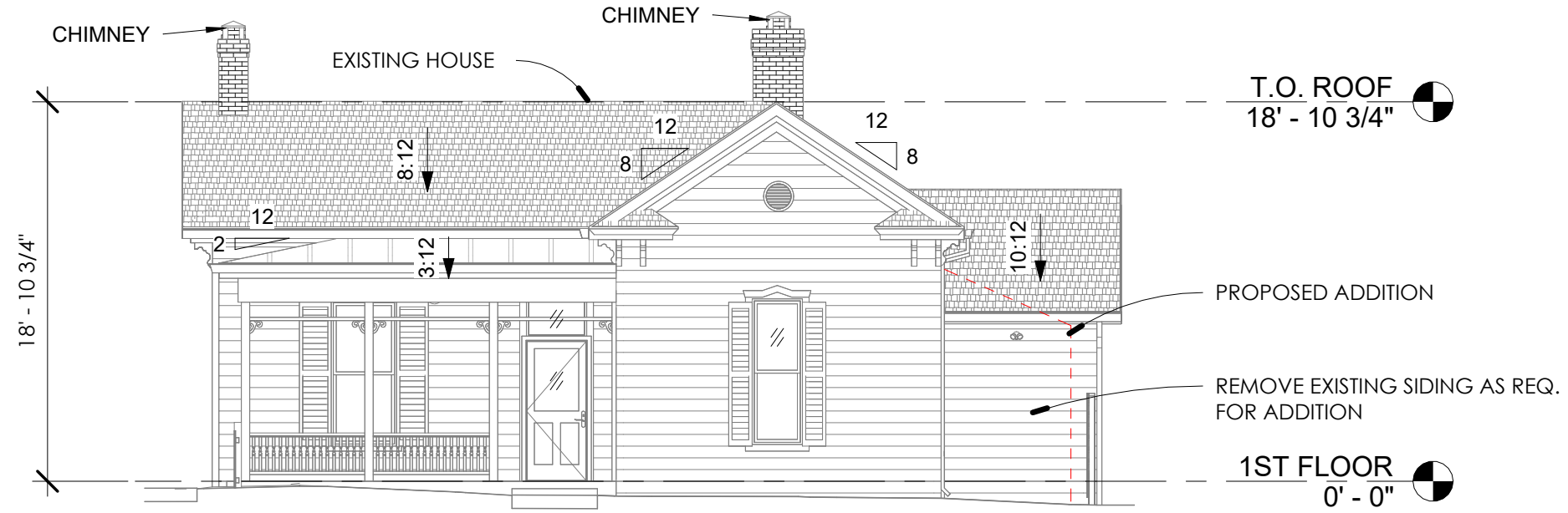


EXISTING FIRST FLOOR PLAN  
1/8" = 1'-0"



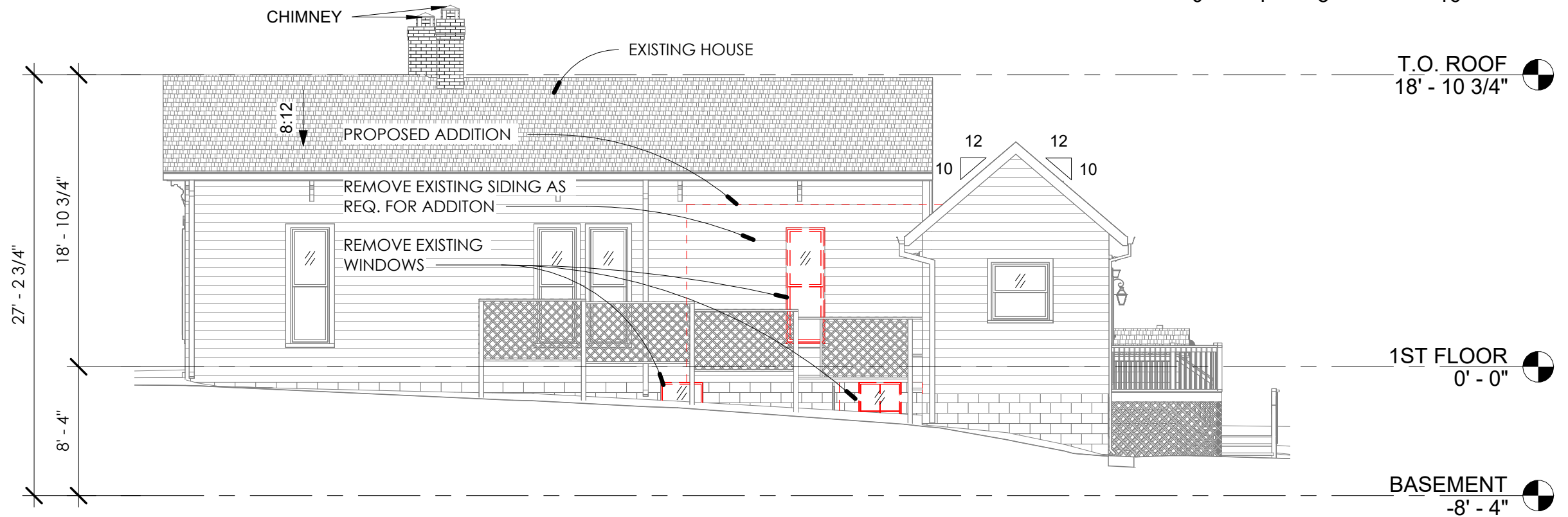
EXISTING REAR PERSPECTIVE





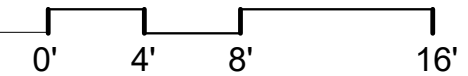
EXISTING FRONT ELEVATION

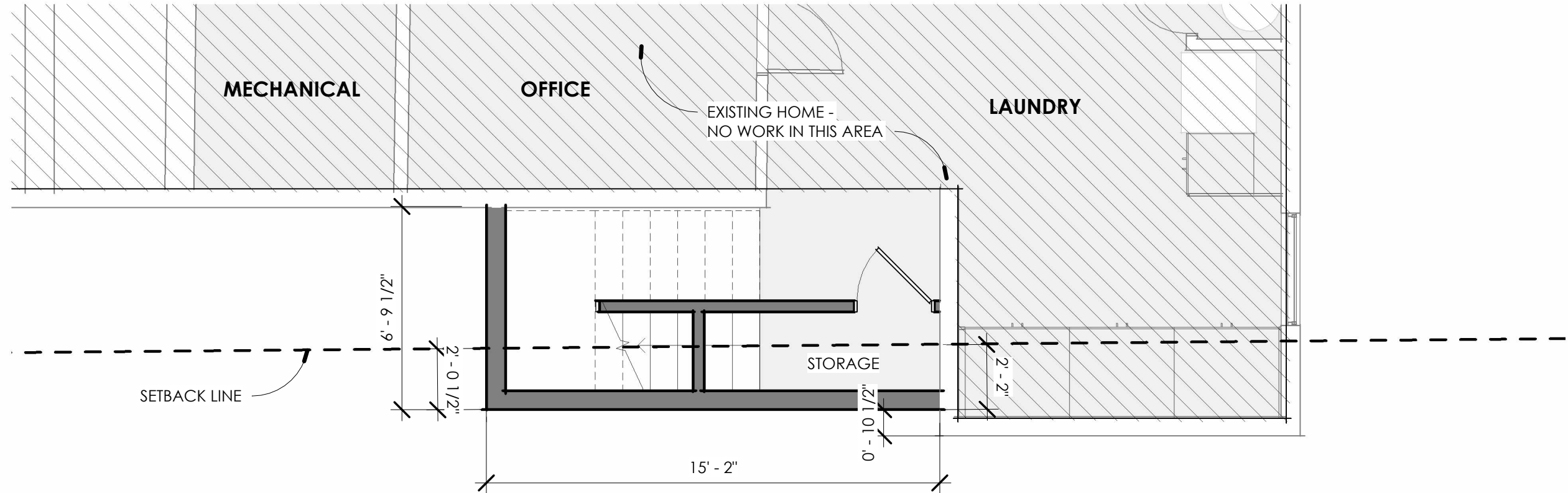
1/8" = 1'-0"



EXISTING RIGHT ELEVATION

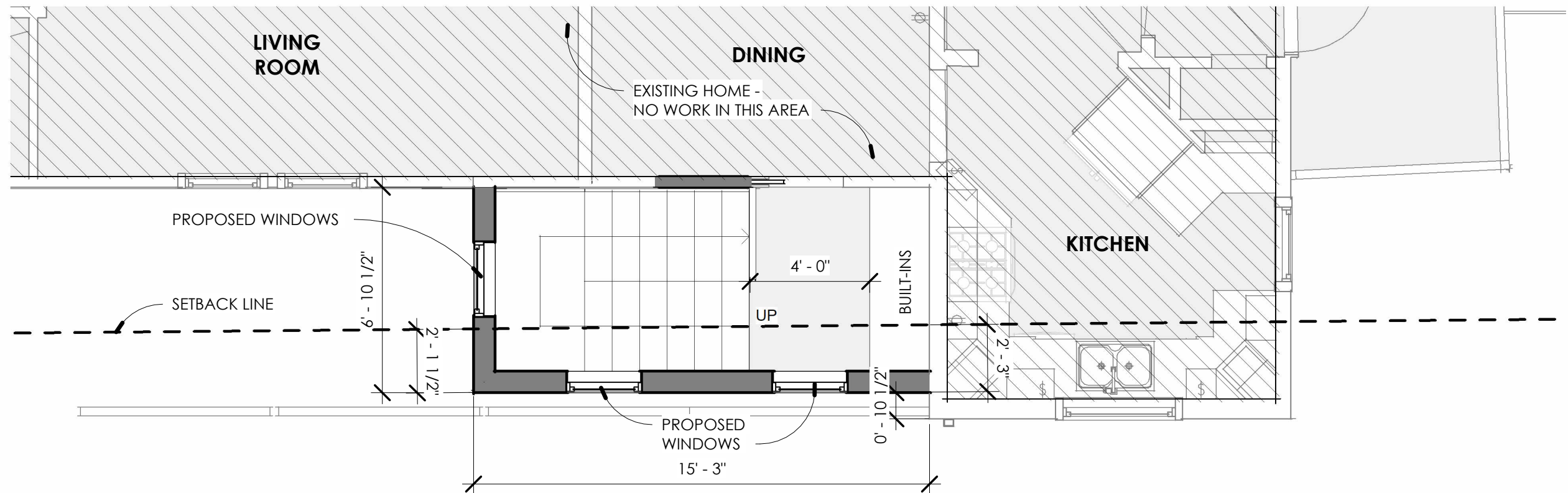
1/8" = 1'-0"





BASEMENT OPTION A

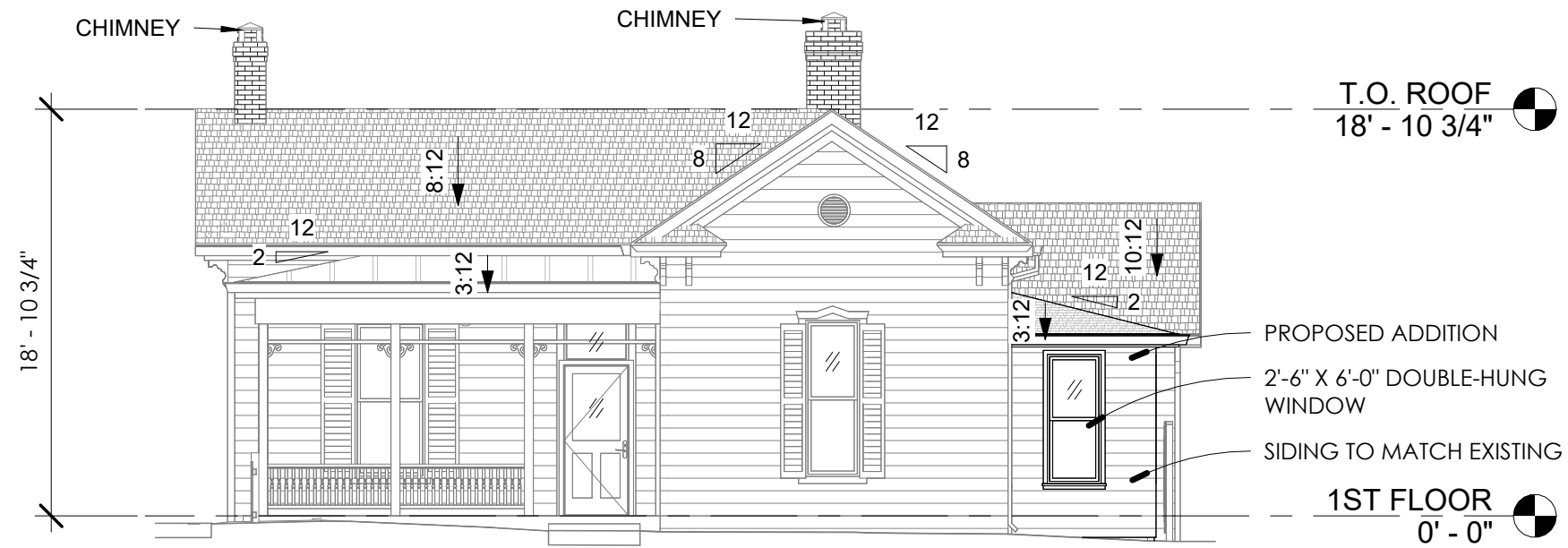
1/4" = 1'-0"



FIRST FLOOR OPTION A

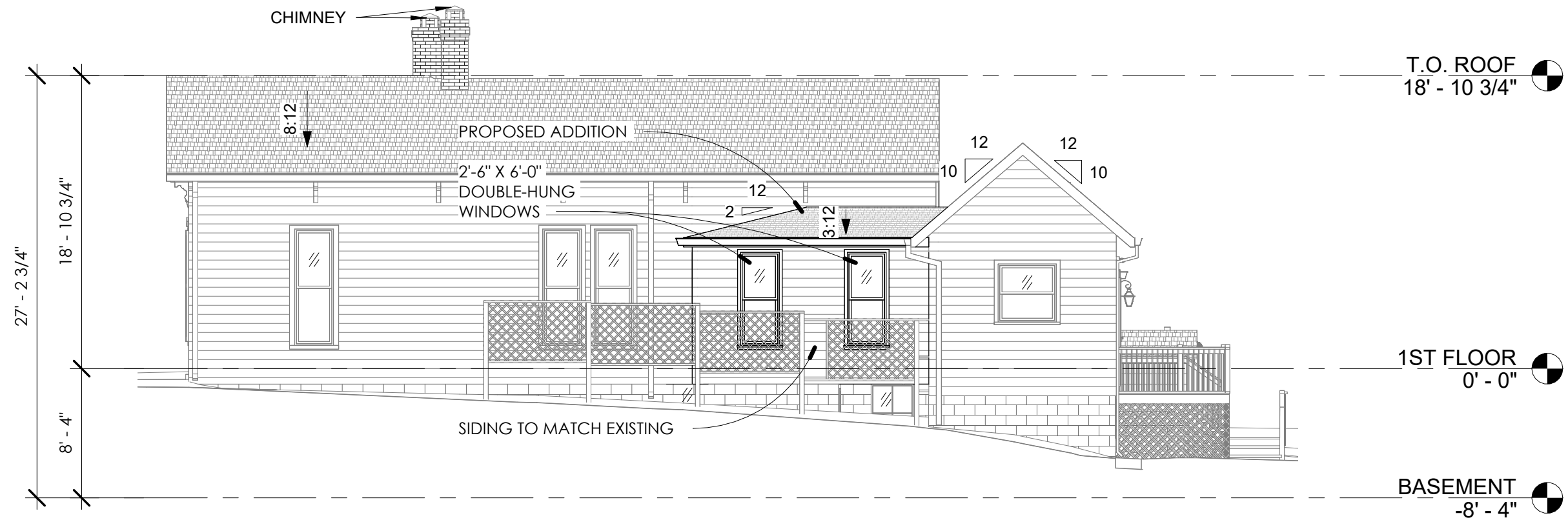
1/4" = 1'-0"

OPTION A ELEVATIONS  
WHITMORE RESIDENCE



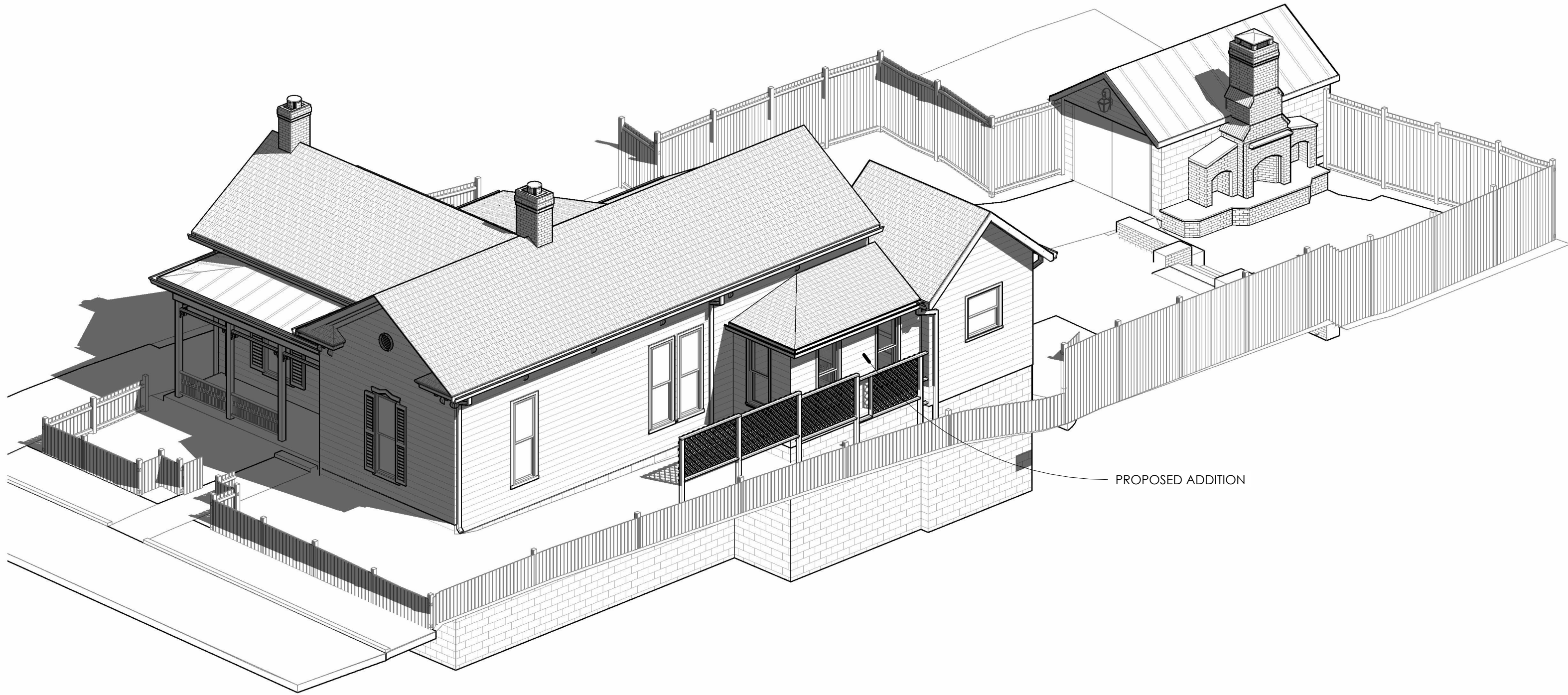
OPTION A FRONT ELEVATION

1/8" = 1'-0"

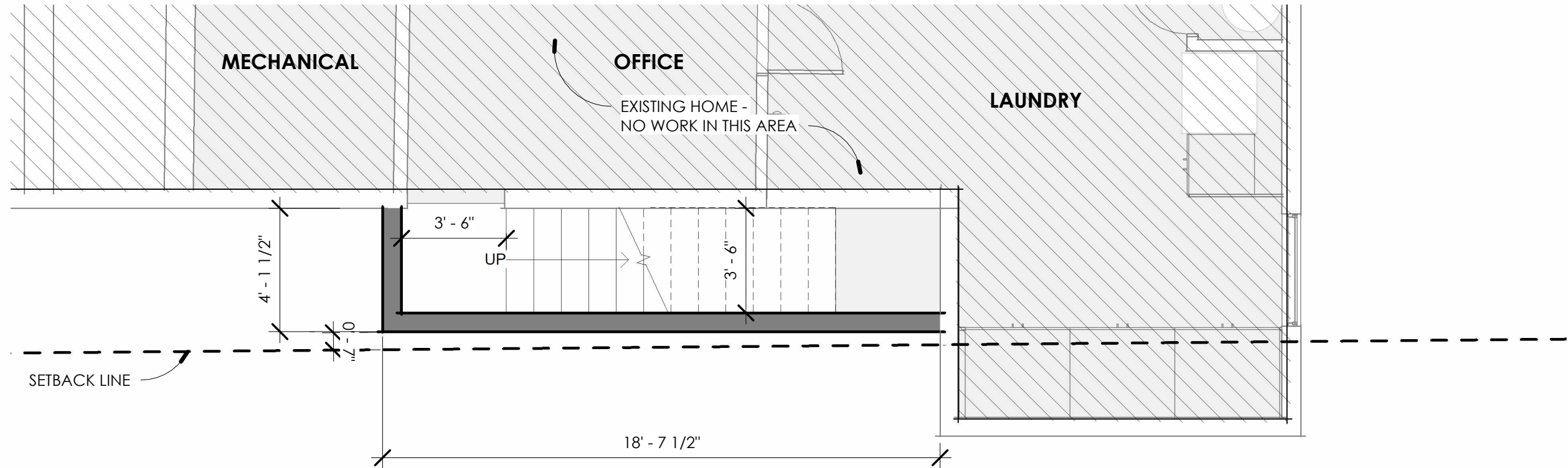


OPTION A RIGHT ELEVATION

1/8" = 1'-0"

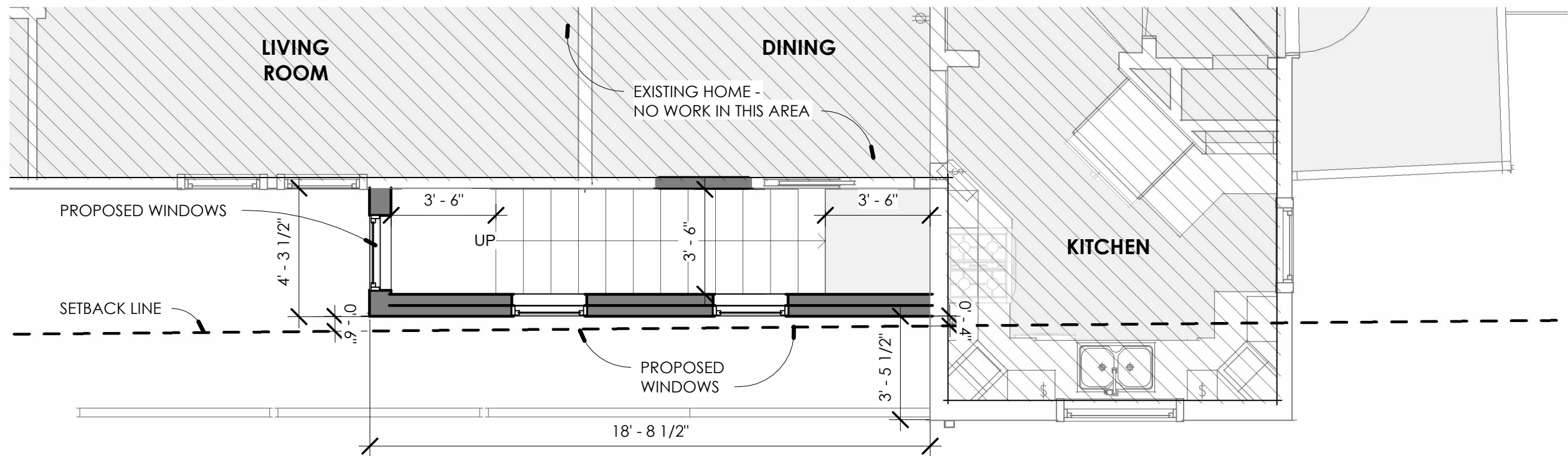


PROPOSED ADDITION



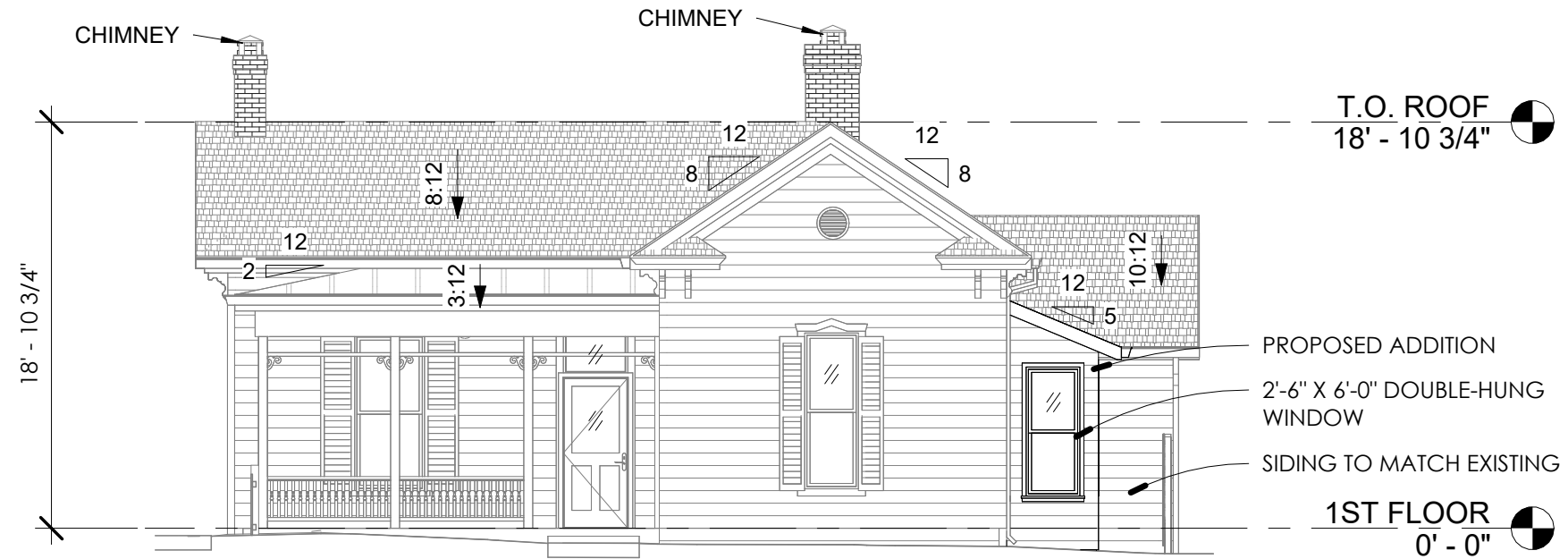
BASEMENT OPTION B

1/4" = 1'-0"



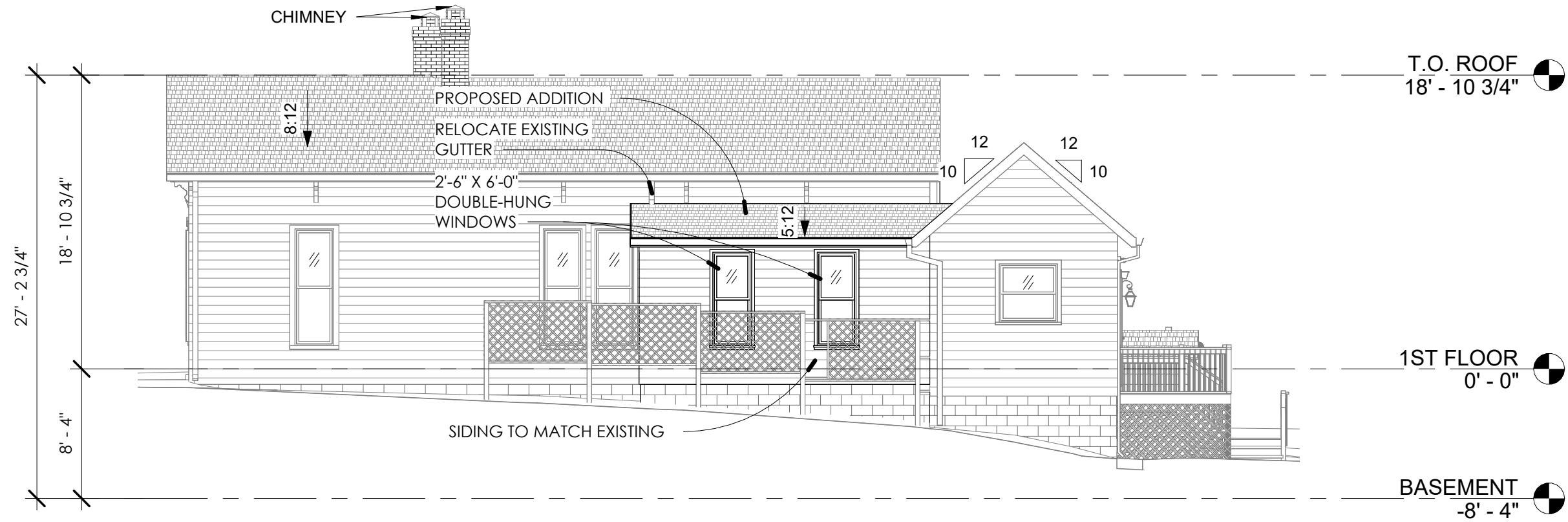
FIRST FLOOR OPTION B

1/4" = 1'-0"



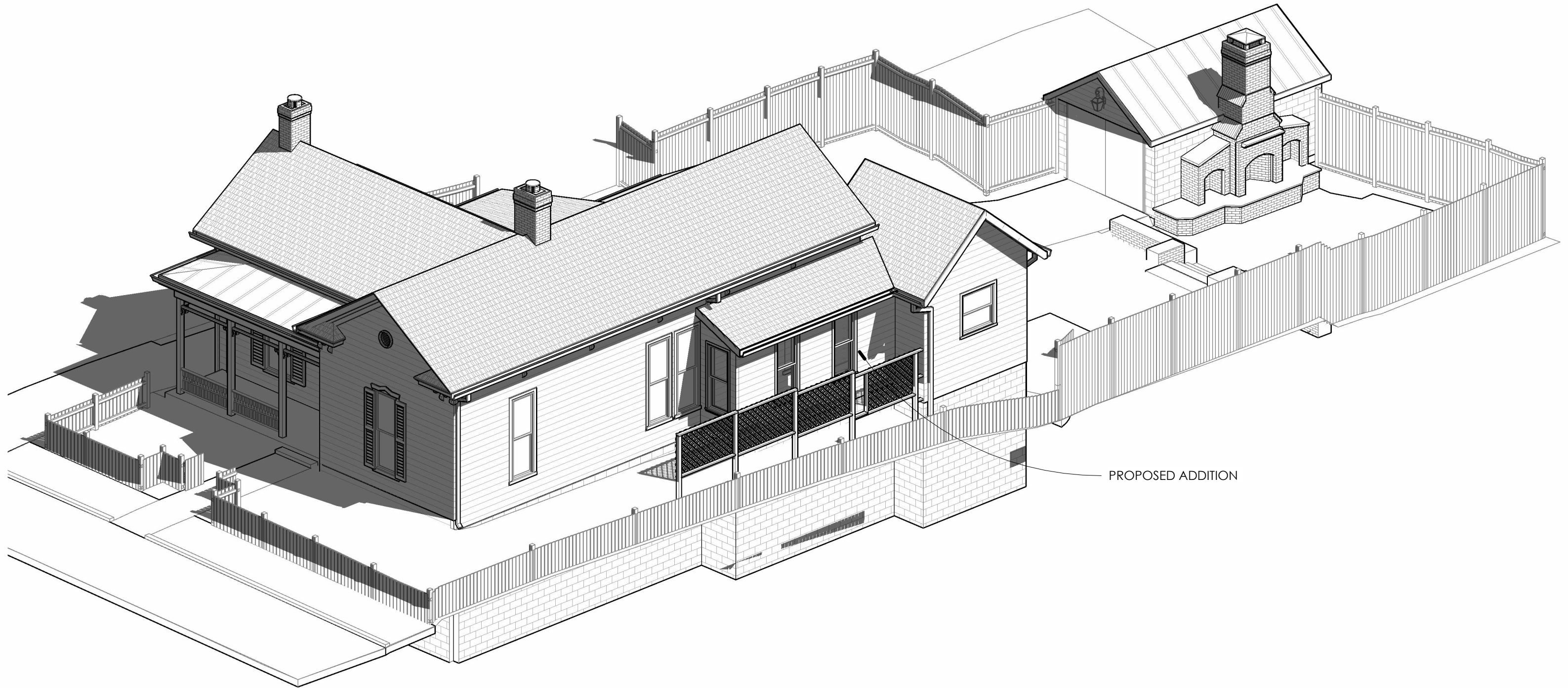
OPTION B FRONT ELEVATION

1/8" = 1'-0"



OPTION B RIGHT ELEVATION

1/8" = 1'-0"



PROPOSED ADDITION

TOTAL ACREAGE:	0.16 AC.
TOTAL LOT AREA:	7,028.52 S.F.
PRE IMPERVIOUS:	4,492 S.F.
POST IMPERVIOUS:	0.0 S.F.
NET:	0.0 S.F.
IMPERVIOUS AREA TO LOT RATIO	
PRE:	63.91%
POST:	0.0%
NET:	0.0%

MAP: 78C, GRP: B, PAR: 21.00  
HENRY LANGHANS  
DB: 2351 PG: 166

0.16 AC.  
7,028.52 S.F.  
EXISTING RESIDENCE  
FFE - 643.02'

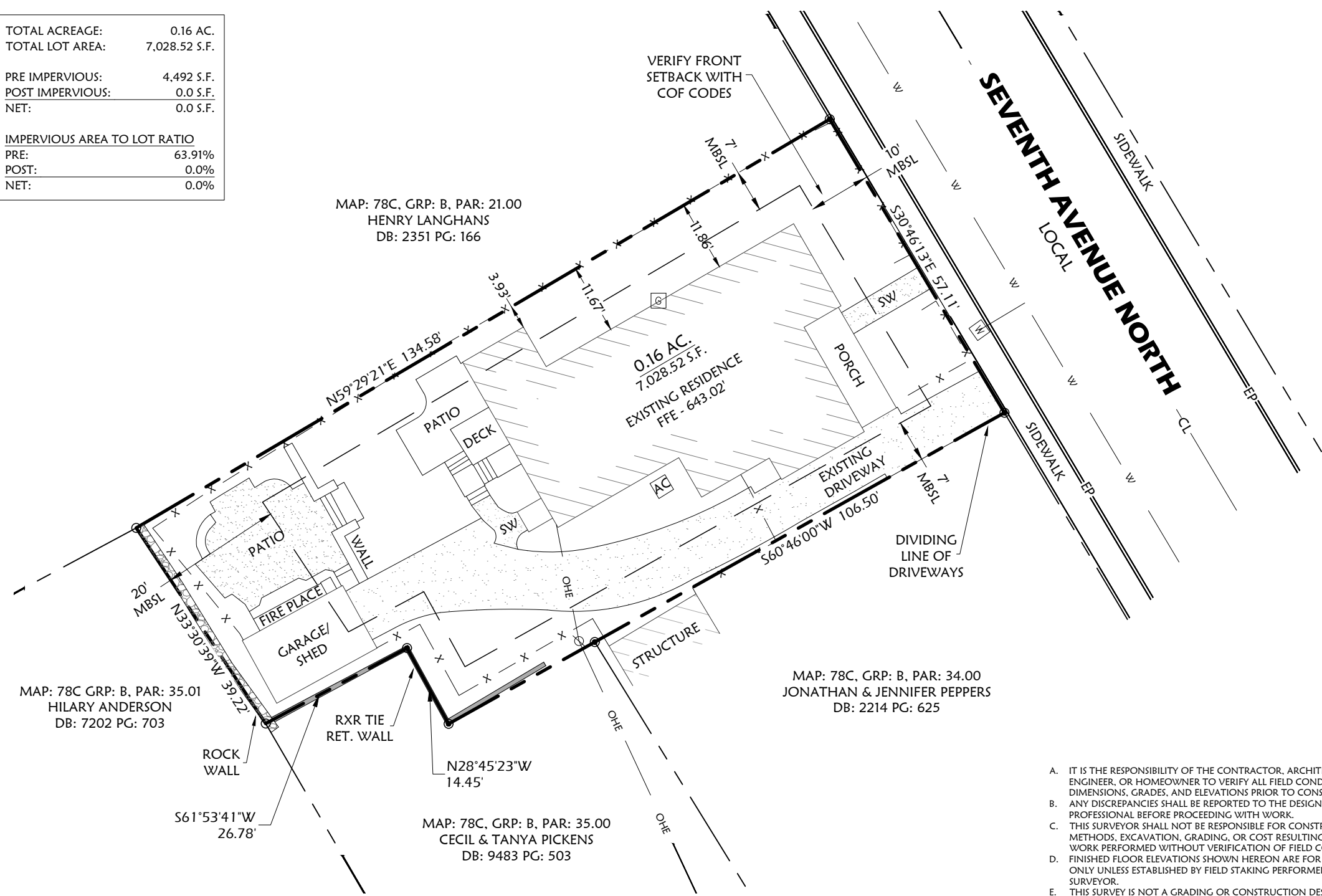
MAP: 78C, GRP: B, PAR: 34.00  
JONATHAN & JENNIFER PEPPERS  
DB: 2214 PG: 625

MAP: 78C GRP: B, PAR: 35.01  
HILARY ANDERSON  
DB: 7202 PG: 703

MAP: 78C, GRP: B, PAR: 35.00  
CECIL & TANYA PICKENS  
DB: 9483 PG: 503



VICINITY MAP  
NOT TO SCALE



**GENERAL NOTES:**

- PURPOSE: RESIDENTIAL SITE PLAN TO SHOW EXISTING CONDITIONS.
- SUBJECT PROPERTY PRESENTLY IDENTIFIED AS PARCELS 33.00 ON THE WILLIAMSON COUNTY, TN TAX MAP 78C. SAID PARCEL IS FURTHER DESCRIBED IN DEED BOOK 9774, PAGE 959, REGISTERS OFFICE OF WILLIAMSON COUNTY, TENNESSEE.
- PROPERTY ZONING: CENTRAL FRANKLIN OVERLAY, HISTORIC PRESERVATION OVERLAY, R-4 RESIDENTIAL (CITY OF FRANKLIN)
- BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83).
- DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
- THE CERTIFICATION, AS SHOWN ON THIS SURVEY, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE PROVIDED BY OTHERS. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE.
- THIS SURVEY WAS CONDUCTED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE FINDINGS OF SUCH REPORT. OTHER DOCUMENTS OF RECORD MAY EXIST THAT WOULD AFFECT THESE PARCEL(S) INCLUDING BOTH RECORDED EASEMENTS AND THOSE UNKNOWN TO THIS SURVEYOR.
- UTILITIES SHOWN HEREON WERE COMPILED FROM VISIBLE STRUCTURES AT THE SITE, INFORMATION FROM PLANS, AND PHYSICAL MARKINGS COMBINED TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THIS SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFICATION OF EXISTENCE, LOCATIONS, AND DEPTHS SHOULD BE MADE BEFORE CONDUCTING ANY EXCAVATION IN THE VICINITY OF THE UTILITY.
- SUBJECT PROPERTY LIES WITHIN ZONE X, AS DESIGNATED BY THE FEMA MAP, PANEL # 47187C0211H, EFFECTIVE DATE 12/20/2024.
- I HEREBY CERTIFY THAT THIS IS A CATEGORY IV SURVEY AND WAS CONDUCTED IN ACCORDANCE WITH RULE 0820-03.11 (GLOBAL POSITION SYSTEMS SURVEYS) ACCORDING TO THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE AS PROMULGATED BY THE TENNESSEE STATE BOARD OF EXAMINERS FOR LAND SURVEYORS. THIS SURVEY WAS CONDUCTED WITH DUAL-FREQUENCY RTK GPS EQUIPMENT BASED ON THE TDOT CORPS NETWORK UTILIZING BASE AND ROVER.
  - POSITIONAL ACCURACY: 0.08'
  - DATE OF SURVEY: 01/20/2026
  - DATUM/EPOCH: TENNESSEE STATE PLANE (NAD83). OCCUPATIONS FOR CONTROL POINTS ARE 3 MINUTES EACH, SIDE SHOTS ARE 3 SECONDS.
  - GEOID 18.
  - NO COMBINED GRID FACTORS WERE USED.

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR, ARCHITECT, ENGINEER, OR HOMEOWNER TO VERIFY ALL FIELD CONDITIONS, DIMENSIONS, GRADES, AND ELEVATIONS PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN PROFESSIONAL BEFORE PROCEEDING WITH WORK.
- THIS SURVEYOR SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION METHODS, EXCAVATION, GRADING, OR COST RESULTING FROM WORK PERFORMED WITHOUT VERIFICATION OF FIELD CONDITIONS.
- FINISHED FLOOR ELEVATIONS SHOWN HEREON ARE FOR REFERENCE ONLY UNLESS ESTABLISHED BY FIELD STAKING PERFORMED BY THIS SURVEYOR.
- THIS SURVEY IS NOT A GRADING OR CONSTRUCTION DESIGN DOCUMENT.



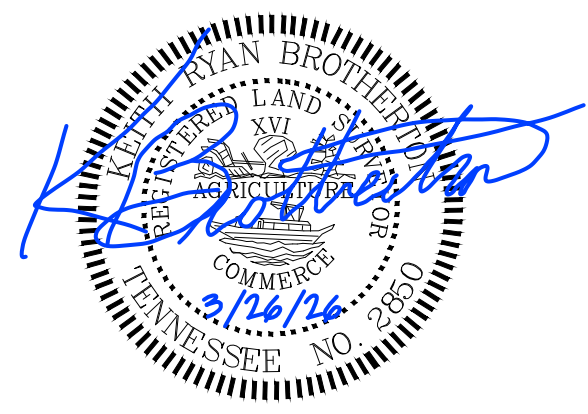
Keith Brotherton, RLS  
Cell: 615-939-3419  
Email: keith@brothertonsurveys.com  
256 Seaboard Lane, Suite E-106, Franklin, TN 37067



**LEGEND**

IRON ROD FOUND - IR(F)	○
IRON ROD SET - IR(S)	●
WATER METER	⊠
WATER VALVE	⊞
FIRE HYDRANT	⊞
SANITARY SEWER MH	⊞
SANITARY SEWER SERV.	⊞
UTILITY POLE	⊞
GAS METER	⊞
GRINDER PUMP	⊞
BENCHMARK	⊞
DECIDUOUS TREE	⊞
SANITARY SEWER	— 8" SA —
WATER	— 8" W —
OVERHEAD ELEC	— OHE —
BOUNDARY	— X — X —
FENCE	— X — X —

Existing Impervious Area	SF
Existing Residence <i>Including Front Porch &amp; Shed</i>	2,136
Existing Driveway	1,098
Cvrd Patio	544
Rear Walk	48
Rear Patio	550
<i>Including Rear Patio, Deck, &amp; Walls</i>	
AC Pads	8
Front Walk	63
Ret. Walls	44
<b>Total Exist. Impervious Area</b>	<b>4,492</b>



**SITE PLAN - EXISTING CONDITIONS**

MAP: 78C, GRP: B, PARCEL: 33.00  
109 SEVENTH AVE N, FRANKLIN, TN 37064  
DEED BOOK: 9774, PAGE: 959  
9TH CIVIL DISTRICT, WILLIAMSON COUNTY, TN  
FOR: LINDA AND CLIFF WHITMORE

DRAWN BY: CPP      DATE: 03/26/2026      SHEET NO. 1 OF 1  
PROJECT NO. 25-162      SCALE: 1"=20'

**121 Myles Manor  
Exterior View of House**



**121 Myles Manor  
Exterior**

**Exterior Doors**

We are seeking feedback regarding two exterior doors. For the front door, based on prior Committee feedback, we would like to propose a custom Tudor-style door. For the side entrance, also based on prior Committee feedback, we would like to propose a Loewen nine-light dutch door that matches those previously approved for the rear entrance of the home.

*Front Door*





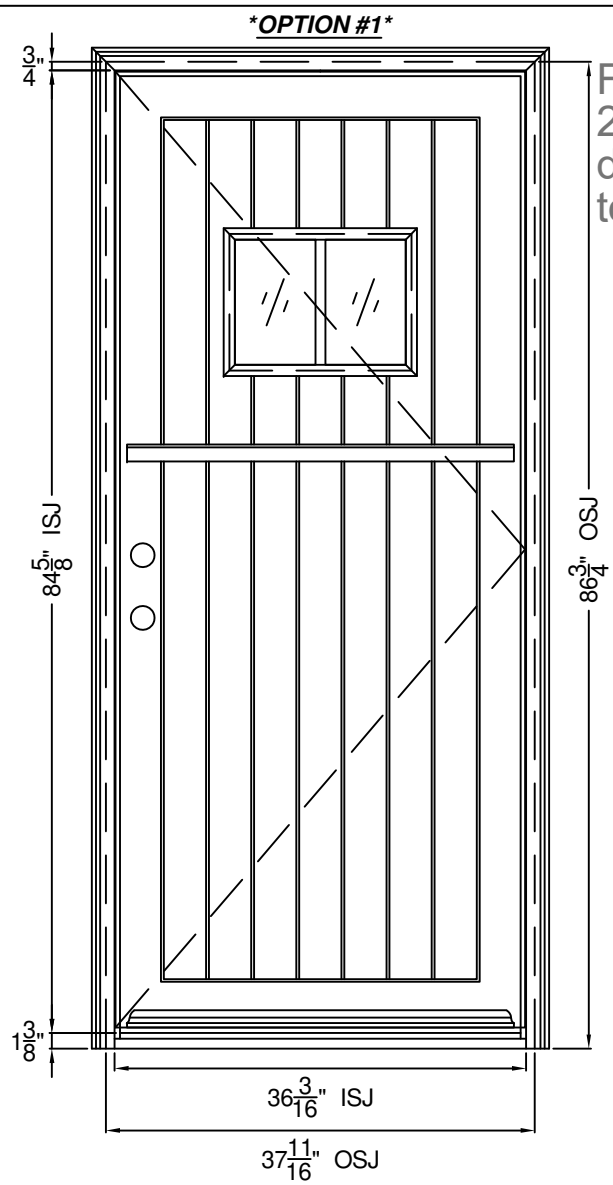
*Mayberry Side Entry  
Option 1*



*Mayberry Side Entry  
Option 2*

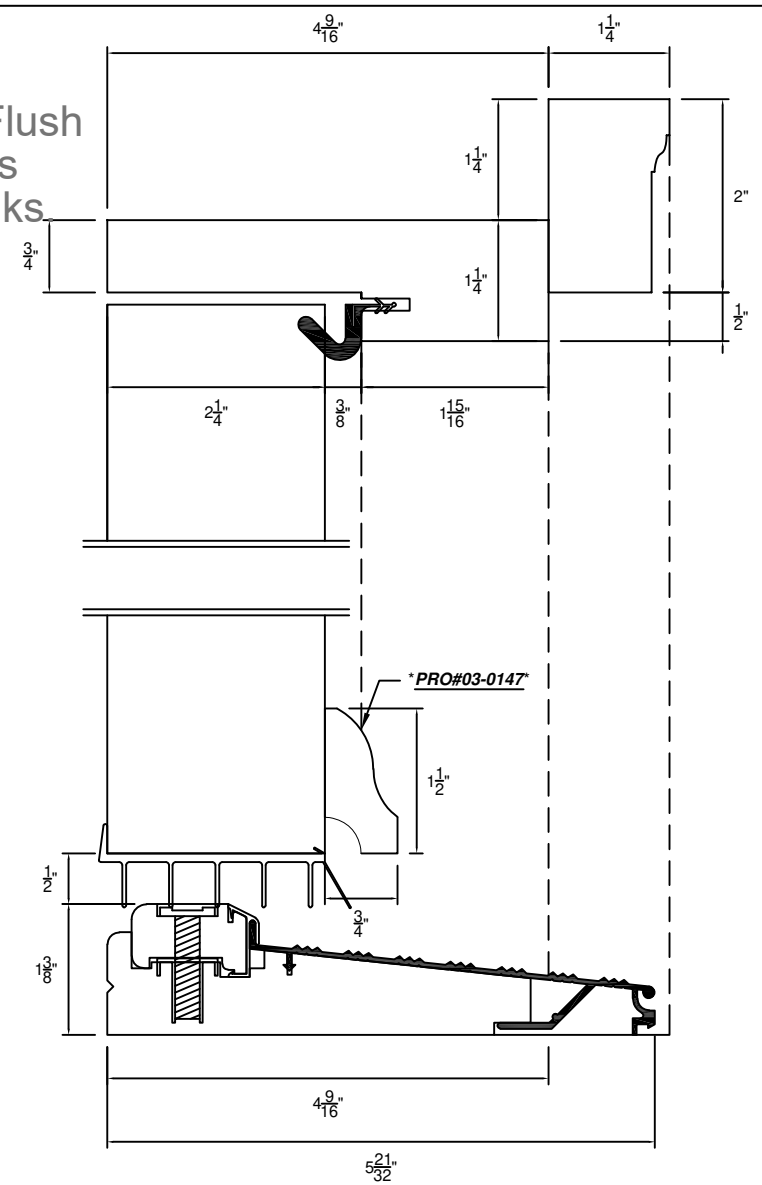


ELEVATION



Front entry-Opt 1  
2-1/2" thick door. Flush door with v-grooves to give look of planks

DETAIL



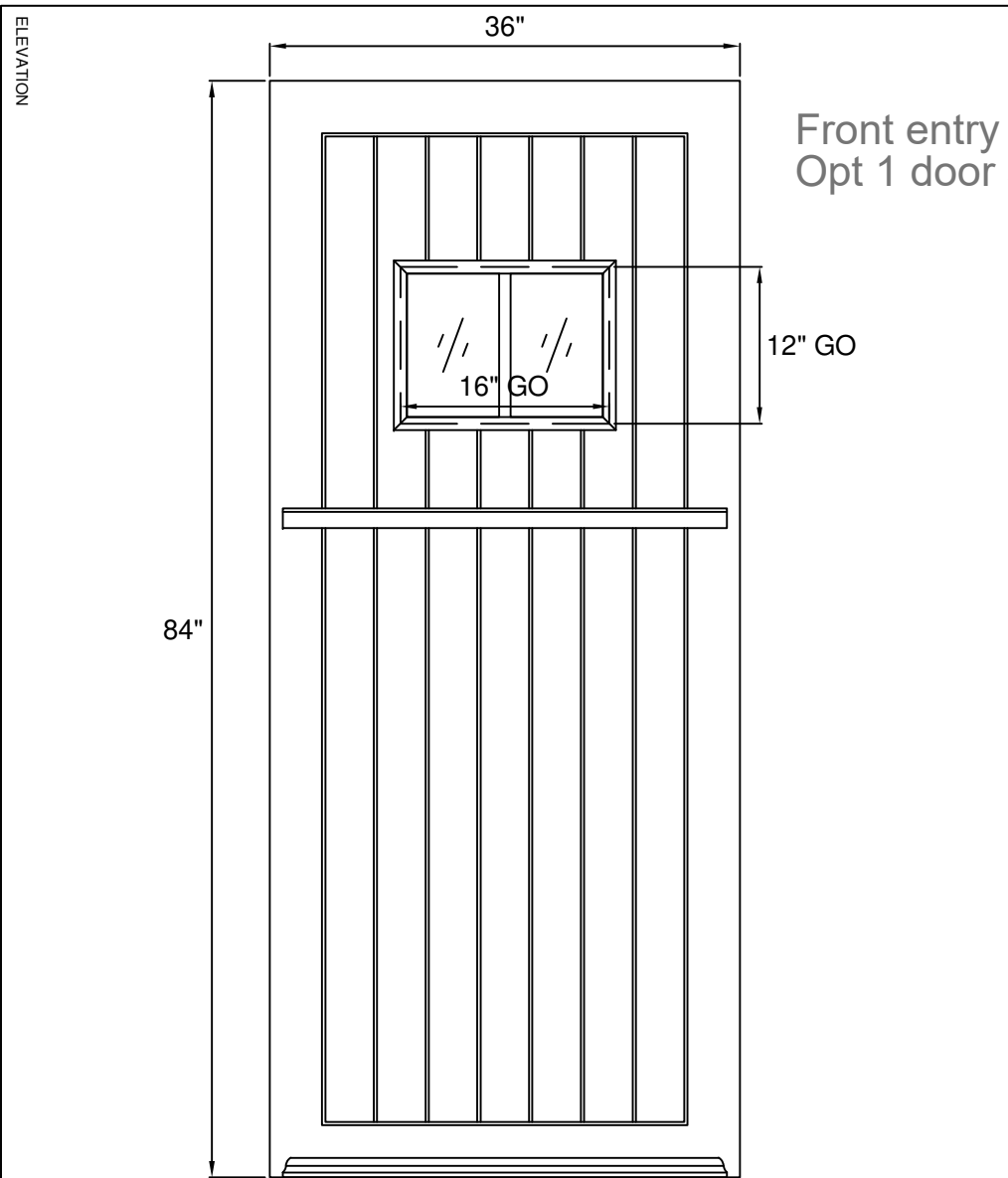
ROUGH OPENING MEASUREMENTS ARE DETERMINED BY ADDING 1" TO THE "OSJ" WIDTH AND 1/2" TO THE "OSJ" HEIGHT

	DallasMillwork.com	Material: SG Sapele	Sticking: Overlap	Jamb: 4-9/16" (SG Sapele)		
		Thickness: 2 1/4"	SDL/TDL: 7/8" SDL (Bronze GBG)	Hinges: 4x4	Finish: Unlacquered Brass	
		Hand: RH Inswing	Casing: Brickmould	Sill: Adjustable, Bronze		
		Prep: Double Bore	Glass: IG Low-E soft coat	Hardware: N/A		
	CUSTOMER: Home choice			QTY: 1	DWG#: NC03022606	P.O.#:
				DATE: 3/2/26	REV#: ----	REVDATE: ----

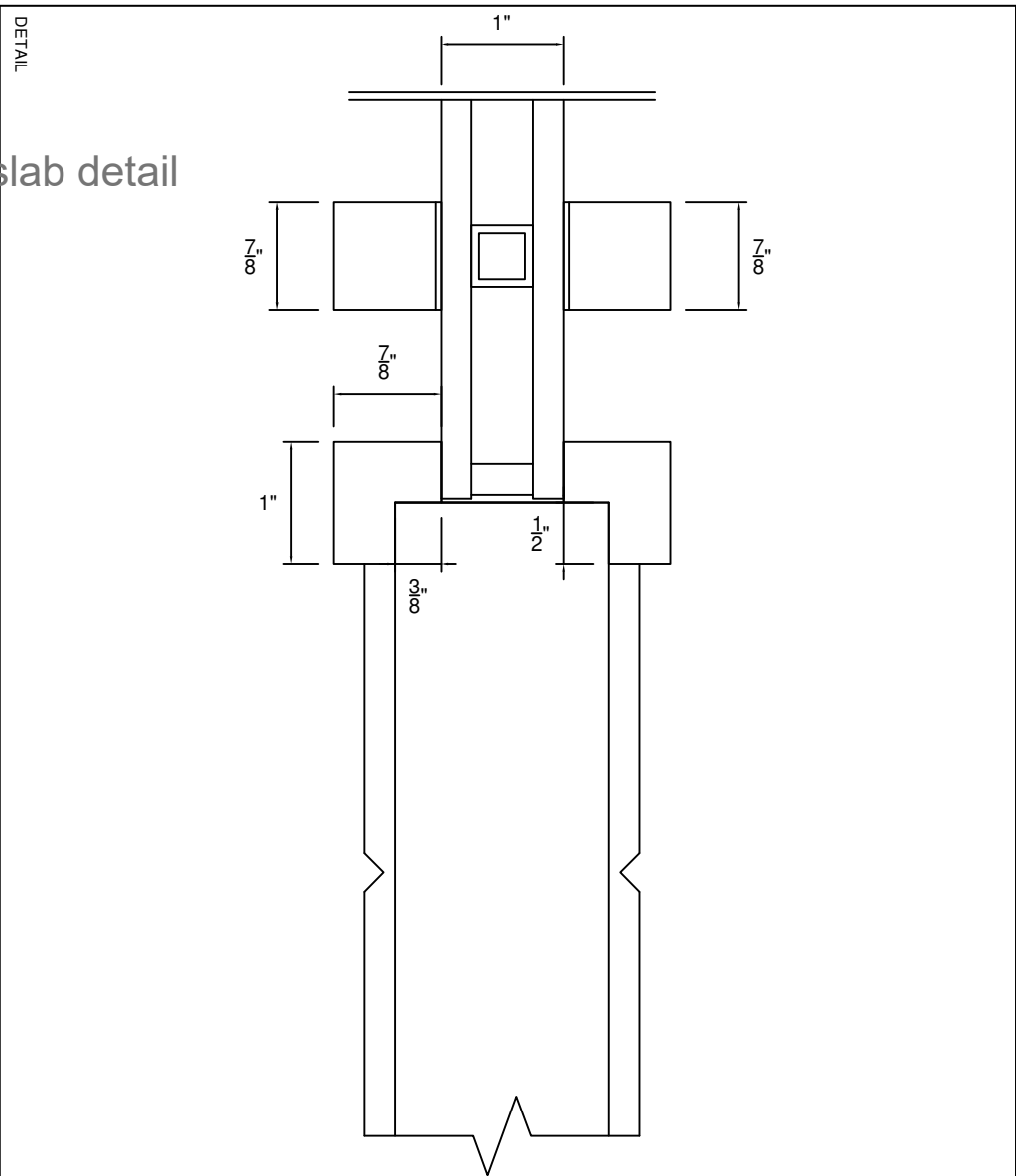
770-943-3909  
Fax: 770-943-3900

Signature: \_\_\_\_\_ Date: \_\_\_\_\_


By signing this document, I acknowledge that I have reviewed all details and confirm that they are accurate and represent the requested specifications. I understand that Dallas Millwork, Inc. will proceed with the fabrication of the work as specified by the attached drawings. Any changes or modifications after signing may result in additional costs or delays. I authorize Dallas Millwork, Inc. to execute the work as per the approved drawings.



Front entry  
Opt 1 door slab detail



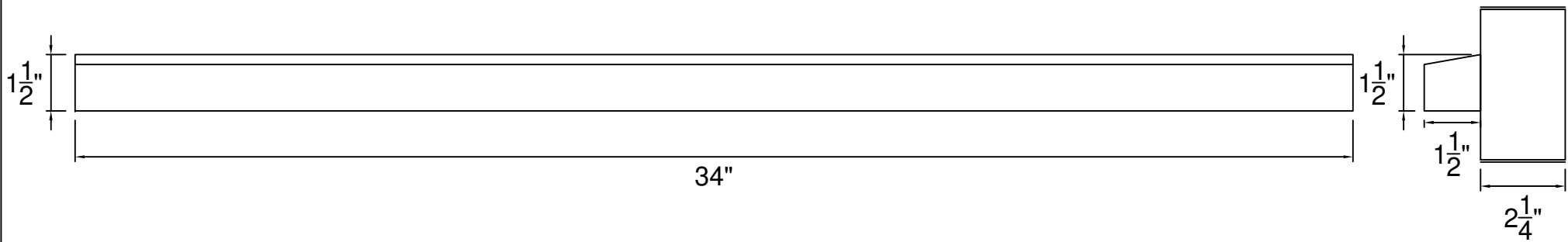
ROUGH OPENING MEASUREMENTS ARE DETERMINED BY ADDING 1" TO THE "OSJ" WIDTH AND 1/2" TO THE "OSJ" HEIGHT

	DallasMillwork.com	Material: SG Sapele	Sticking: Overlap	Jamb: 4-9/16" (SG Sapele)
	Thickness: 2 1/4"	SDL/TDL: 7/8" SDL (Bronze GBG)	Hinges: 4x4	Finish: Unlacquered Brass
Hand: RH Inswing	Casing: Brickmould	Sill: Adjustable, Bronze	Hardware: N/A	
Prep: Double Bore	Glass: IG Low-E soft coat	DWG#: NC03022606		
CUSTOMER: Home choice		QTY: 1	P.O.#:	
		DATE: 3/2/26	REV#: ----	REVDATE: ----

770-943-3909  
Fax: 770-943-3900

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

By signing this document, I acknowledge that I have reviewed all details and confirm that they are accurate and represent the requested specifications. I understand that Dallas Millwork, Inc. will proceed with the fabrication of the work as specified by the attached drawings. Any changes or modifications after signing may result in additional costs or delays. I authorize Dallas Millwork, Inc. to execute the work as per the approved drawings.



ROUGH OPENING MEASUREMENTS ARE DETERMINED BY ADDING 1" TO THE "OSJ" WIDTH AND 1/2" TO THE "OSJ" HEIGHT



Manufactured By:  
**Dallas Millwork Inc.**  
 PO Box 549 Hiram, GA. 30141  
 770-943-3909  
 770-943-3900-FAX

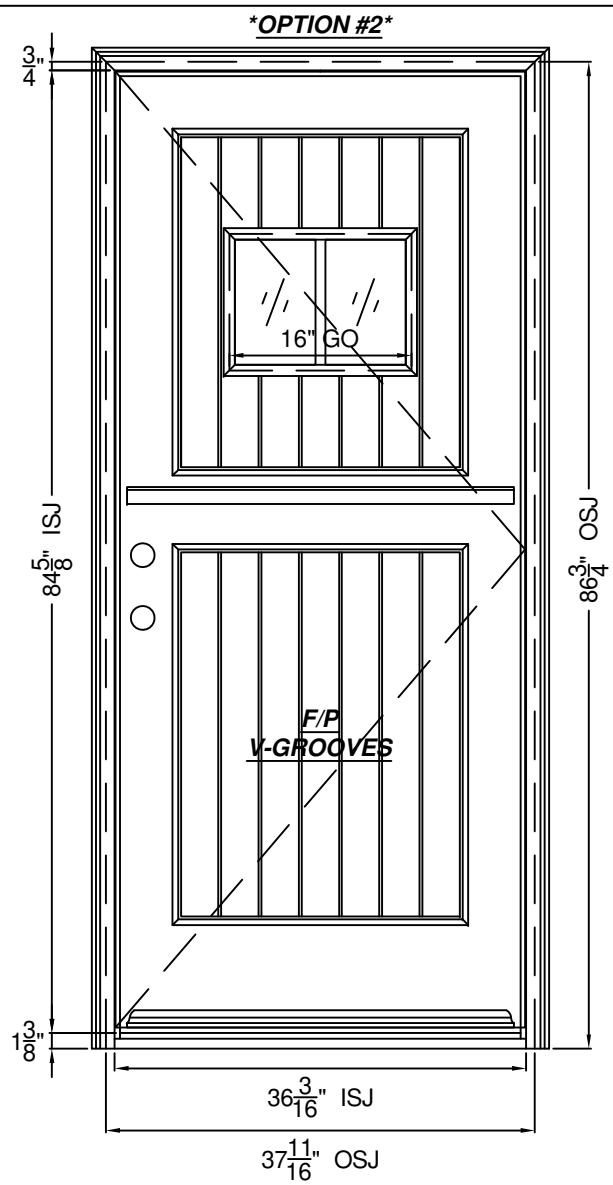
**CUSTOMER**  
 Home choice

APPROVED BY:

X \_\_\_\_\_

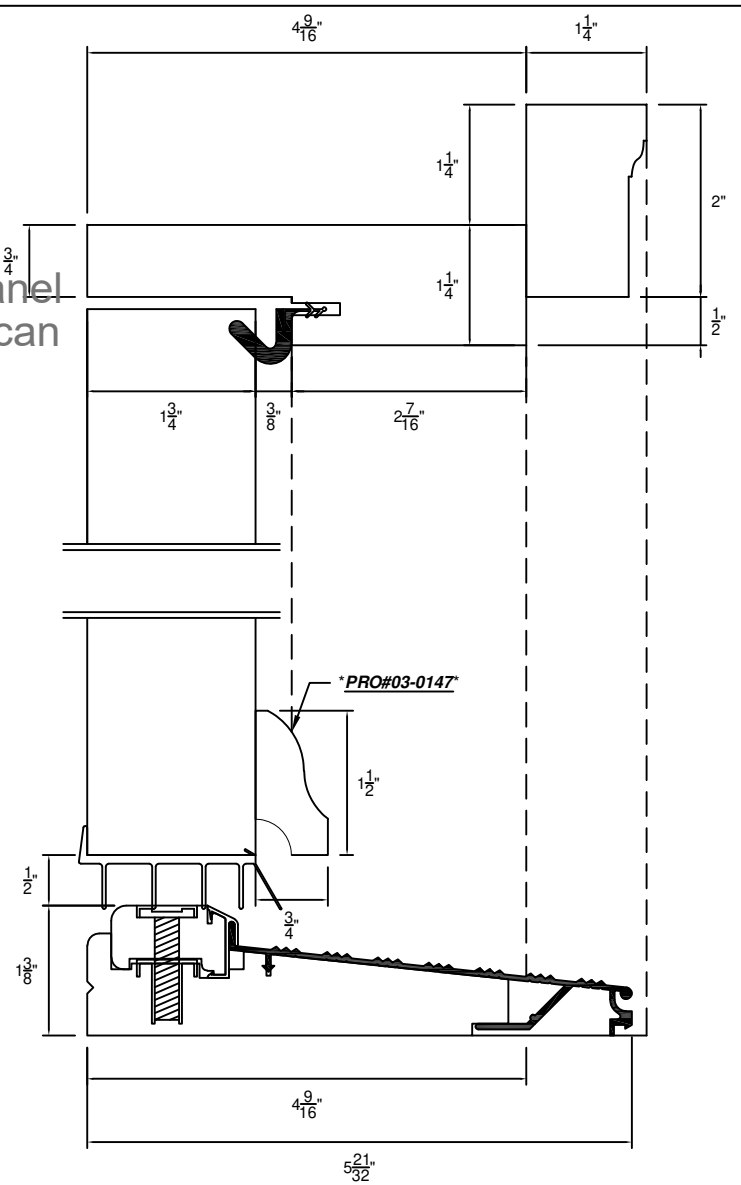
DRAWING# NC03022606
DATE:3/02/26
REV. #:----
REV DATE:----

ELEVATION




Front entry  
opt 2, stile and rail  
door with raised panel  
w/v groove. Door can  
be 1-3/4" thick.

DETAIL



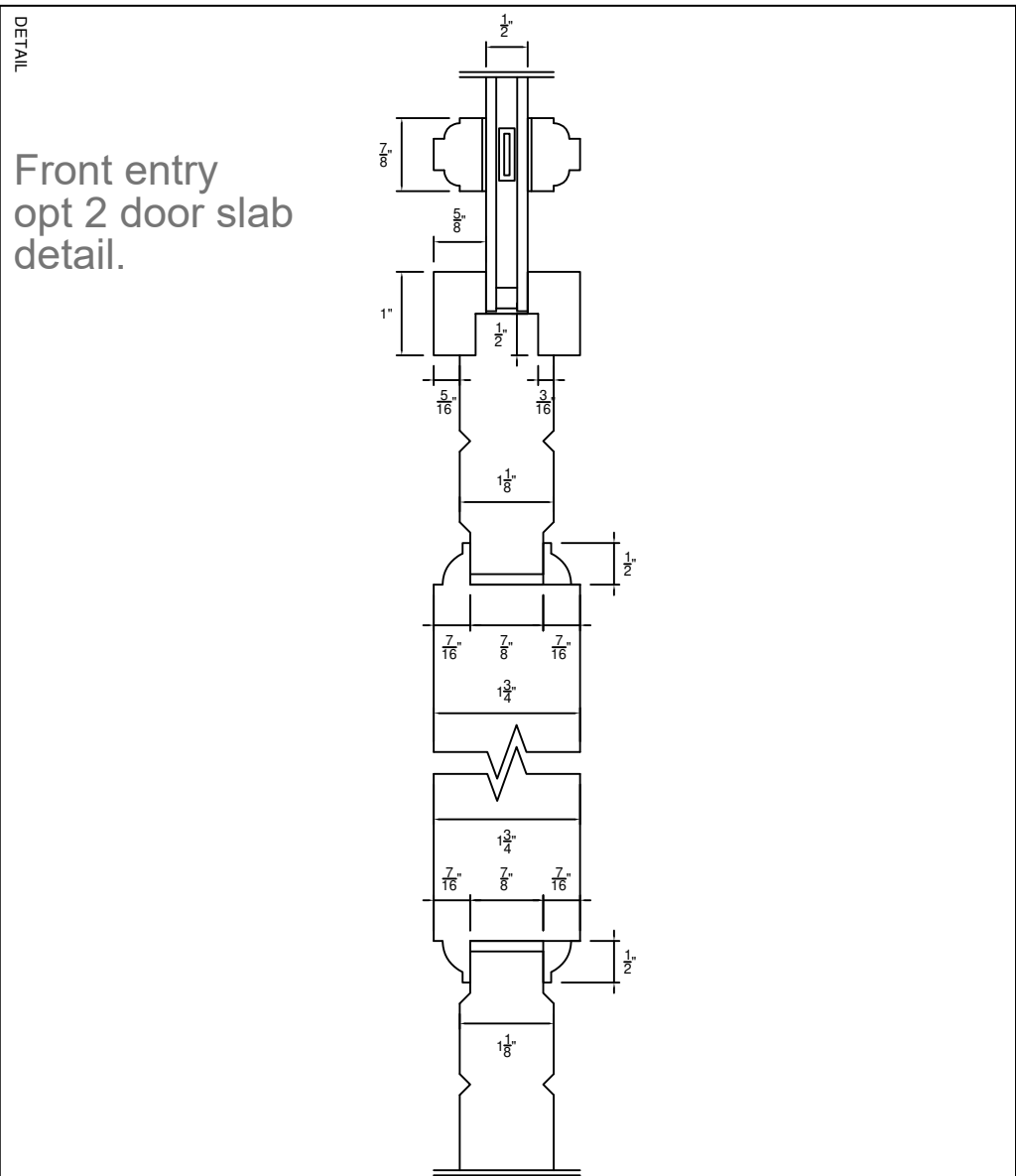
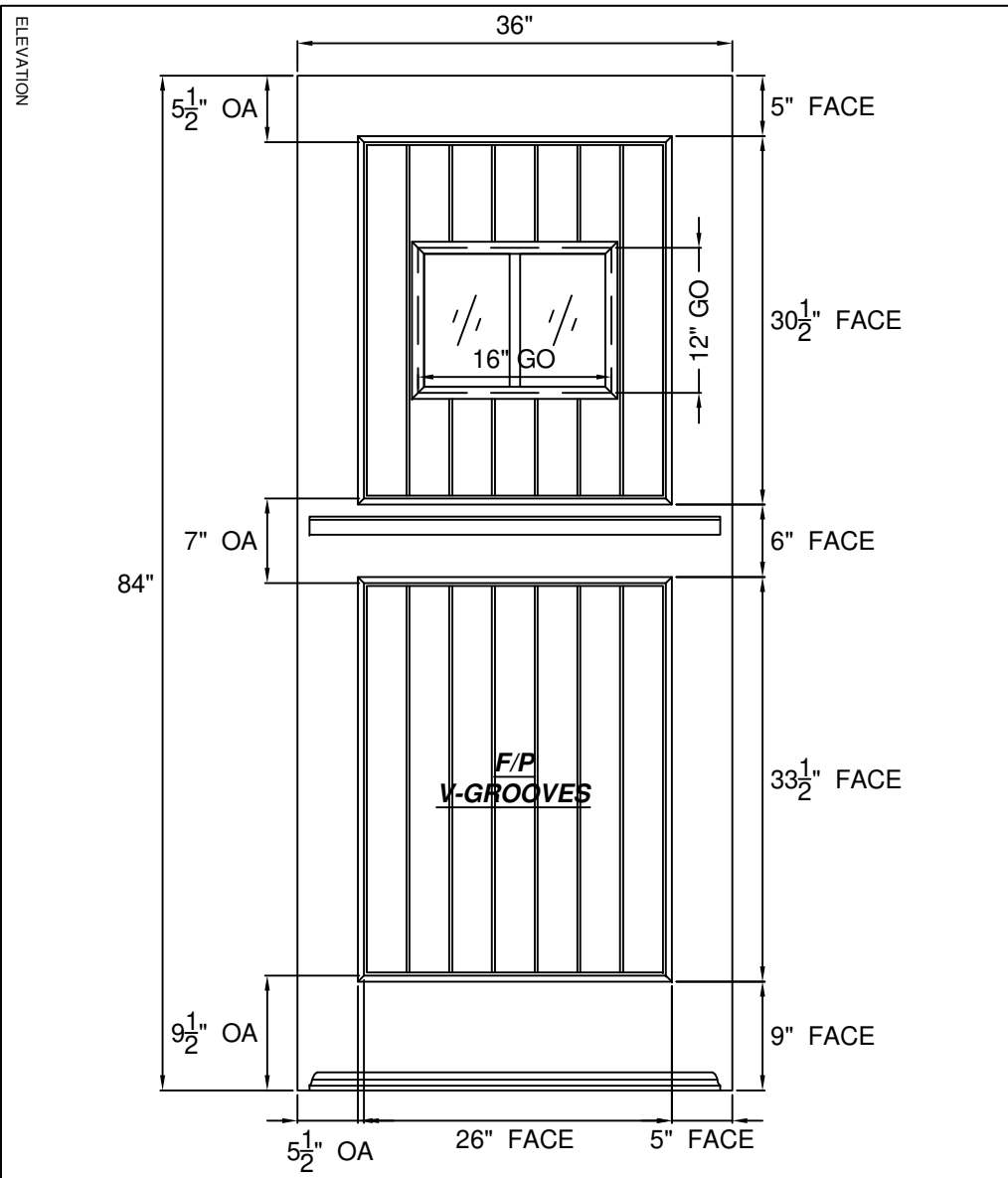
ROUGH OPENING MEASUREMENTS ARE DETERMINED BY ADDING 1" TO THE "OSJ" WIDTH AND 1/2" TO THE "OSJ" HEIGHT

	DallasMillwork.com	Material: SG Sapele	Sticking: PRO#01-0057 / Overlap	Jamb: 4-9/16" (SG Sapele)
	Thickness: 1-3/4"	SDL/TDL: 7/8" SDL (Bronze GBG)	Hinges: 4x4	Finish: Unlacquered Brass
Hand: RH Inswing	Casing: Brickmould	Sill: Adjustable, Bronze	Hardware: N/A	
Prep: Double Bore	Glass: IG Low-E soft coat	CUSTOMER: Home choice		
QTY: 1		DWG#: NC03022606	P.O.#:	
		DATE: 3/2/26	REV#: ----	REVDATE: ----

770-943-3909  
Fax: 770-943-3900

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

By signing this document, I acknowledge that I have reviewed all details and confirm that they are accurate and represent the requested specifications. I understand that Dallas Millwork, Inc. will proceed with the fabrication of the work as specified by the attached drawings. Any changes or modifications after signing may result in additional costs or delays. I authorize Dallas Millwork, Inc. to execute the work as per the approved drawings.



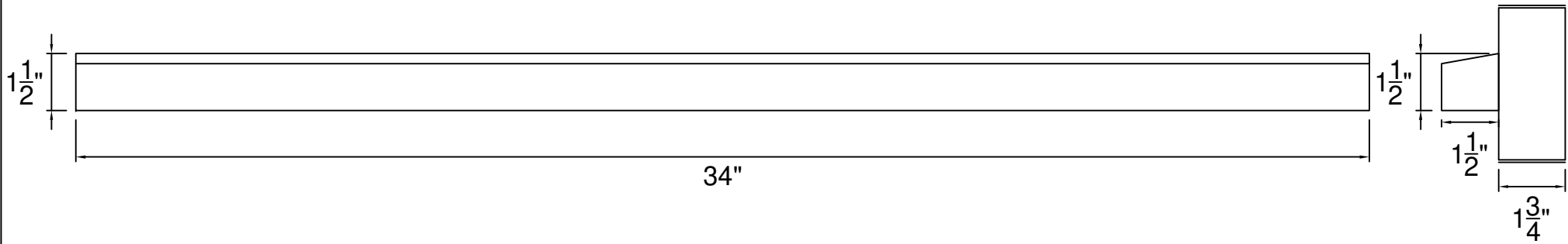
ROUGH OPENING MEASUREMENTS ARE DETERMINED BY ADDING 1" TO THE "OSJ" WIDTH AND 1/2" TO THE "OSJ" HEIGHT

	DallasMillwork.com	Material: SG Sapele	Sticking: Overlap	Jamb: 4-9/16" (SG Sapele)		
		Thickness: 2 1/4"	SDL/TDL: 7/8" SDL (Bronze GBG)	Hinges: 4x4	Finish: Unlacquered Brass	
		Hand: RH Inswing	Casing: Brickmould	Sill: Adjustable, Bronze		
		Prep: Double Bore	Glass: IG Low-E soft coat	Hardware: N/A		
	CUSTOMER: Home choice			QTY: 1	DWG#: NC03022606	P.O.#:
				DATE: 3/2/26	REV#: ----	REVDATE: ----

770-943-3909  
Fax: 770-943-3900

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

By signing this document, I acknowledge that I have reviewed all details and confirm that they are accurate and represent the requested specifications. I understand that Dallas Millwork, Inc. will proceed with the fabrication of the work as specified by the attached drawings. Any changes or modifications after signing may result in additional costs or delays. I authorize Dallas Millwork, Inc. to execute the work as per the approved drawings.



ROUGH OPENING MEASUREMENTS ARE DETERMINED BY ADDING 1" TO THE "OSJ" WIDTH AND 1/2" TO THE "OSJ" HEIGHT



Manufactured By:  
**Dallas Millwork Inc.**  
 PO Box 549 Hiram, GA. 30141  
 770-943-3909  
 770-943-3900-FAX

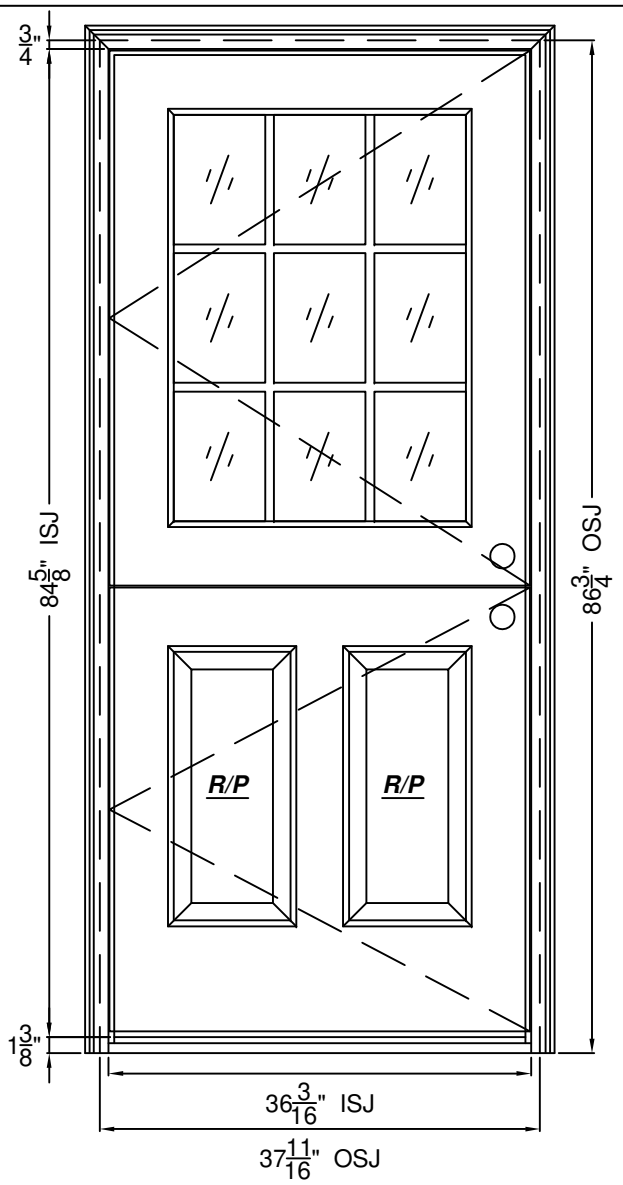
**CUSTOMER**  
 Home choice

APPROVED BY:

X \_\_\_\_\_

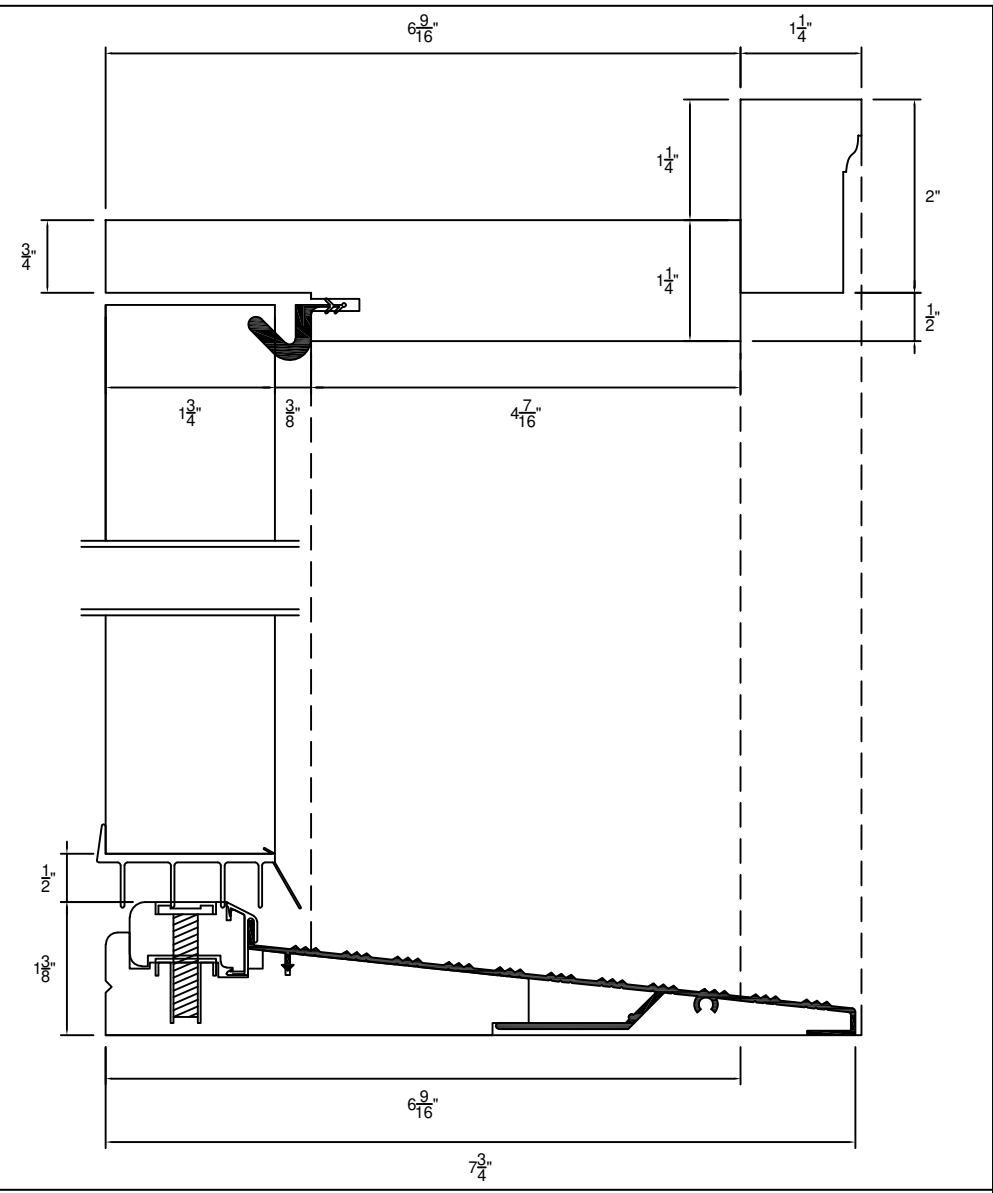
DRAWING#  
 NC03022606  
 DATE:3/02/26  
 REV. #:----  
 REV DATE:----

ELEVATION




Side entry = Dutch door

DETAIL



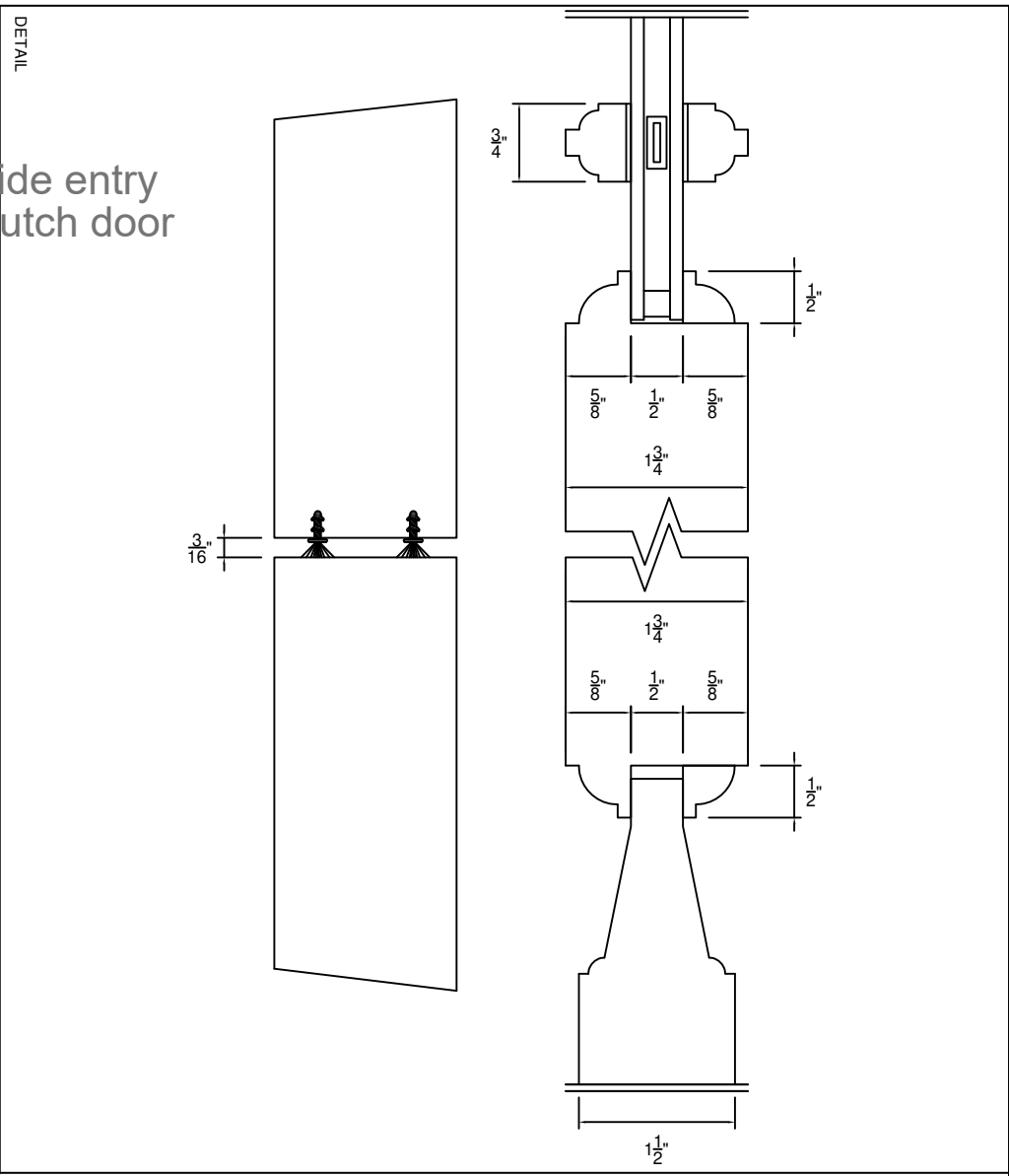
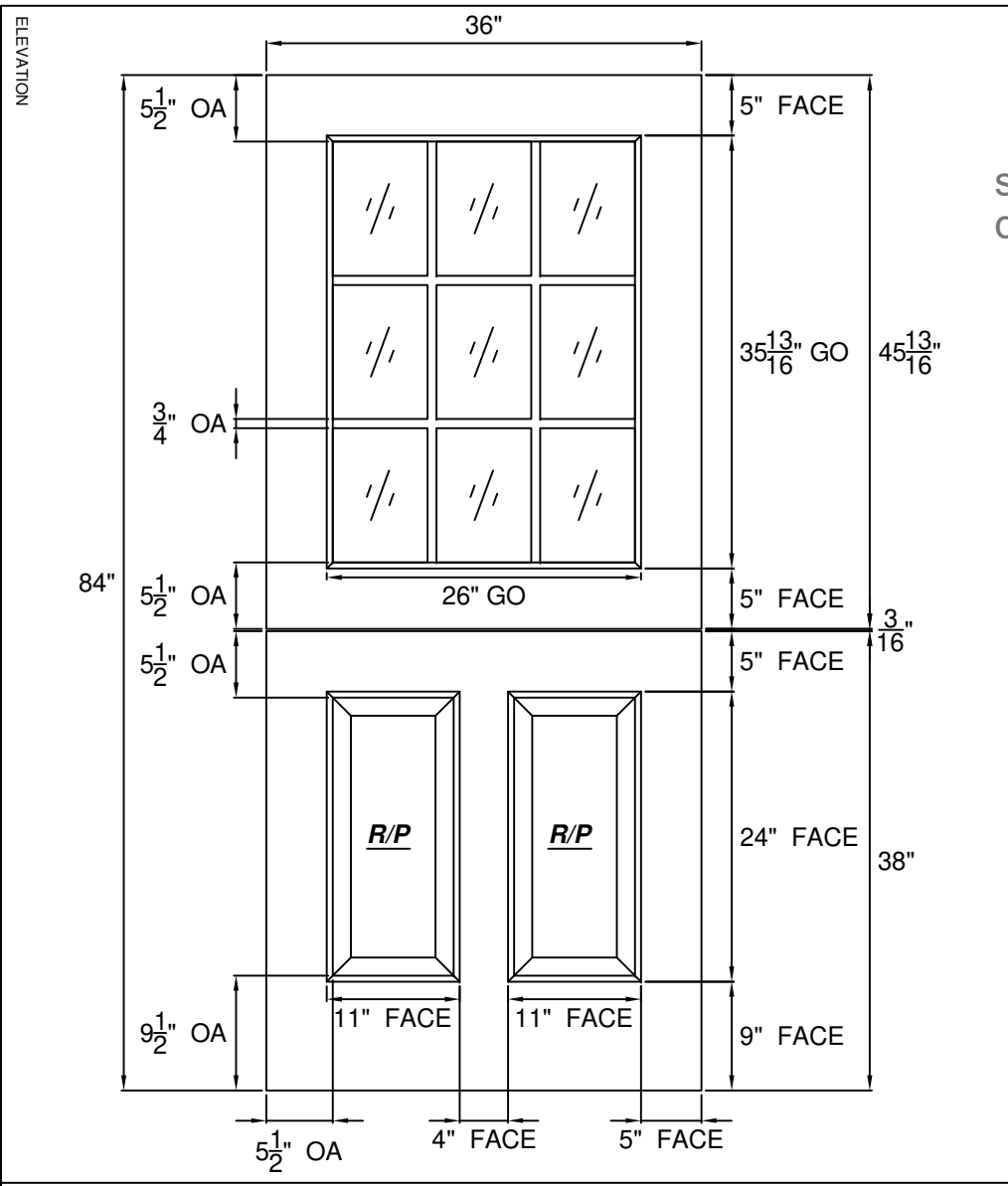
ROUGH OPENING MEASUREMENTS ARE DETERMINED BY ADDING 1" TO THE "OSJ" WIDTH AND 1/2" TO THE "OSJ" HEIGHT

<b>DallasMillwork.com</b>	Material: SG Sapele	Sticking: 1/2" M&W	Jamb: 6-9/16" (SG Sapele)
	Thickness: 1-3/4"	SDL/TDL: 3/4" SDL (Bronze GBG)	Hinges: 4x4
	Hand: LH Inswing	Casing: Brickmould	Finish: Unlacquered Brass
	Prep: Double Bore	Glass: IG Low-E soft coat	Sill: Adjustable, Bronze
	Hardware: N/A		
CUSTOMER: Home choice		QTY: 1	DWG#: NC03022606
			P.O.#:
			DATE: 3/2/26
			REV#: ----
			REVDATE: ----

770-943-3909  
 Fax: 770-943-3900

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

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ROUGH OPENING MEASUREMENTS ARE DETERMINED BY ADDING 1" TO THE "OSJ" WIDTH AND 1/2" TO THE "OSJ" HEIGHT

<b>DallasMillwork.com</b>	Material: SG Sapele	Sticking: 1/2" M&W	Jamb: 6-9/16" (SG Sapele)
	Thickness: 1-3/4"	SDL/TDL: 3/4" SDL (Bronze GBG)	Hinges: 4x4
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	Hardware: N/A		
CUSTOMER: Home choice		QTY: 1	DWG#: NC03022606
			P.O.#:
			DATE: 3/2/26
			REV#: ----
			REVDATE: ----

770-943-3909  
 Fax: 770-943-3900

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

By signing this document, I acknowledge that I have reviewed all details and confirm that they are accurate and represent the requested specifications. I understand that Dallas Millwork, Inc. will proceed with the fabrication of the work as specified by the attached drawings. Any changes or modifications after signing may result in additional costs or delays. I authorize Dallas Millwork, Inc. to execute the work as per the approved drawings.

**121 Myles Manor  
Exterior**

**Picket Fence**

We are seeking Committee feedback on constructing a picket fence around our front yard similar to the fences found on multiple other properties within the Myles Manor neighborhood.



Misc. Franklin Properties



Cont.



Cont.



**121 Myles Manor**  
**Exterior**

**Gutters and Downspouts**

We are seeking Committee perspective regarding gutter and downspout style based on our COA, construction documents, and the Guidelines. Our home was built in 1930. The guidelines state “Use gutters, downspouts, and splash blocks in a design appropriate to the age of the building they support. Use half-round gutters if the building dates from before the 1930s. Use ogee gutters if the building dates from after the 1930s.” Later, regarding Non-Historic and New Residential Buildings, the Guidelines suggest to use half-round gutters for buildings reflecting those built prior to the 1940 and ogee for buildings reflecting those built after 1940.

**121 Myles Manor  
Exterior**

**Lanterns**

We are seeking feedback on replacing a previously replaced (2007 and demoed during current remodel) lantern on the front of the home with a Bevolo lantern as well as placing two Bevolo lanterns on the rear entrance of the home, which is part of the current addition.



**121 Myles Manor  
Exterior**

**Parking**

We are seeking feedback on parking sites within our property so that we can move cars off of the street. Our family of seven will soon have seven cars between us, and we want to honor our neighbors with where those vehicles are located.



a schematic landscape master plan for the:  
**CASH RESIDENCE**  
121 MYLES MANOR COURT  
FRANKLIN, TN



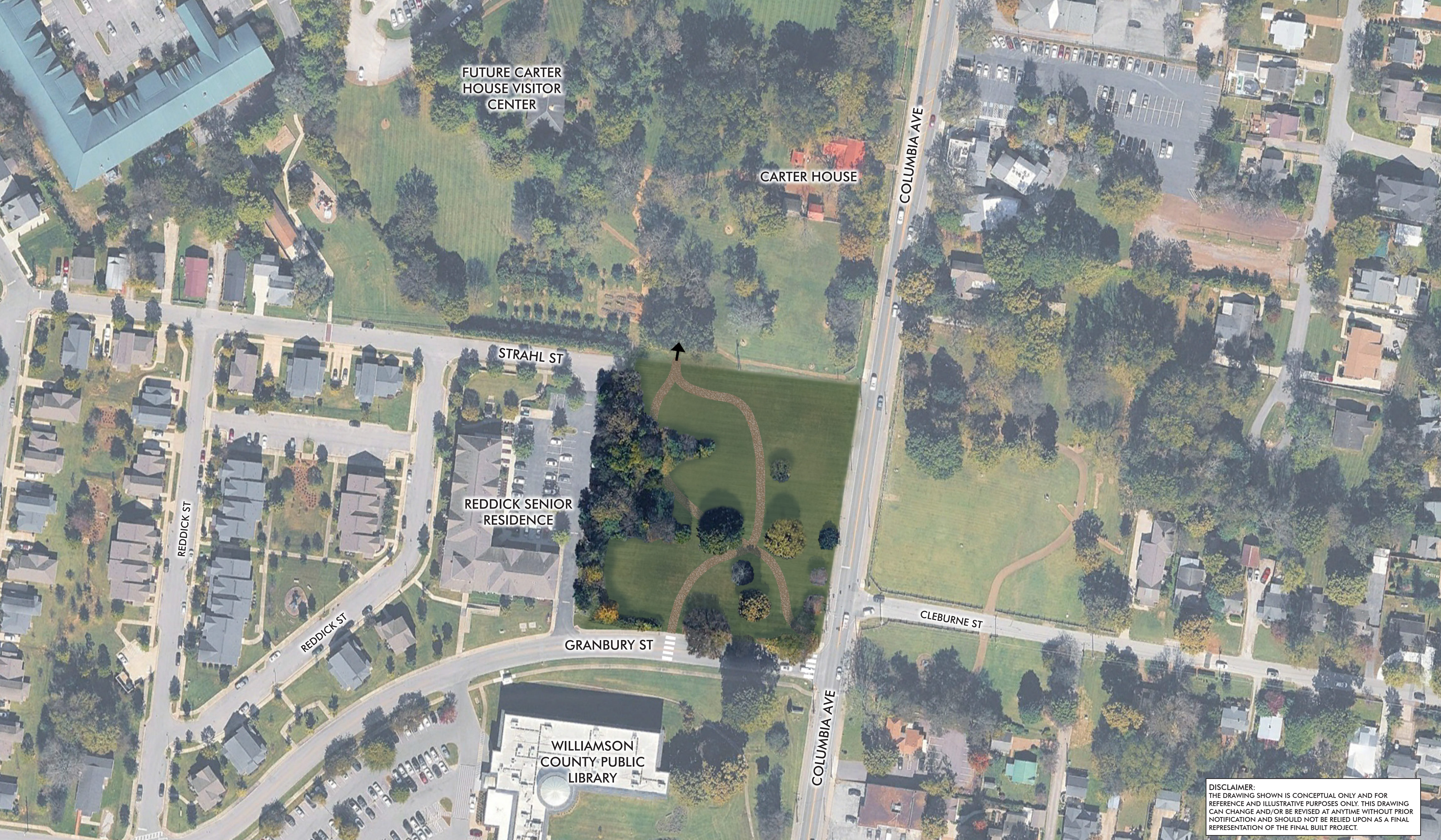
ALAN G. HENDERSON &  
FRYLY R. HENDERSON  
R.O.W.C., TN  
BOOK 7693

**121 Myles Manor  
Exterior**

**Chimney Caps**

We are seeking feedback on future options for caps for our three chimneys.

*\*\*AI Disclosure and Disclaimer: Some of these pictures were edited using AI to give an idea of what a final product could look like. AI does strange things to photographs, and these images are meant to propose general direction for conversation, not to specify materials, placement, colors, etc.*



FUTURE CARTER  
HOUSE VISITOR  
CENTER

CARTER HOUSE

STRAHL ST

REDDICK SENIOR  
RESIDENCE

GRANBURY ST

WILLIAMSON  
COUNTY PUBLIC  
LIBRARY

COLUMBIA AVE

CLEBURNE ST

COLUMBIA AVE

REDDICK ST

REDDICK ST

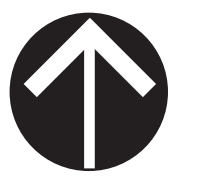
DISCLAIMER:  
THE DRAWING SHOWN IS CONCEPTUAL ONLY AND FOR  
REFERENCE AND ILLUSTRATIVE PURPOSES ONLY. THIS DRAWING  
CAN CHANGE AND/OR BE REVISED AT ANYTIME WITHOUT PRIOR  
NOTIFICATION AND SHOULD NOT BE RELIED UPON AS A FINAL  
REPRESENTATION OF THE FINAL BUILT PROJECT.



LANDSCAPE  
ARCHITECTURE  
& LAND PLANNING

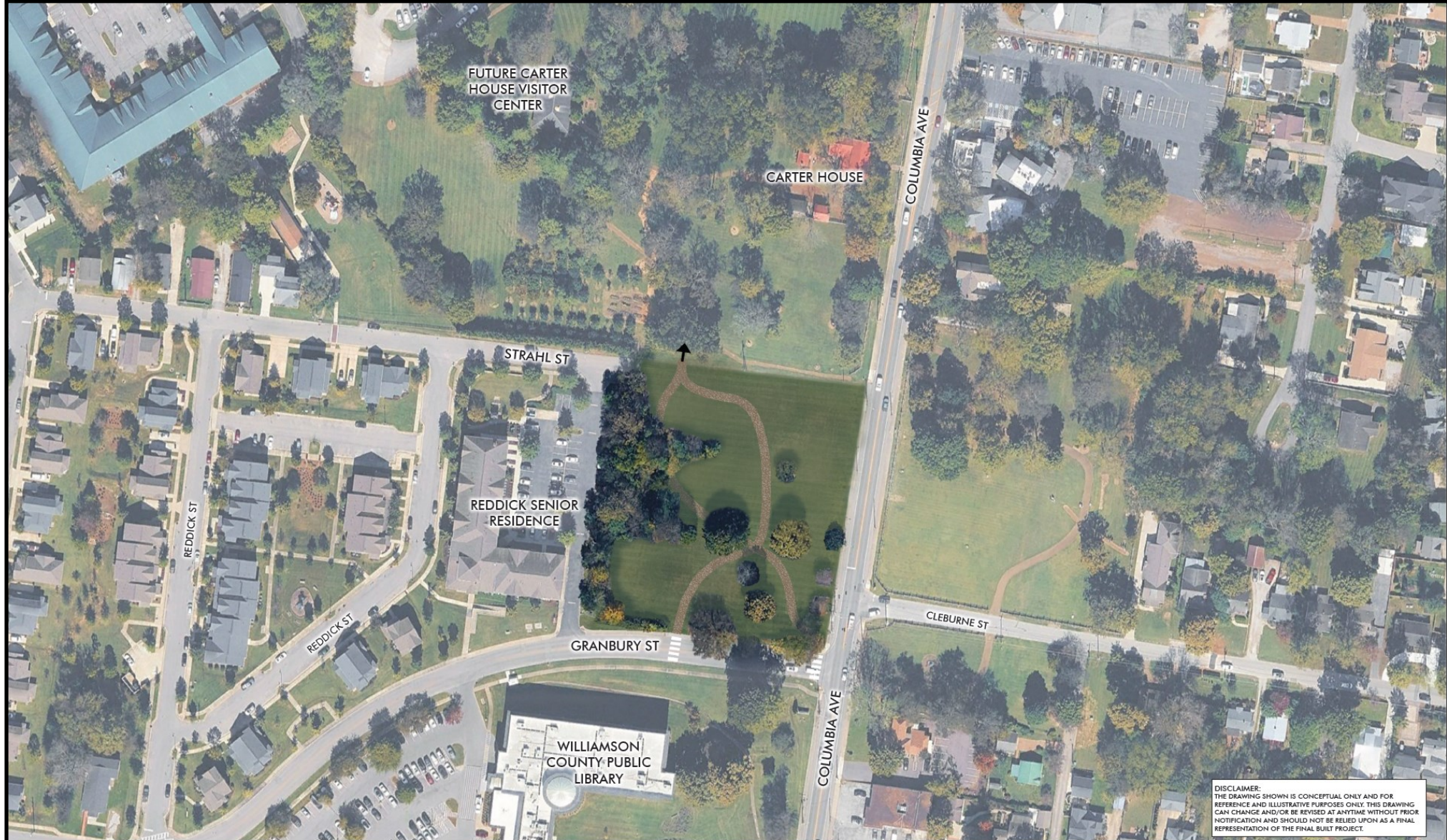
PARK CONCEPT PLAN  
**FRANKLIN BATTLEFIELD PARK**  
FRANKLIN, WILLIAMSON COUNTY, TN

JANUARY 07, 2026  
Project #25118



# Carter Hill Battlefield Park Expansion

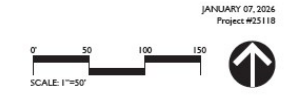


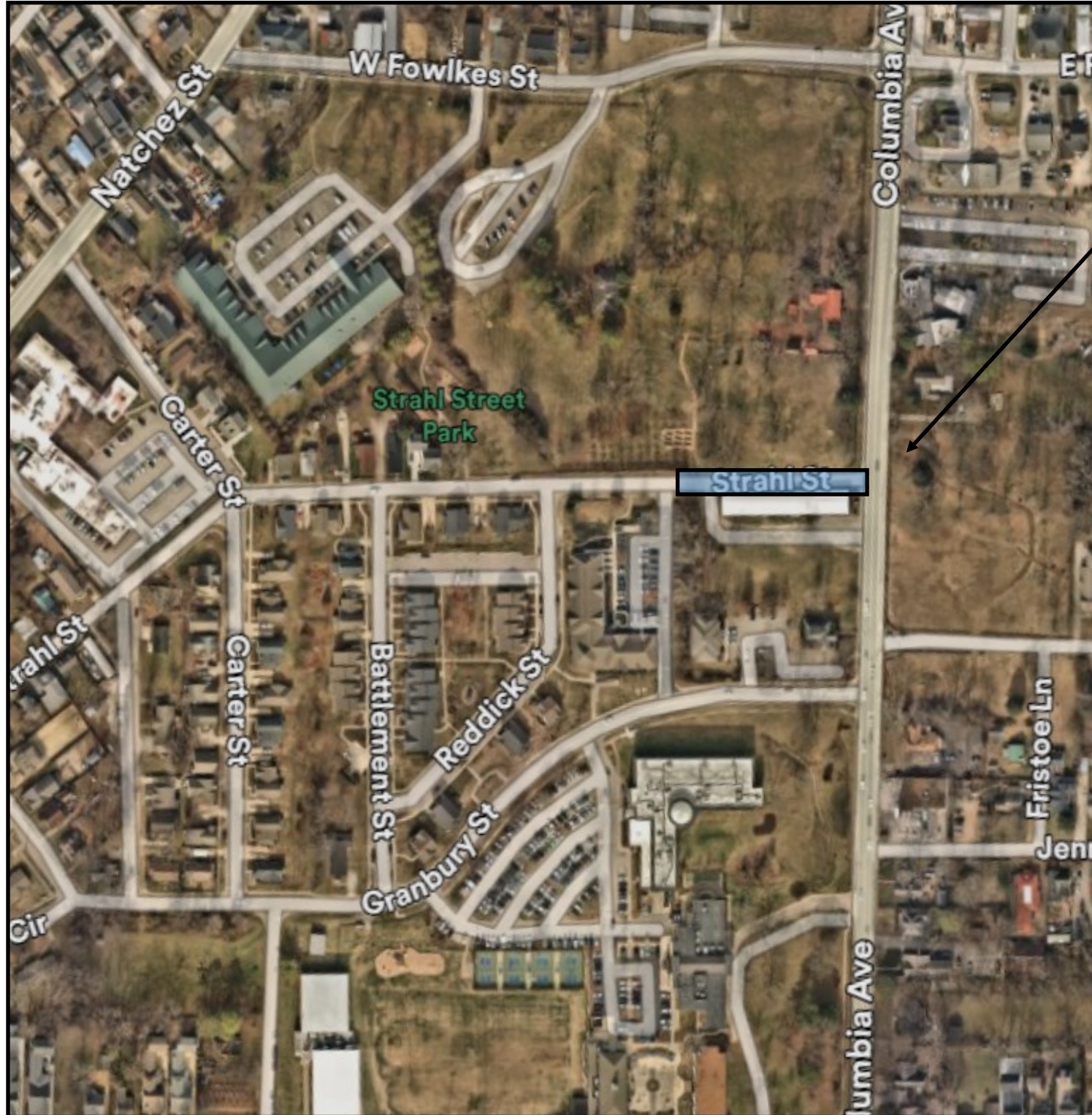


DISCLAIMER:  
THE DRAWING SHOWN IS CONCEPTUAL ONLY AND FOR  
REFERENCE AND ILLUSTRATIVE PURPOSES ONLY. THIS DRAWING  
CAN CHANGE AND/OR BE REVISED AT ANYTIME WITHOUT PRIOR  
NOTIFICATION AND SHOULD NOT BE RELIED UPON AS A FINAL  
REPRESENTATION OF THE FINAL BUILT PROJECT.

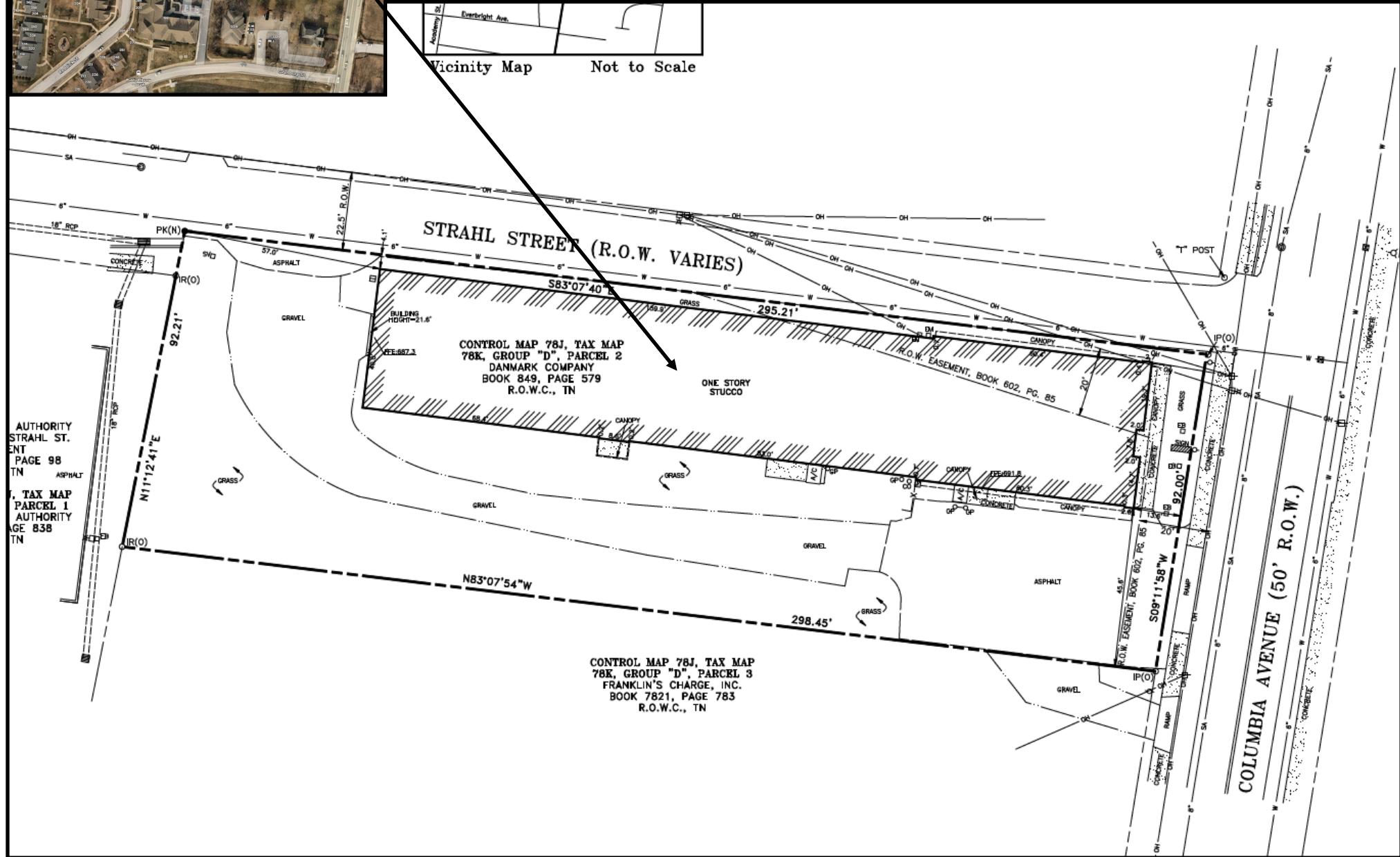
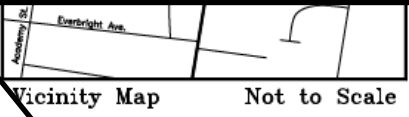
**RVD** LANDSCAPE  
ARCHITECTURE  
& LAND PLANNING

PARK CONCEPT PLAN  
**FRANKLIN BATTLEFIELD PARK**  
FRANKLIN, WILLIAMSON COUNTY, TN

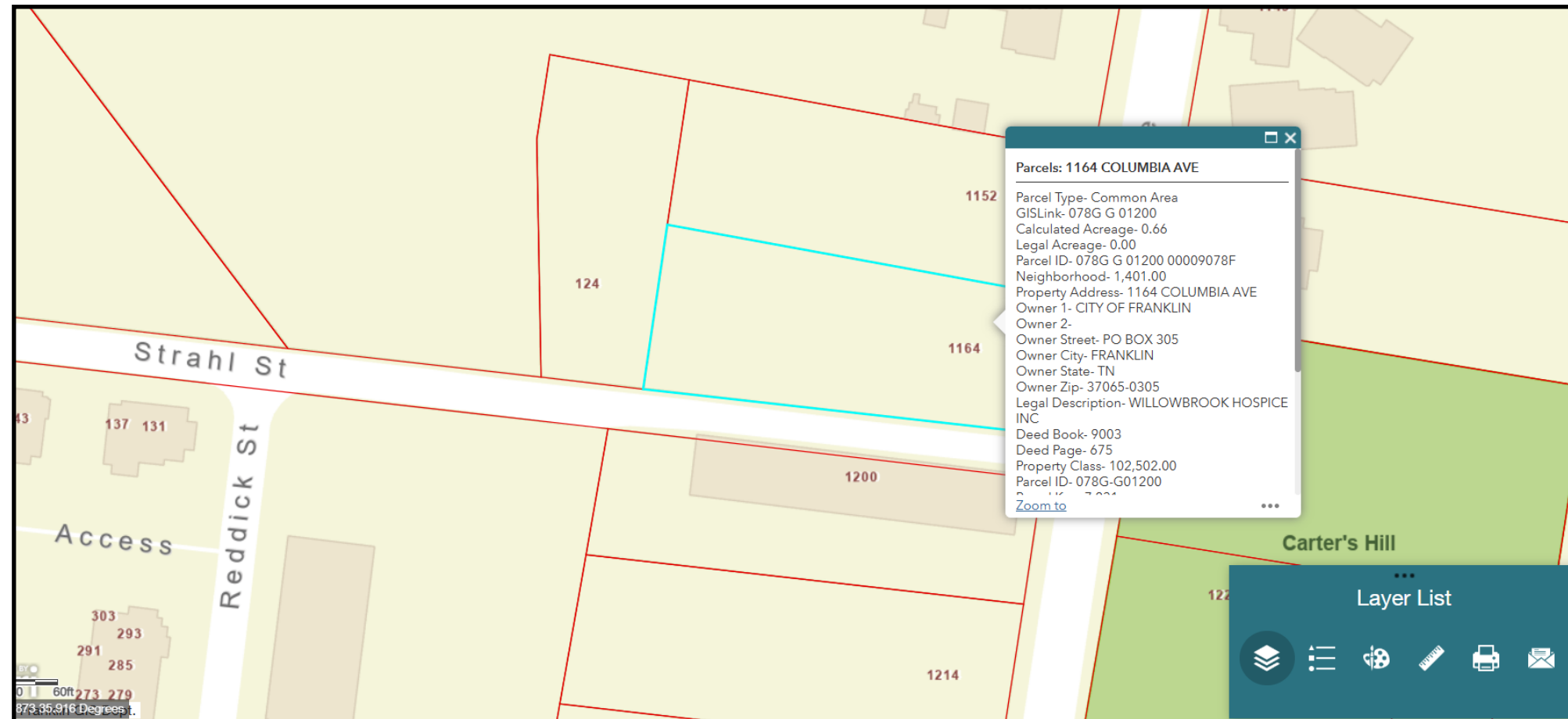




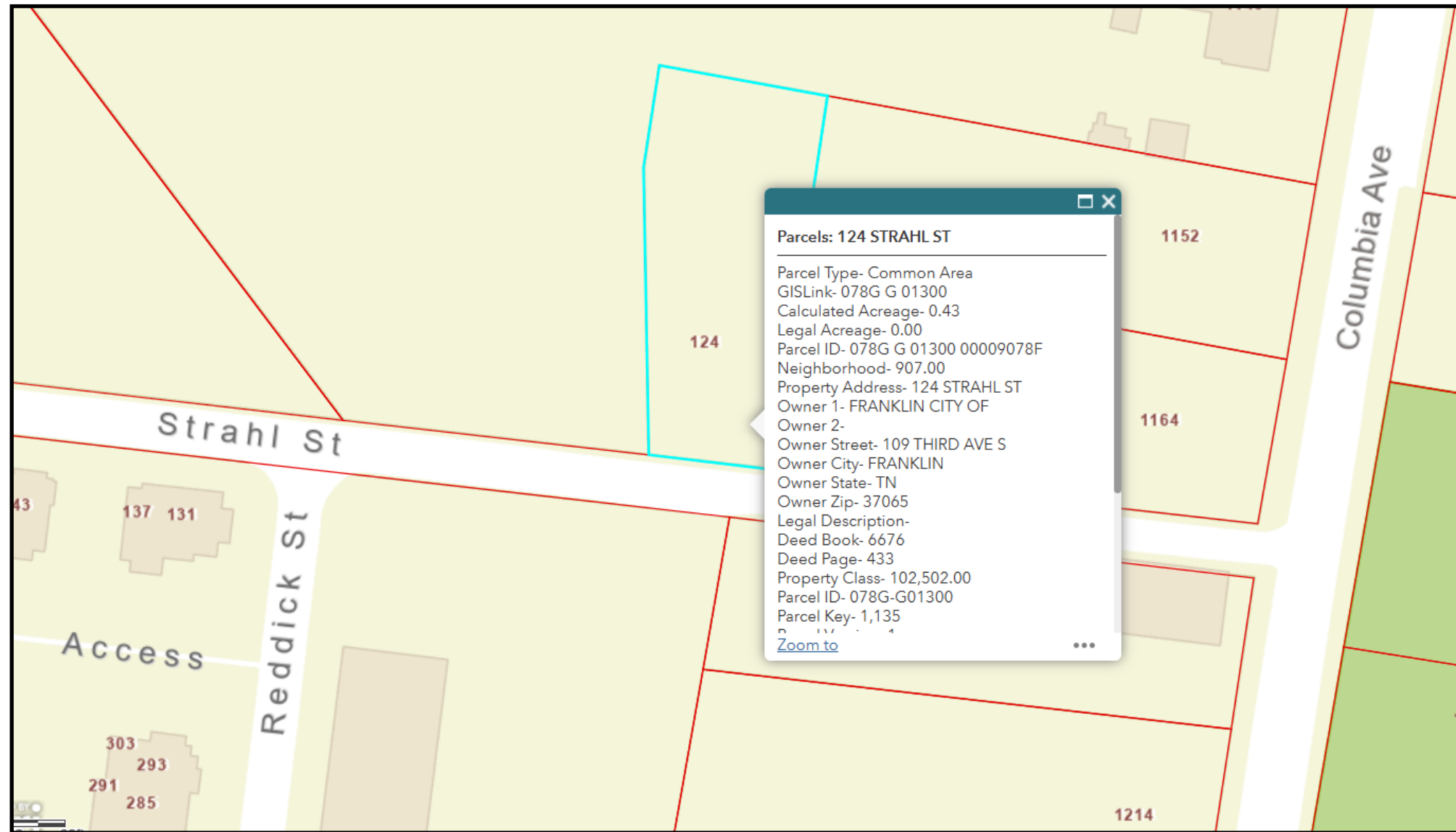
The concept plan reflects **re-purposing** the section of Strahl Street so the Carter Hill Park can continue seamlessly across the area rather than be divided by the roadway. Because the City will own both sides of Strahl Street by the end of 2026, the term “abandoning the right-of-way” is not accurate in this case, as the City is not relinquishing any property.



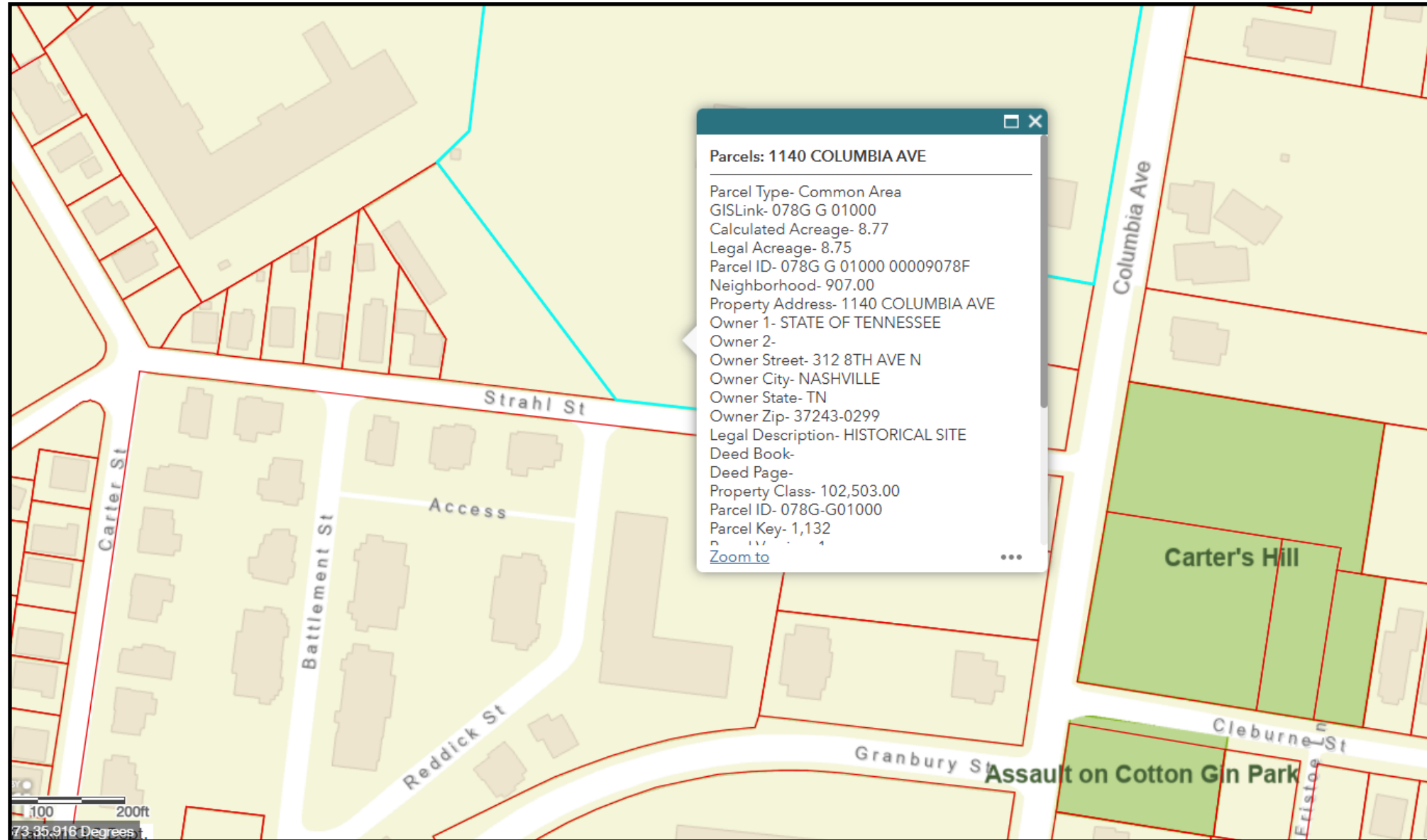
**PARCEL OWNERSHIP: 1164 CITY OF FRANKLIN**



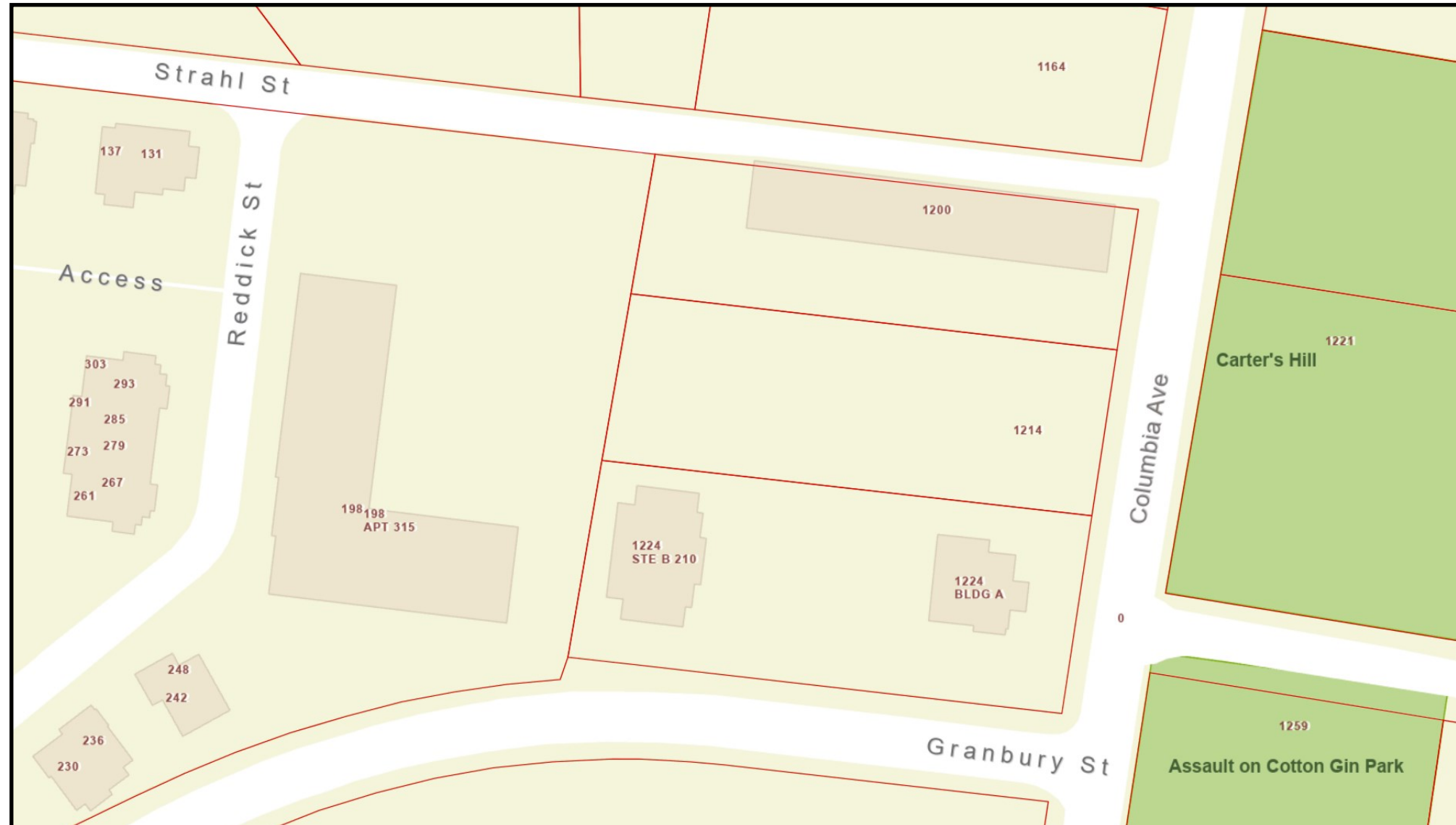
**PARCEL OWNERSHIP: 124 CITY OF FRANKLIN**



**PARCEL OWNERSHIP: 125 STATE OF TENNESSEE**



**PARCEL OWNERSHIP: 1200, 1214, & 1224 FRANKLIN'S CHARGE INC. POST DEMO WILL BE DEEDED TO CITY**



# AS-BUILT DRAWINGS

1309 ADAMS STREET  
FRANKLIN, TENNESSEE 37064

2026.04.13 // AS-BUILT DRAWINGS

## ARCHITECTURE SHEET LIST

G001 COVER SHEET  
A101 FLOOR PLAN AS-BUILT  
A104 ROOF PLAN AS-BUILT  
A201 EXTERIOR ELEVATIONS AS-BUILT  
A202 EXTERIOR ELEVATIONS AS-BUILT

# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

AS-BUILT  
DRAWINGS

**1309 ADAMS STREET**

1309 ADAMS ST., FRANKLIN, TN 37064

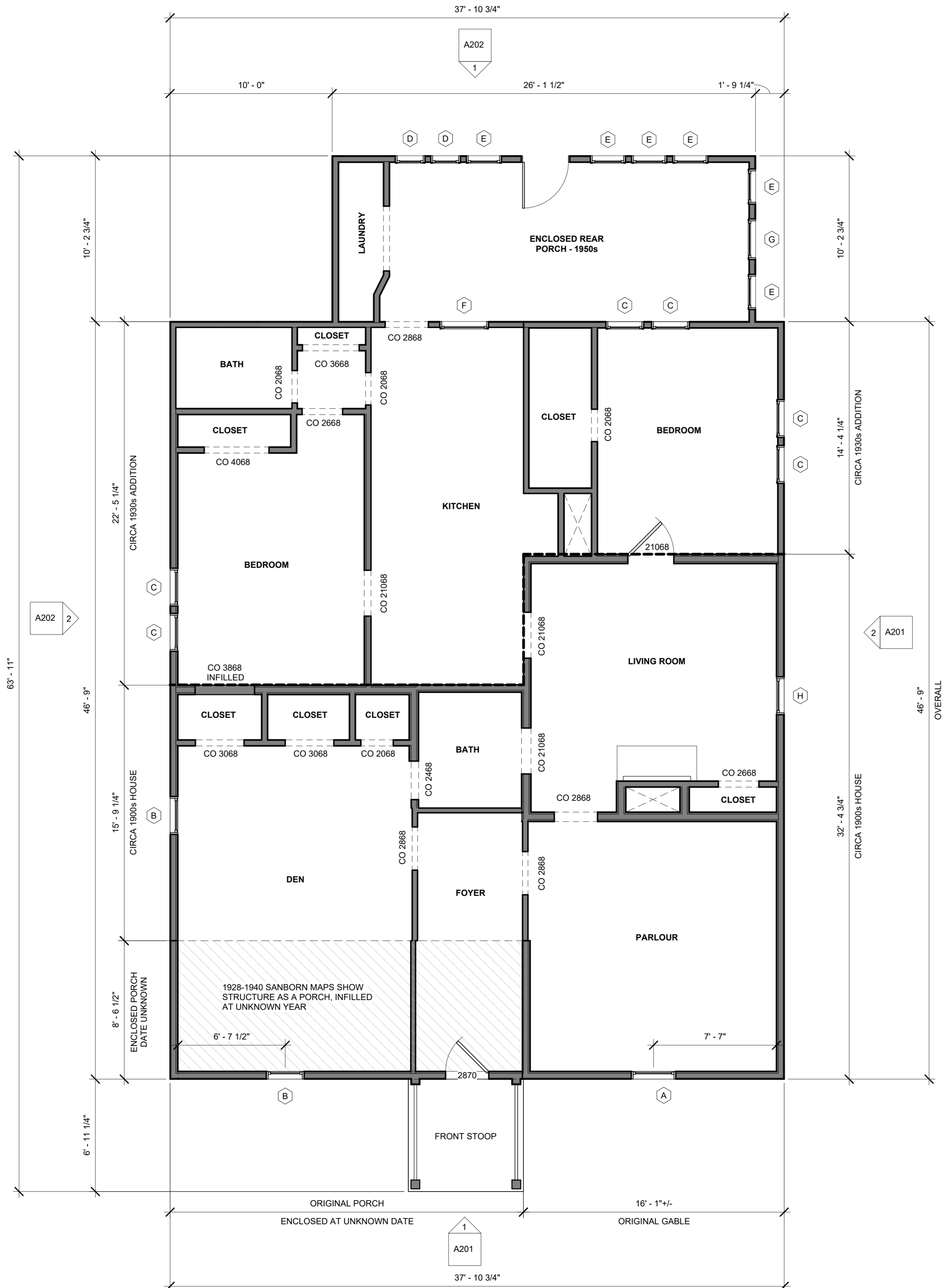
MAIN RESIDENCE

2026.04.13

250904

COVER SHEET

# G001



EXIST PRIMARY FOOTPRINT: 1,946 SF  
 EXIST REAR ADDITION: 288 SF  
 TOTAL FOOTPRINT: 2,234 SF

1 FLOOR PLAN // AS-BUILT  
 1/4" = 1'-0"

### FLOOR PLAN LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- WALL TYPE - SEE G002
- FIXTURE KEYNOTE
- BRICK EXTERIOR - SEE ELEV SHEETS
- STONE EXTERIOR - SEE ELEV SHEETS

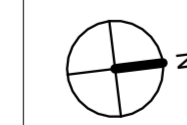
### GENERAL NOTES

1. TBD

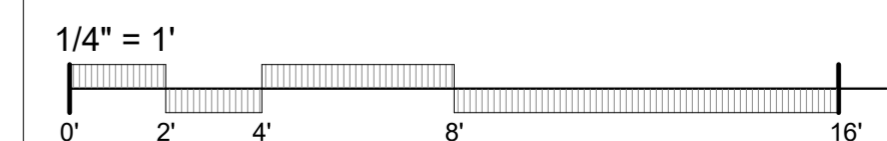
### WINDOW NOTES

1. SIZES SHOWN ARE NOMINAL. VERIFY RO WITH WINDOW SPECIFICATION SHEET.
2. TBD

EXISTING WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	SILL HEIGHT	NOTES
A	2' - 9"	7' - 0"	1' - 4"	
B	2' - 4"	7' - 0"	<varies>	
C	2' - 4"	5' - 0"	<varies>	
D	1' - 10"	3' - 0"	3' - 1 1/4"	
E	2' - 2"	3' - 0"	3' - 1 1/4"	
F	3' - 0"	4' - 5"	1' - 0"	
G	2' - 6"	3' - 0"	3' - 1 1/4"	
H	2' - 4"	7' - 0"	1' - 5"	



### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

AS-BUILT  
DRAWINGS

## 1309 ADAMS STREET

1309 ADAMS ST., FRANKLIN, TN 37064

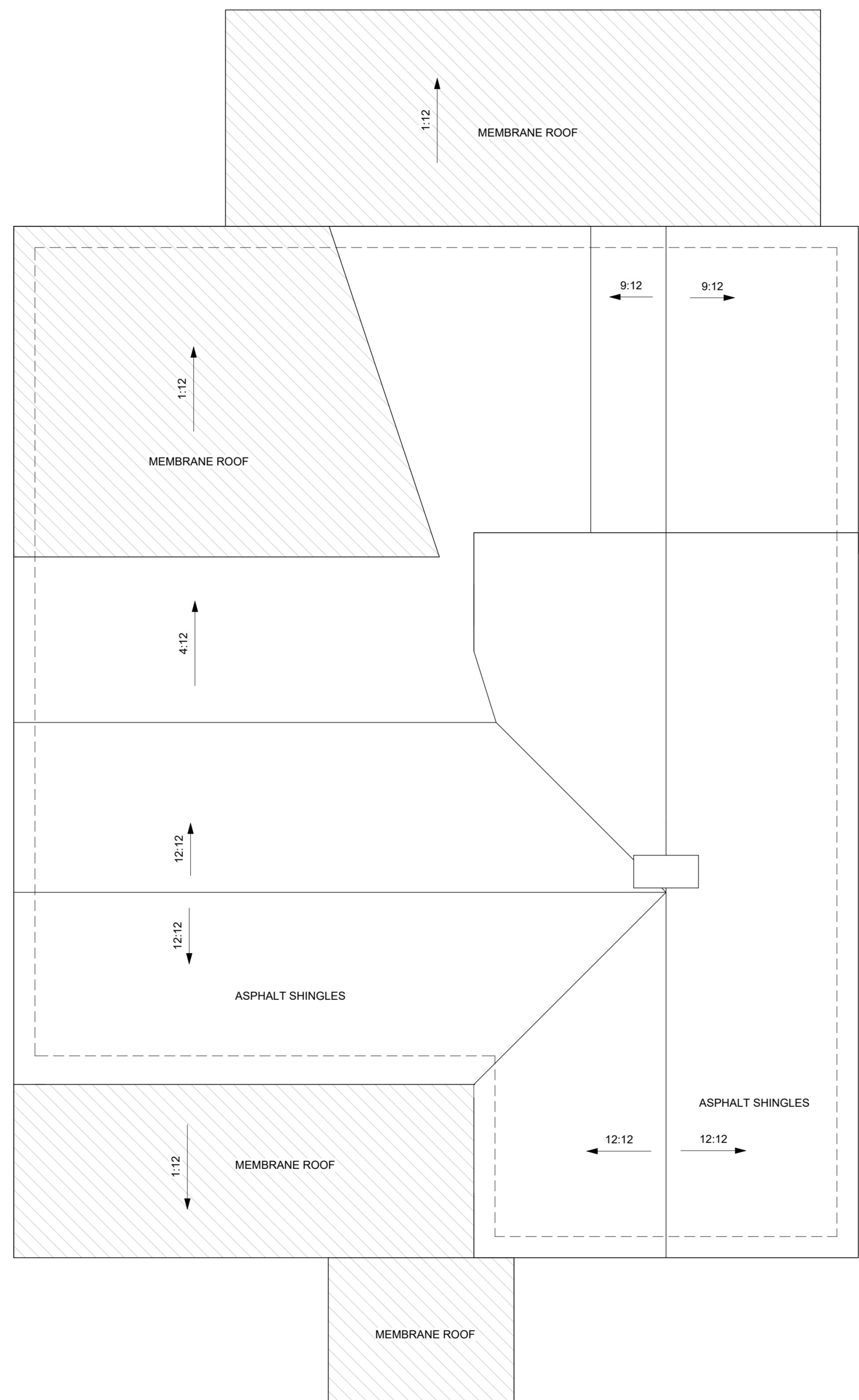
MAIN RESIDENCE

2026.04.13

250904



FLOOR PLAN  
AS-BUILT

# A101

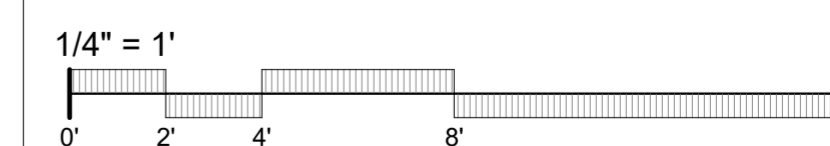


① ROOF PLAN // AS-BUILT  
1/4" = 1'-0"

ROOF PLAN LEGEND

-  EXISTING ASPHALT SHINGLE ROOF
-  EXISTING MEMBRANE ROOF

GRAPHIC SCALES



**CHISEL**

PO BOX 680566 | FRANKLIN, TN 37068

AS-BUILT  
DRAWINGS

**1309 ADAMS STREET**

1309 ADAMS ST., FRANKLIN, TN 37064

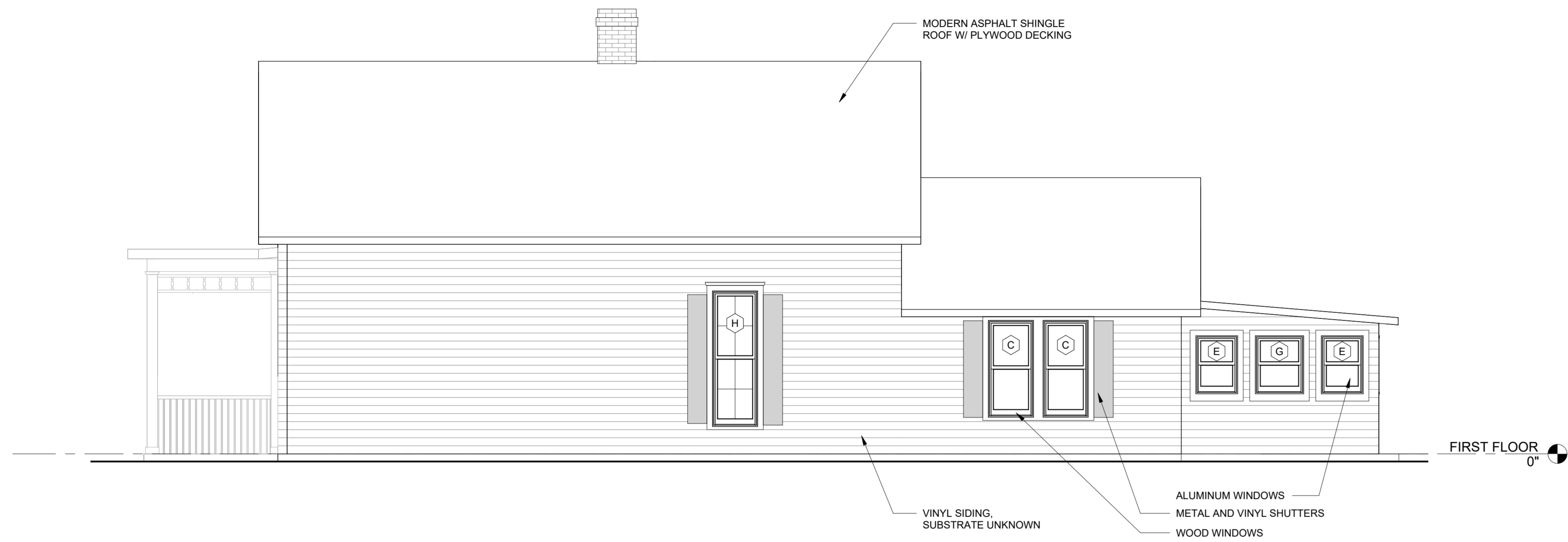
MAIN RESIDENCE

2026.04.13

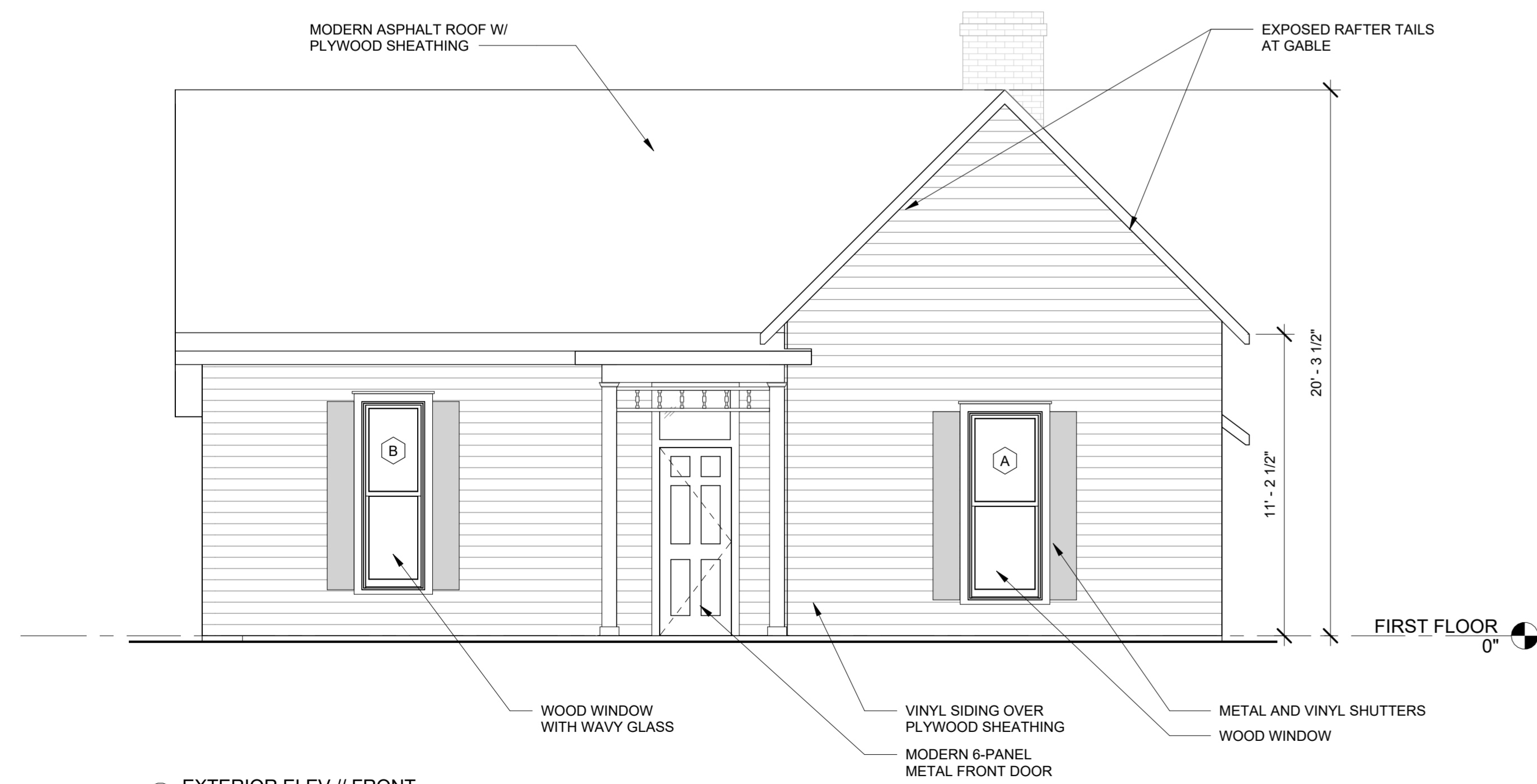
250904

ROOF PLAN  
AS-BUILT

**A104**



② EXTERIOR ELEV // LEFT SIDE  
1/4" = 1'-0"



① EXTERIOR ELEV // FRONT  
1/4" = 1'-0"



EXISTING RIGHT ELEVATION



EXISTING FRONT ELEVATION

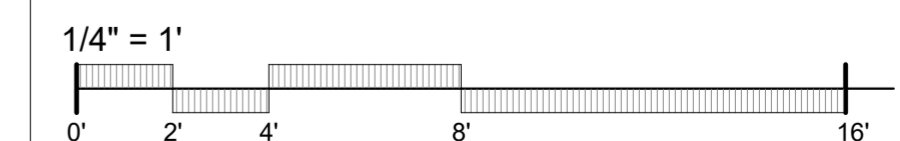
### ELEVATION LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- WINDOW TYPE - SEE A601
- BRICK EXTERIOR
- STONE EXTERIOR
- HARDIE SIDING EXTERIOR

### GENERAL NOTES

1. SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
2. TBD

### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

AS-BUILT  
DRAWINGS

**1309 ADAMS STREET**  
1309 ADAMS ST., FRANKLIN, TN 37064  
MAIN RESIDENCE

2026.04.13

250904

EXTERIOR  
ELEVATIONS  
AS-BUILT  
**A201**

## AS-BUILT DRAWINGS

# 1309 ADAMS STREET

1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.13

250904

## EXTERIOR ELEVATIONS AS-BUILT

# A202

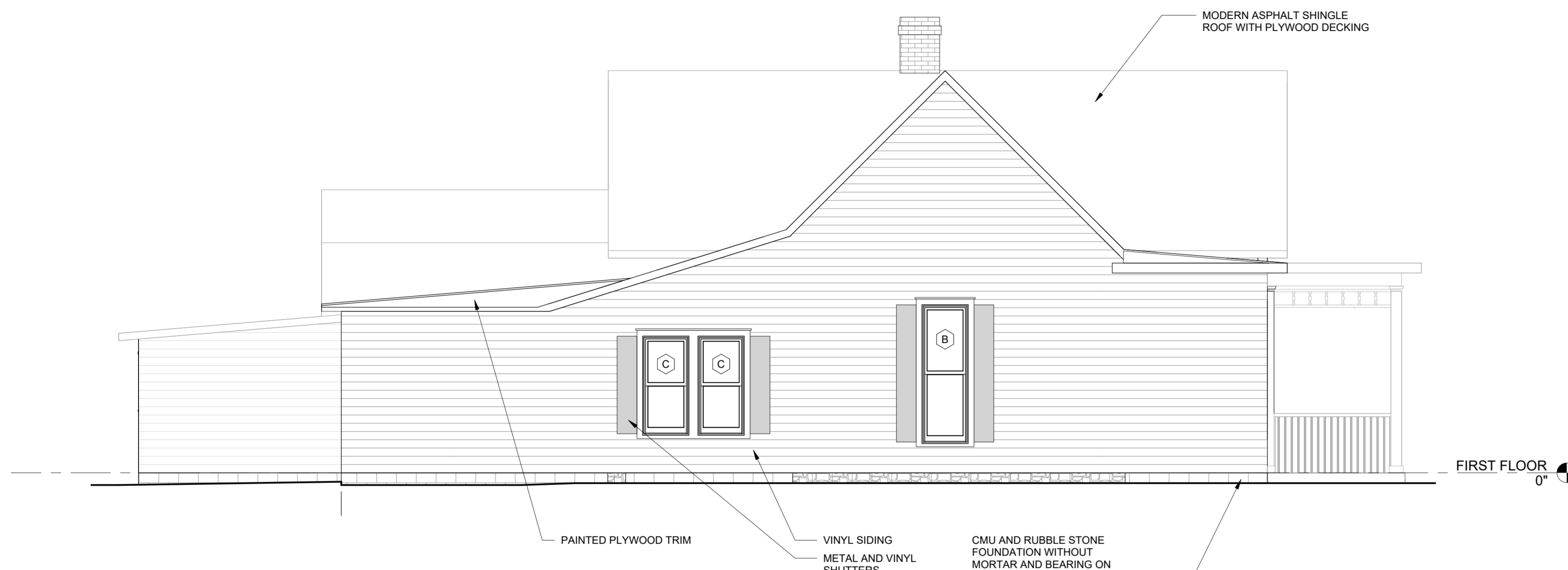
### ELEVATION LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- WINDOW TYPE - SEE A601
- BRICK EXTERIOR
- STONE EXTERIOR
- HARDIE SIDING EXTERIOR

### GENERAL NOTES

- SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
- TBD

### GRAPHIC SCALES



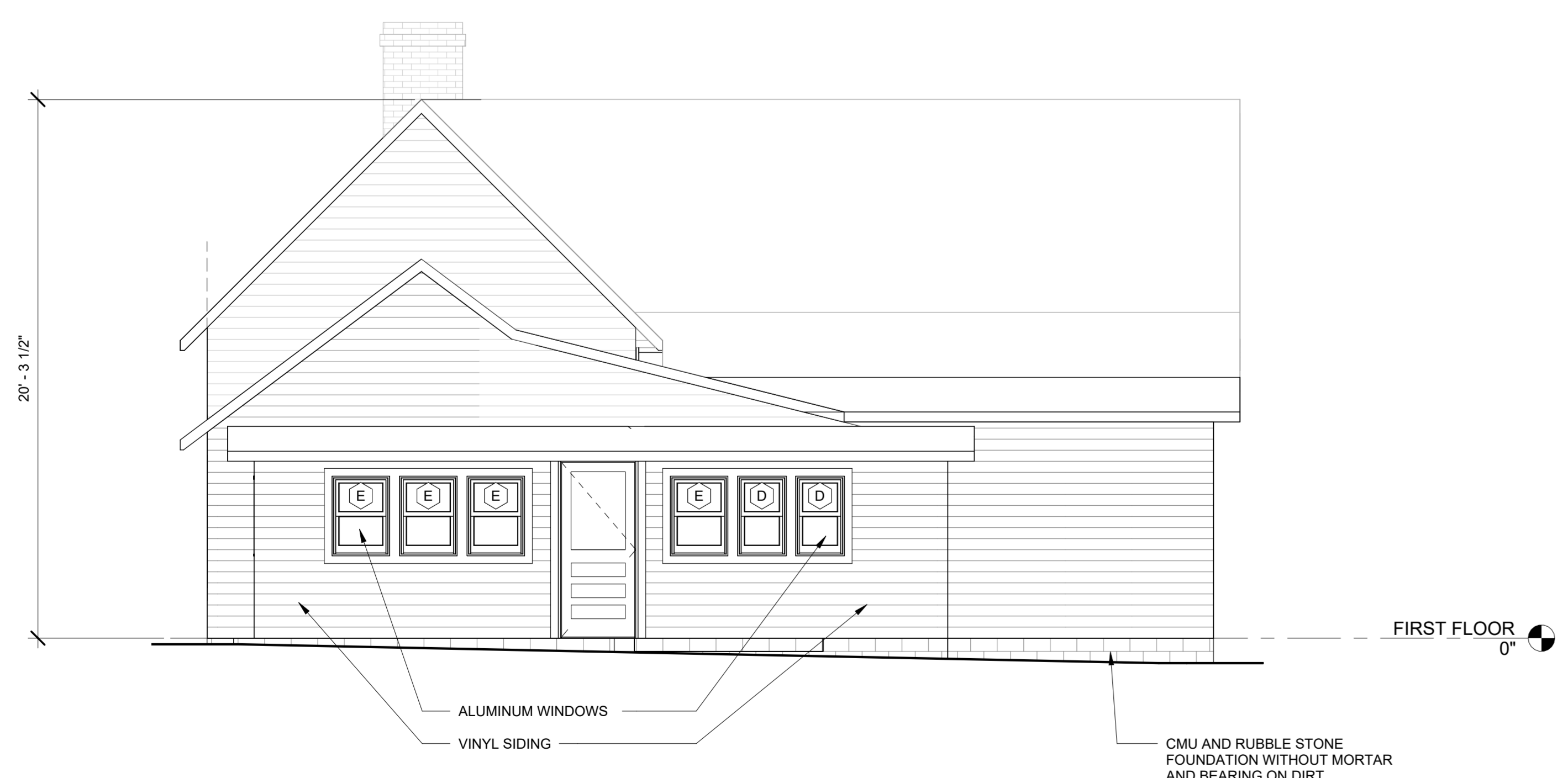
2 EXTERIOR ELEV // RIGHT SIDE  
1/4" = 1'-0"



EXISTING LEFT ELEVATION



EXISTING REAR ELEVATION



1 EXTERIOR ELEV // REAR  
1/4" = 1'-0"

# HENDRIX RESIDENCE

1309 ADAMS STREET  
FRANKLIN, TENNESSEE 37064

2026.04.13 // DESIGN REVIEW

## ARCHITECTURE SHEET LIST

- G001 COVER SHEET
- SP100 SITE PLAN
- D101 DEMO PLAN
- A100 FOUNDATION PLAN
- A101 FIRST FLOOR PLAN
- A102 SECOND FLOOR PLAN
- A104 ROOF PLAN & ROOF DETAILS
- A201 EXTERIOR ELEVATIONS
- A202 EXTERIOR ELEVATIONS
- A203 3D PERSPECTIVES

**CHISEL**

PO BOX 680566 | FRANKLIN, TN 37068

DESIGN  
REVIEW

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

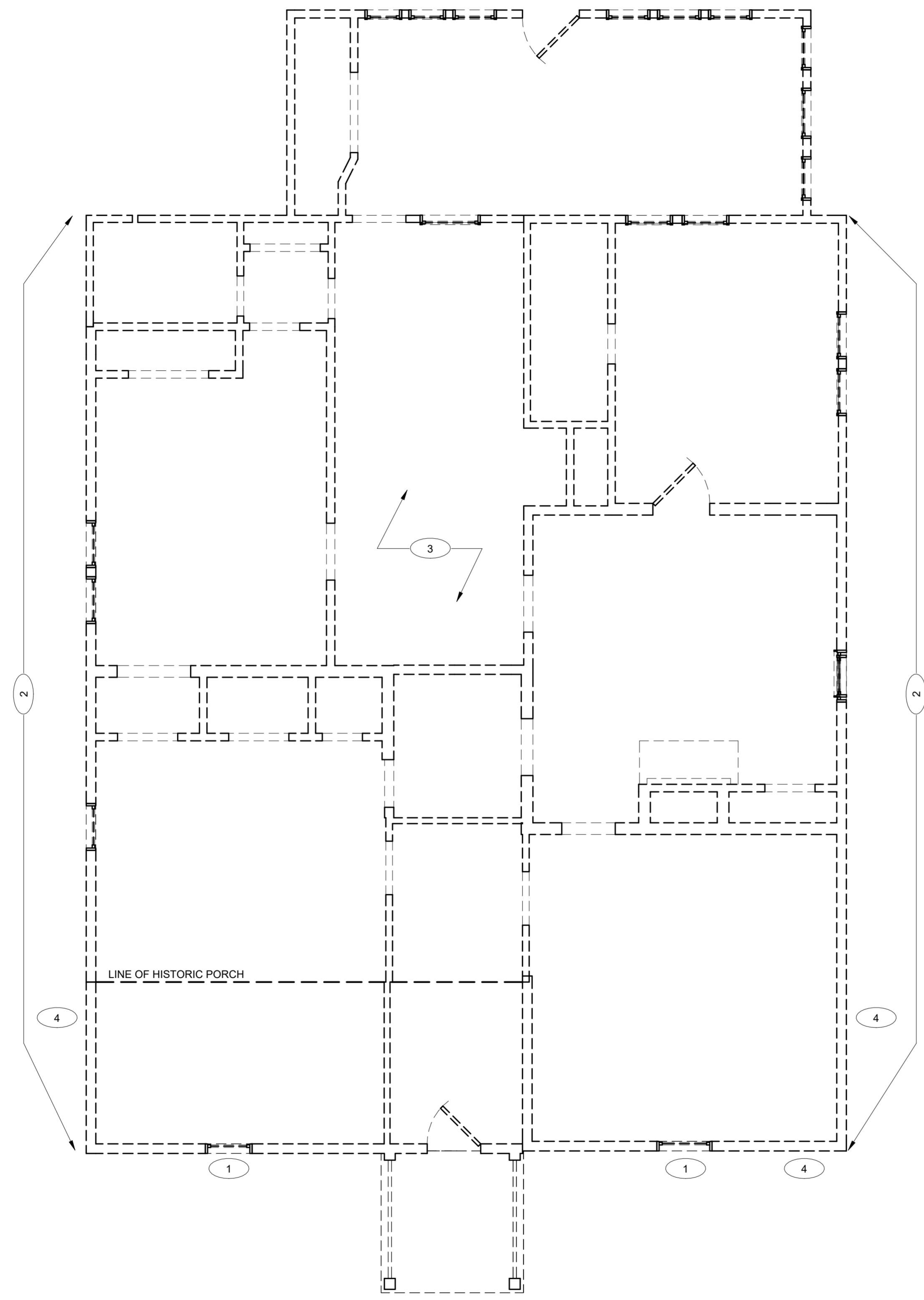
MAIN RESIDENCE

2026.04.13

250904

COVER SHEET

**G001**



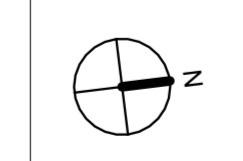
① FIRST FLOOR DEMOLITION PLAN  
1/4" = 1'-0"

### DEMOLITION NOTES

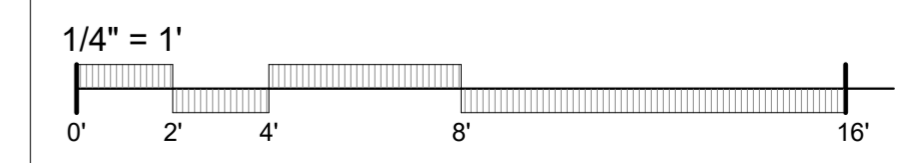
1. REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING, BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL, PLUMBING, AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSAL OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR.
2. EXERCISE CARE IN PROTECTING FINISHES AND FIXTURES TO REMAIN. THE COST TO REPAIR OR REPLACE DAMAGED FIXTURES AND FINISHES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
3. REPAIR ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC. TO SATISFACTION OF OWNER PRIOR TO INSTALLATION. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED, TO BE APPROVED BY OWNER.
4. VERIFY THAT ALL STRUCTURAL ALTERATIONS ARE PROPERLY SUPPORTED AND SHORED DURING REMOVAL AND CONSTRUCTION. CONTACT THE OWNER PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. PROCURE ENGINEERING SERVICES FOR SUPPORT OF EXISTING STRUCTURE WHERE LOAD BEARING WALL IS REMOVED.

### DEMOLITION KEYNOTES

- ① REMOVE AND PROTECT EXISTING WINDOW FOR REUSE
- ② EVALUATE CONDITION OF HISTORIC WOOD LAP SIDING, SALVAGE AND PROTECT SIDING, IF FEASIBLE, FOR POTENTIAL REUSE ON THE FRONT ELEVATION
- ③ DEMOLISH EXISTING STRUCTURE - SALVAGE HISTORIC TIMBERS FOR POSSIBLE REUSE
- ④ SALVAGE AND PROTECT EXISTING STONE FOUNDATION FOR POTENTIAL REUSE



### GRAPHIC SCALES



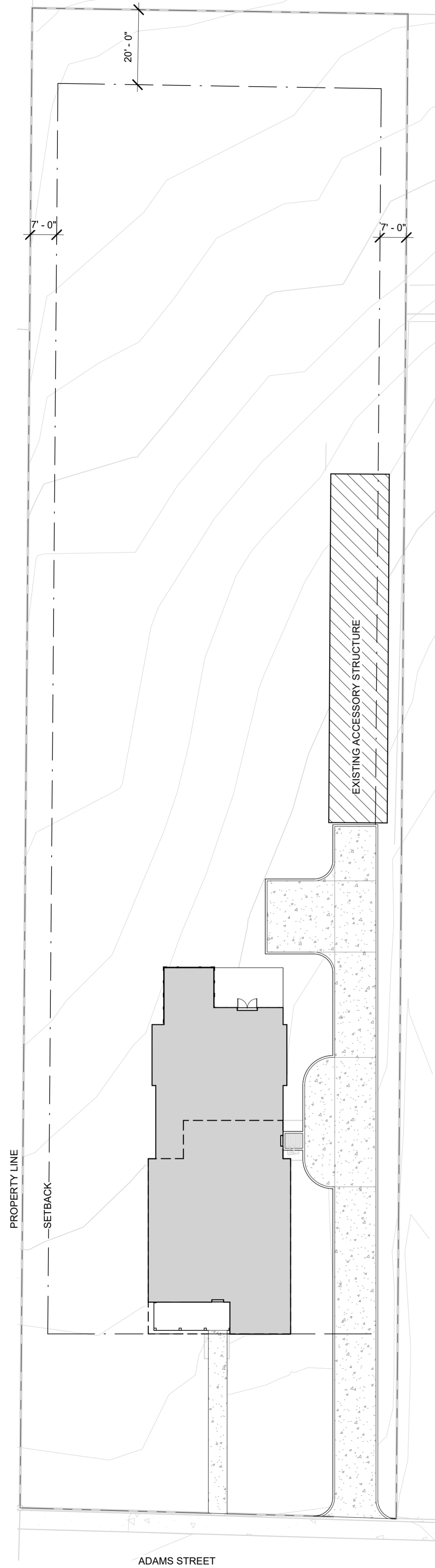
DESIGN  
REVIEW

**NEW CONSTRUCTION**  
1309 ADAMS ST., FRANKLIN, TN 37064  
MAIN RESIDENCE

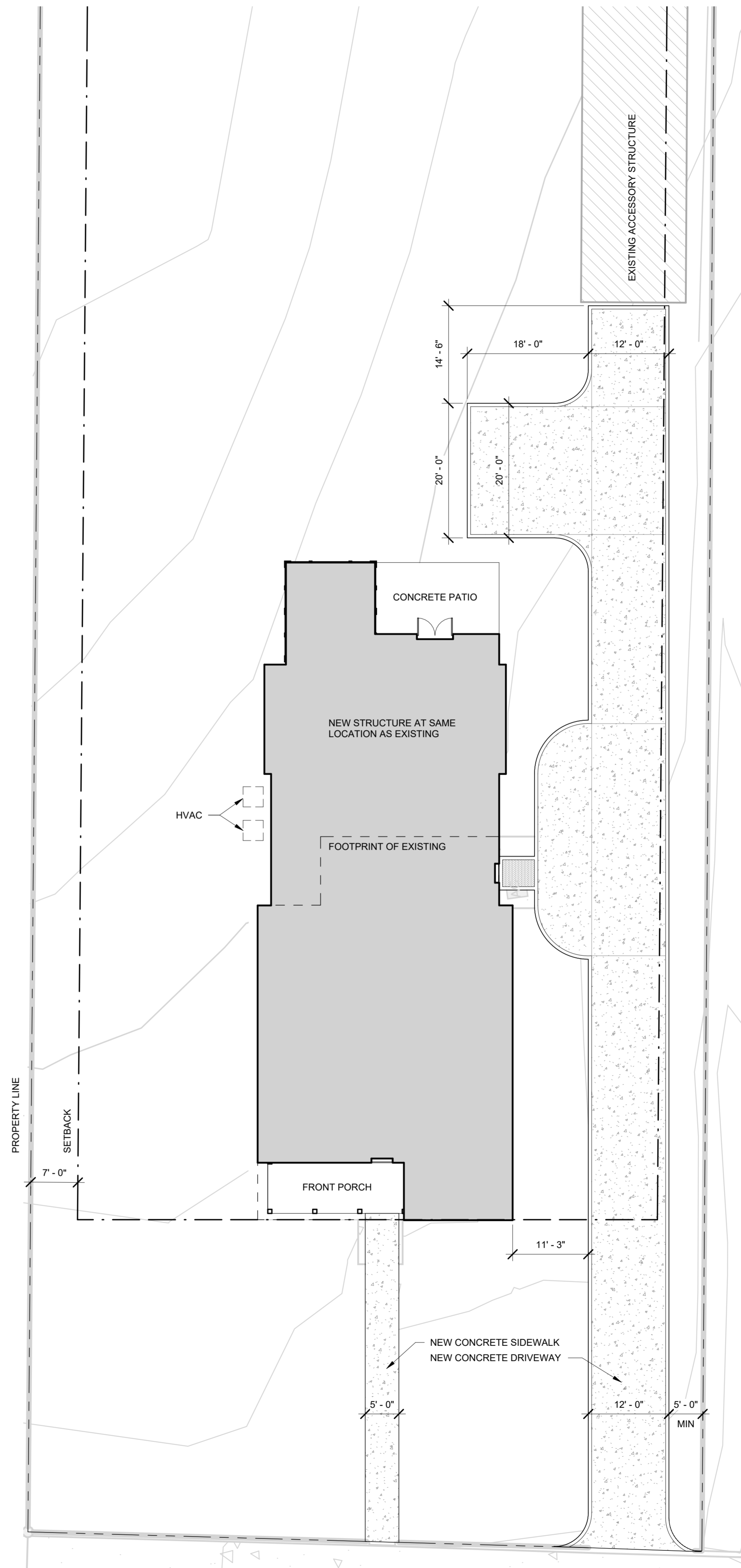
2026.04.13 | 250904

**DEMO PLAN**

**D101**



2 SITE PLAN - KEY  
1" = 20'-0"



1 SITE PLAN  
3/32" = 1'-0"

### GENERAL NOTES

- SEE G002 FOR ZONING AND CODE ANALYSIS
- EAVES, GUTTERS OR DOWNSPOUTS, SHALL NOT PROJECT INTO OR OVER REQUIRED YARD SETBACK NOT MORE THAN 24" PER METRO ZONING CHAPTER 17.12.040. SEE SITE PLAN FOR EAVE ENCROACHMENT.
- CHIMNEYS SHALL NOT PROJECT MORE THAN THREE FEET INTO REQUIRED SETBACK PER METRO ZONING CHAPTER 17.12.040.
- GRADING PLAN SHOWN FOR DESIGN INTENT ONLY. COORDINATE GRADING PLAN, SITE WALLS, DRAINAGE DESIGN, ETC WITH CIVIL ENGINEER OR LANDSCAPE ARCHITECT.

### SITE ANALYSIS

ZONING: R4 - RESIDENTIAL

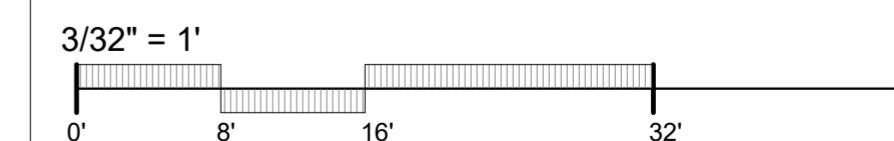
LOT SIZE: 40,135 SF (0.92 ACRES)

**LOT COVERAGE**  
 PROPOSED PRIMARY: 3,111 SF  
 EXISTING ACCESSORY: 1,450 SF  
 PORCH & PATIO: 350 SF  
 NEW DRIVE & WALK: 3,130 SF  
 TOTAL LOT COVERAGE: 8,041 SF

**LANDSCAPE SURFACE AREA**  
 8,041 SF / 40,135 SF = 0.20 (20% IMPERVIOUS)

**PROPOSED LANDSCAPE SURFACE AREA: 80%**  
 MINIMUM LSA: 40%

### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

DESIGN  
REVIEW

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

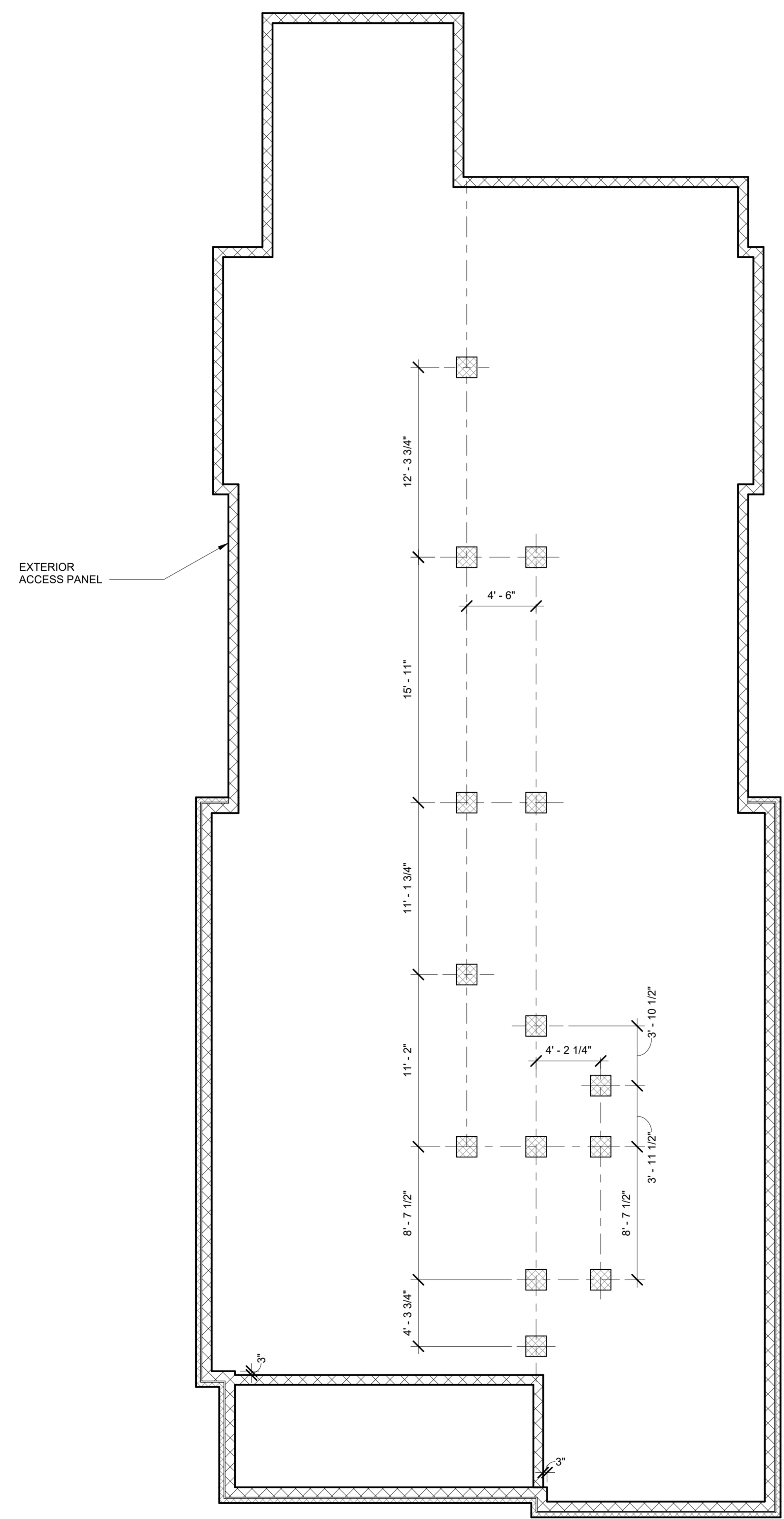
MAIN RESIDENCE

2026.04.13

250904

SITE PLAN

**SP100**



① FOUNDATION PLAN  
3/16" = 1'-0"

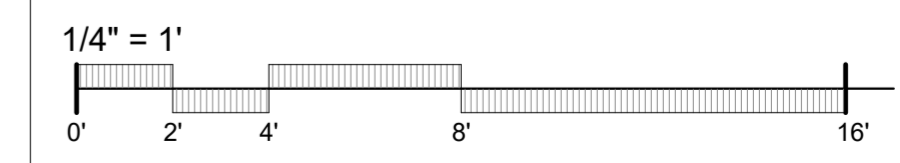
### FOUNDATION LEGEND

- EXTERIOR FACE OF STUD
- CONCRETE FOUNDATION
- CONCRETE BLOCK FOUNDATION

### GENERAL NOTES

1. DIMENSIONS ARE FROM OUTSIDE FACE OF 8" BLOCK AND 2X6 WALL STUD.
2. FOUNDATION SIZE, DEPTH, AND DESIGN TO BE VERIFIED AND DESIGNED BY STRL ENGINEER.
3. FOUNDATION GRAPHICALLY SHOWN. CONCRETE MIXTURE OR CMU DESIGN, DEPTH, REBAR DESIGN, ETC. TO BE DESIGNED BY STRL ENGINEER.
4. GENERAL CONTRACTOR TO PROVIDER ENGINEER SERVICES FOR SIZES OF ALL FRAMING AND BEAMS FOR ALL LEVELS PRIOR TO CONSTRUCTION.
5. INTERNAL BLOCK WALLS MAY BE DESIGNED AS PIERS PER STRL ENGINEER'S RECOMMENDATIONS.
6. ADD CONCRETE PIERS AS DETERMINED BY ENGINEER AND STRUCTURAL FRAMING. ADD CONCRETE PIERS AND FOUNDATION AS REQUIRED FOR EXTERIOR PATIOS, DECKS, ETC.
7. PROVIDE ACCESS PANEL TO CRAWL SPACE AS REQUIRED BY IRC R408.4. ACCESS THROUGH FLOOR SHALL BE A MINIMUM OF 18" X 24". ACCESS THROUGH PERIMETER WALL SHALL BE A MINIMUM OF 16" X 24". CONDITIONED CRAWL SPACE OR VENTILATE PER M1305.1.4.
8. FOUNDATION FOR SITE WALLS AND PATIOS TO BE DESIGNED BY STRL ENGINEER.

### GRAPHIC SCALES



**CHISEL**

PO BOX 680566 | FRANKLIN, TN 37068

DESIGN  
REVIEW

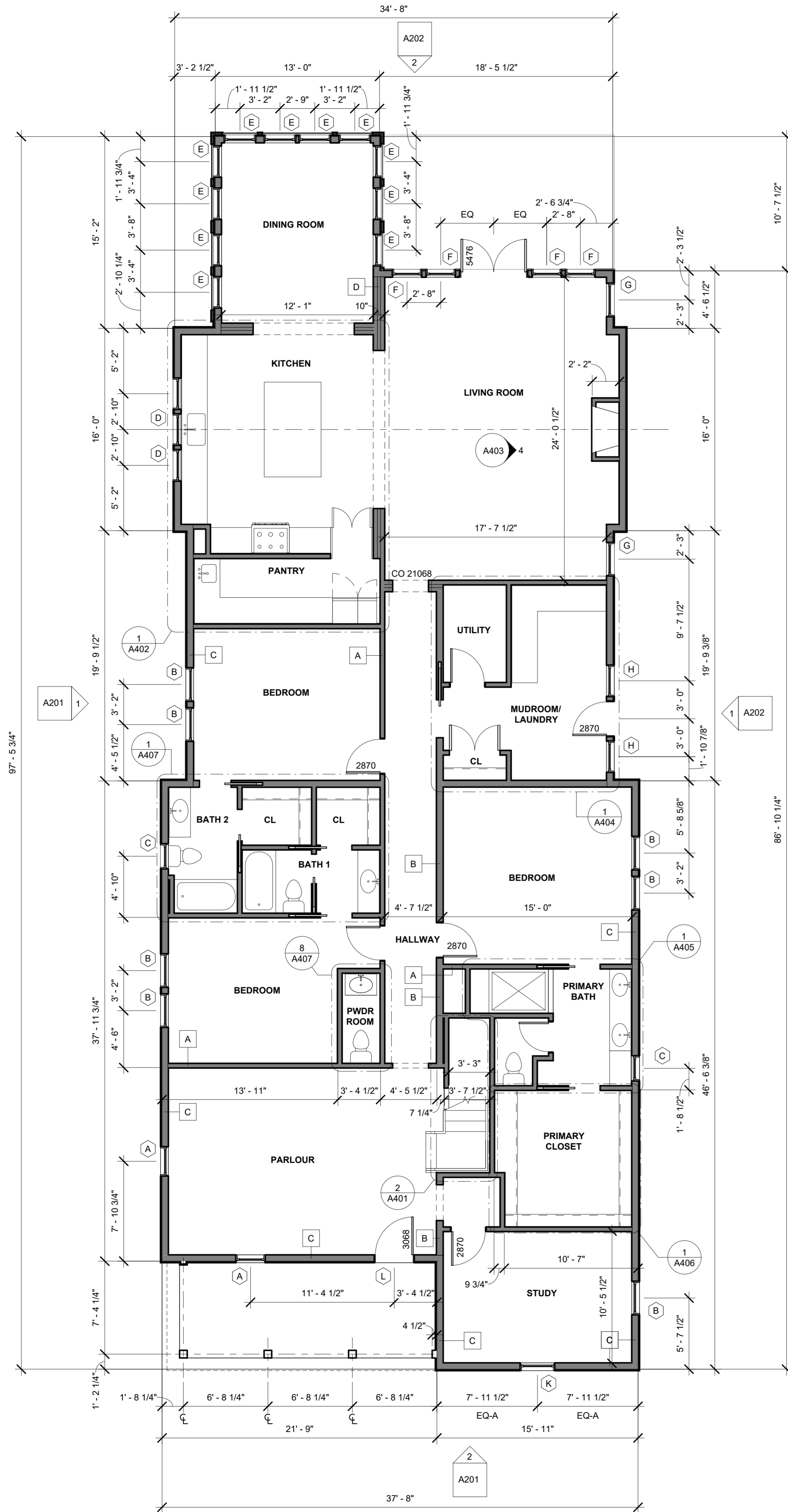
**NEW CONSTRUCTION**  
1309 ADAMS ST., FRANKLIN, TN 37064  
MAIN RESIDENCE

2026.04.13

250904

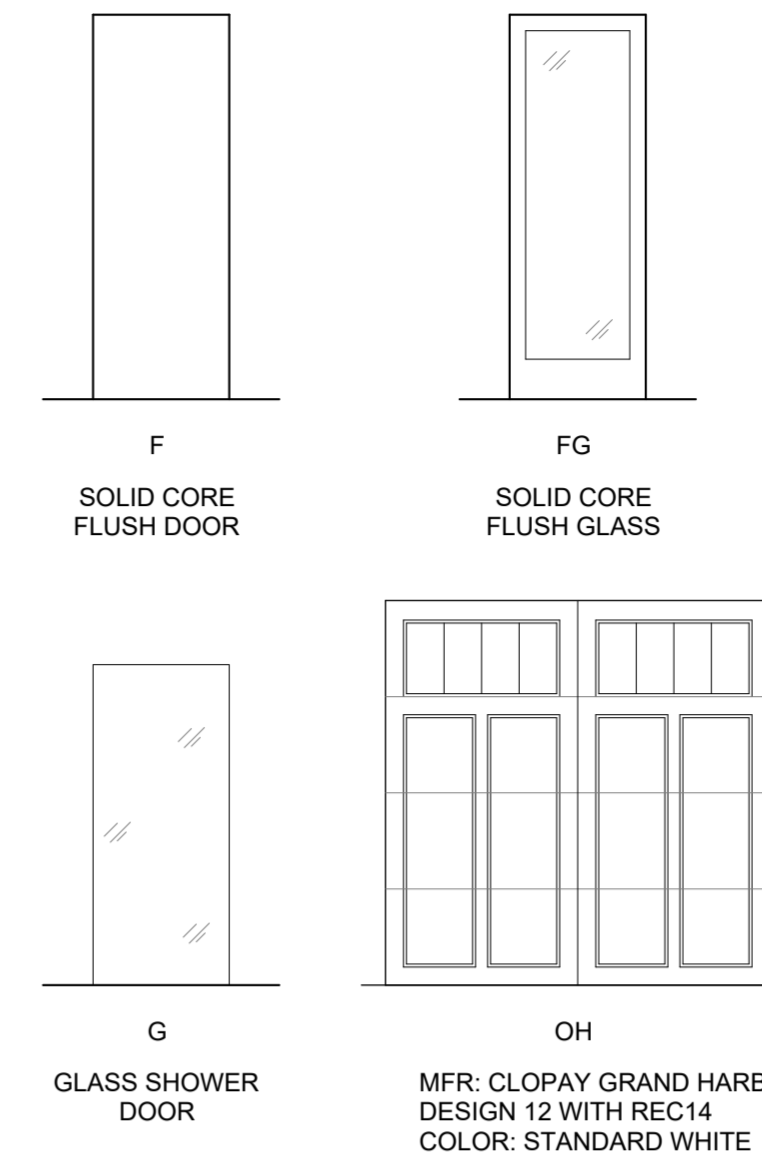
**FOUNDATION  
PLAN**

**A100**

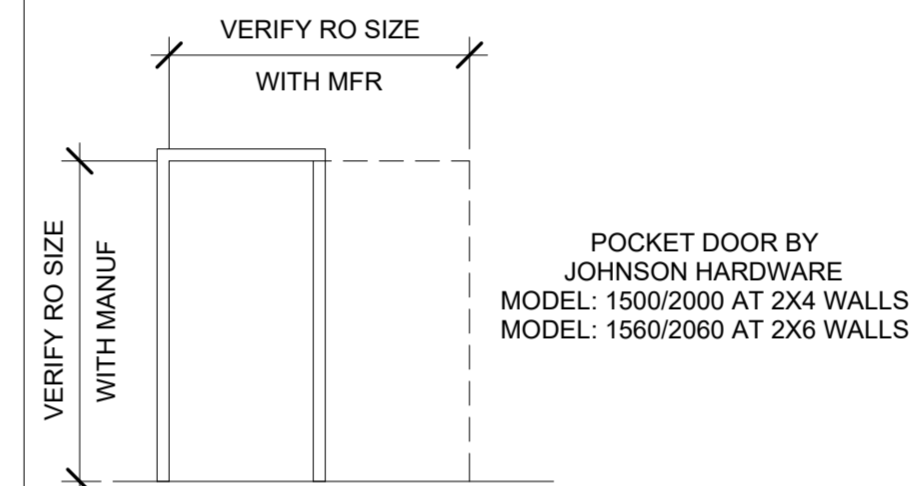


1 FLOOR PLAN // FIRST FLOOR  
3/16" = 1'-0"

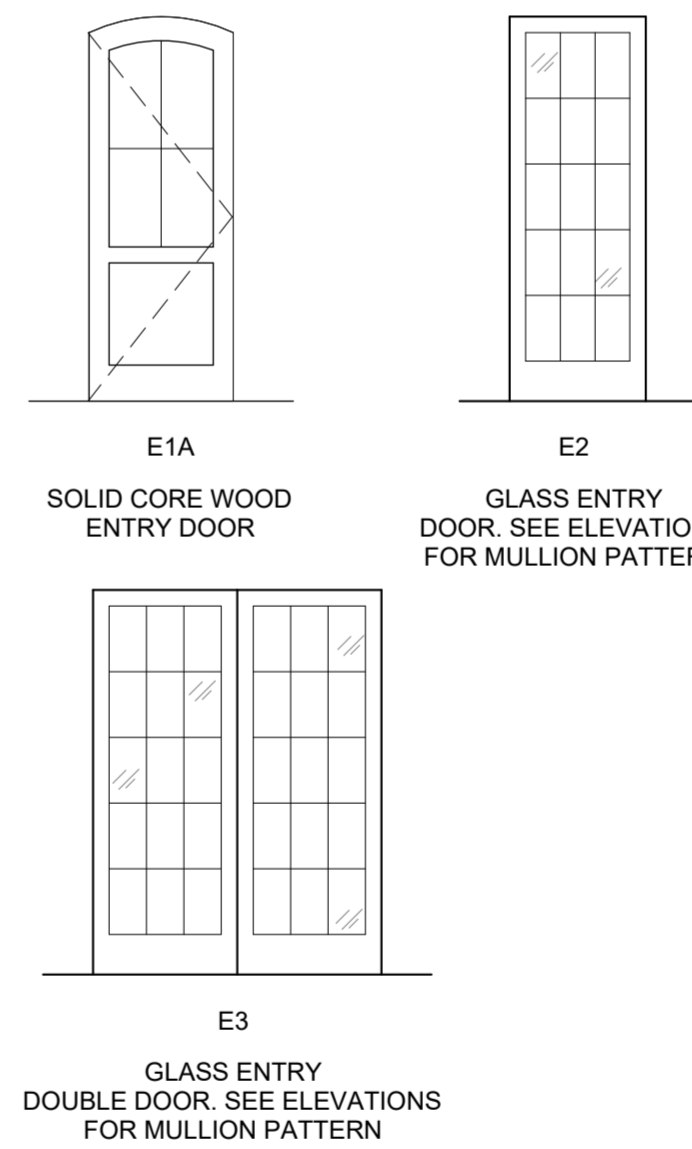
### DOOR TYPES



### FRAME TYPES



### EXTERIOR DOOR TYPES



### WINDOW NOTES

WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	SILL HEIGHT	NOTES
A	2' - 4"	7' - 0"	<varies>	EXISTING
B	2' - 8"	6' - 0"	1' - 6"	
C	2' - 0"	4' - 0"	3' - 6"	
D	2' - 6"	5' - 4"	3' - 2"	
E	2' - 6"	6' - 0"	1' - 6"	
F	2' - 4"	6' - 0"	1' - 6"	
G	2' - 8"	6' - 0"	1' - 6"	
H	2' - 6"	5' - 0"	2' - 4"	
J	2' - 4"	4' - 0"	3' - 0"	
K	2' - 9"	7' - 0"	1' - 4"	EXISTING
L	3' - 2"	1' - 6"	7' - 0"	

- MFR BASIS OF DESIGN: MARVIN ULTIMATE WOOD
- EXTERIOR FINISH: PAINTED WOOD
- INTERIOR FINISH: PAINTED WOOD
- HARDWARE FINISH: MATTE BLACK
- WINDOW MUNTIN PROFILE: SIMULATED DIVIDED LITE WITH SPACER BAR (SDL). SEE ELEVATIONS FOR PATTERN.
- SIZES SHOWN ARE NOMINAL. VERIFY RO WITH WINDOW SPECIFICATION SHEET.

### FLOOR PLAN LEGEND

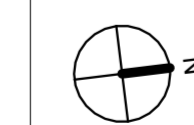
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- A WALL TYPE - SEE G002
- 1 FIXTURE KEYNOTE
- BRICK EXTERIOR - SEE ELEV SHEETS
- STONE EXTERIOR - SEE ELEV SHEETS

### GENERAL NOTES

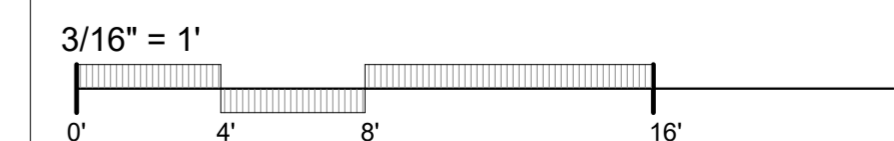
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- VERIFY ALL MEASUREMENT IN THE FIELD BEFORE COMMENCEMENT OF WORK
- PROCURE ALL REQUIRED AND NECESSARY PERMITS AND APPROVALS PRIOR TO THE COMMENCEMENT OF ANY WORK
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF STUD, UNLESS NOTED OTHERWISE
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- PROVIDE IN WALL WOOD BLOCKING AT TOILET ACCESSORY LOCATIONS.
- DOORS ARE LOCATED 6" FROM NEAREST WALL CORNER UNO.
- PROVIDE CRACK SUPPRESSION SYSTEM UNDER TILE FLOOR.
- PROVIDE CEMENT BOARD IN LIEU OF GWB AT ALL WET LOCATIONS.

### FLOOR PLAN KEYNOTES

- PROVIDE FLOOR TO CEILING SHELVES
- ARCH CASED OPENING. SEE ELEVATIONS FOR TYPICAL DETAILS.
- PROVIDE CLOSET ROD WITH SHELF ABOVE
- PROVIDE DOUBLE HANG CLOSET RODS
- INSTALL DOUBLE STUD TYPE A WALL
- SHOWER SEAT. SEE ELEVATION.
- SHOWER NICHE. SEE ELEVATION.
- BUILT-IN SHELVING. SEE ELEVATION.
- HVAC RETURN
- WOOD AND METAL RAILINGS. SEE ELEVATION.
- PROVIDE DOUBLE STUD TYPE A WALLS TO ALLOW FOR TWO OPERATING POCKET DOORS
- GAS BURNING FIREPLACE
- WOOD BURNING EXTERIOR FIREPLACE



### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

DESIGN  
REVIEW

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

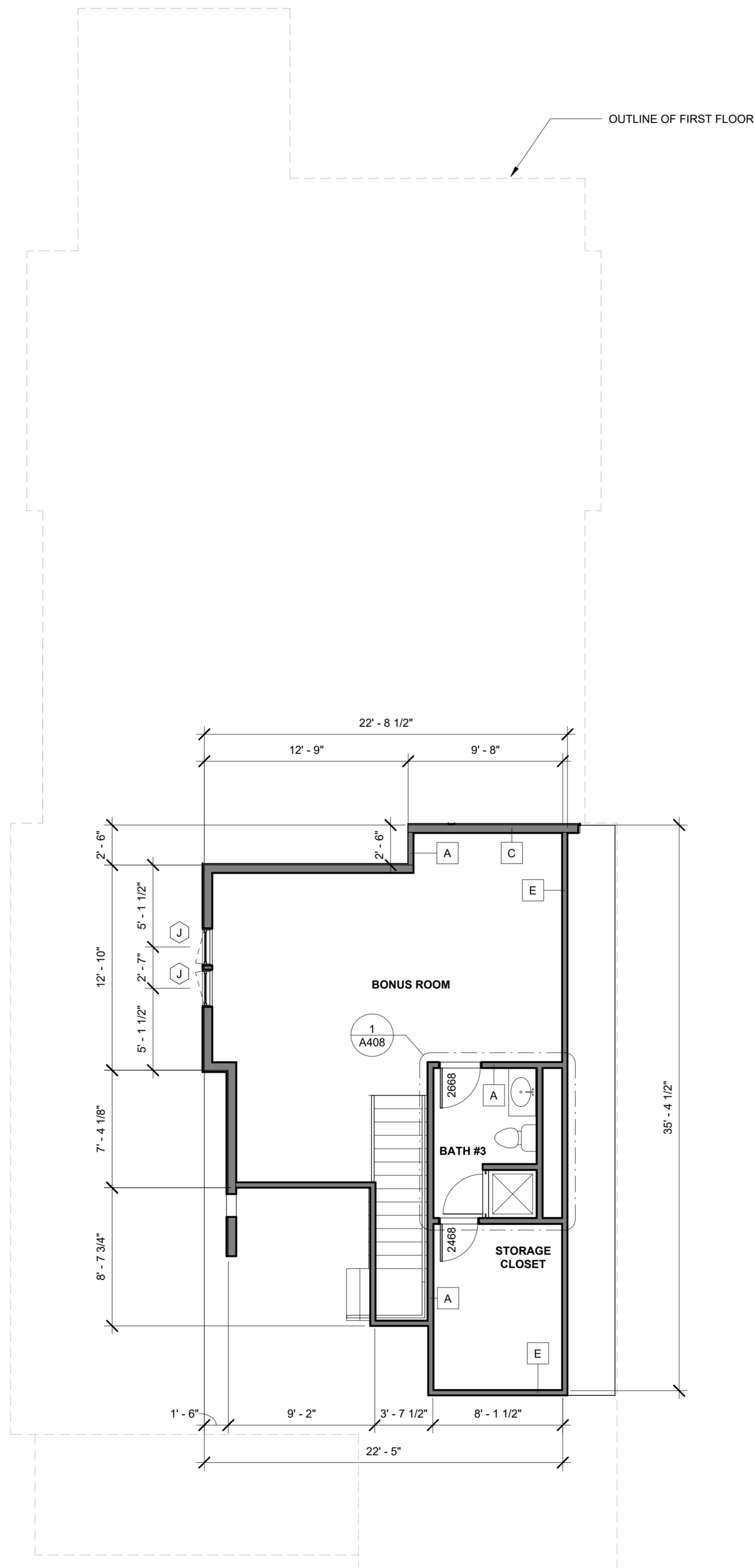
MAIN RESIDENCE

2026.04.13

250904

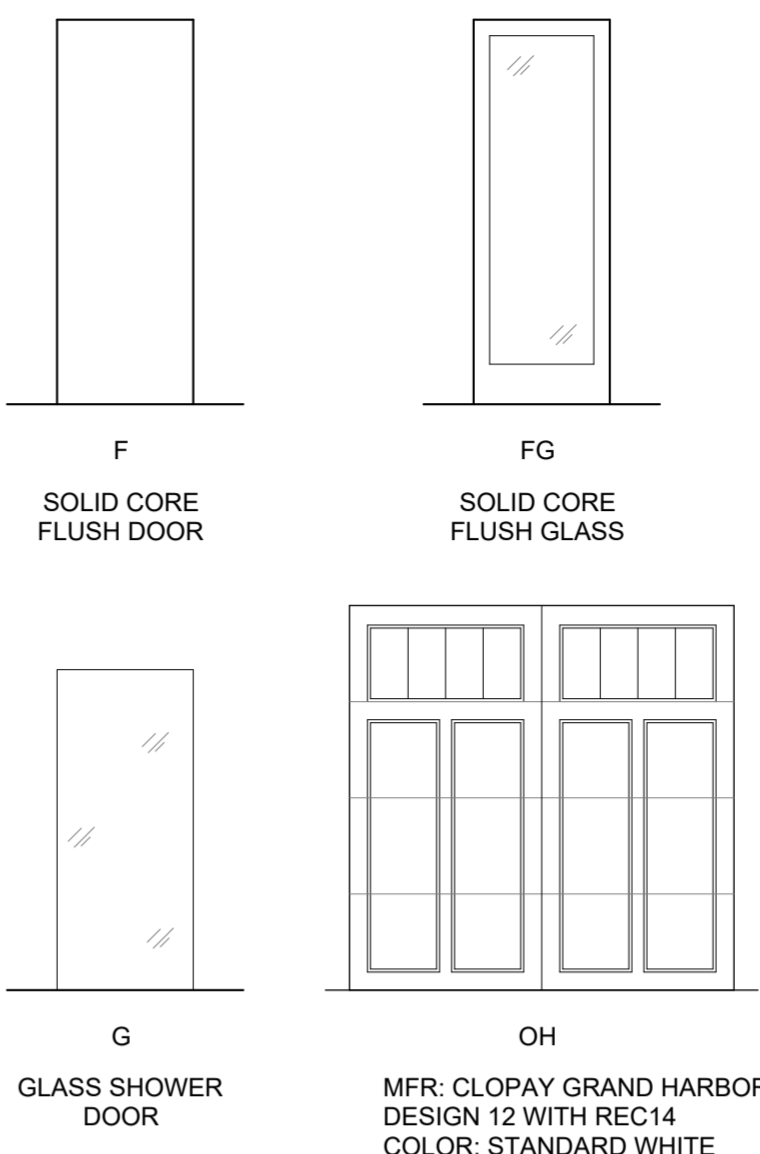
FIRST FLOOR  
PLAN

**A101**

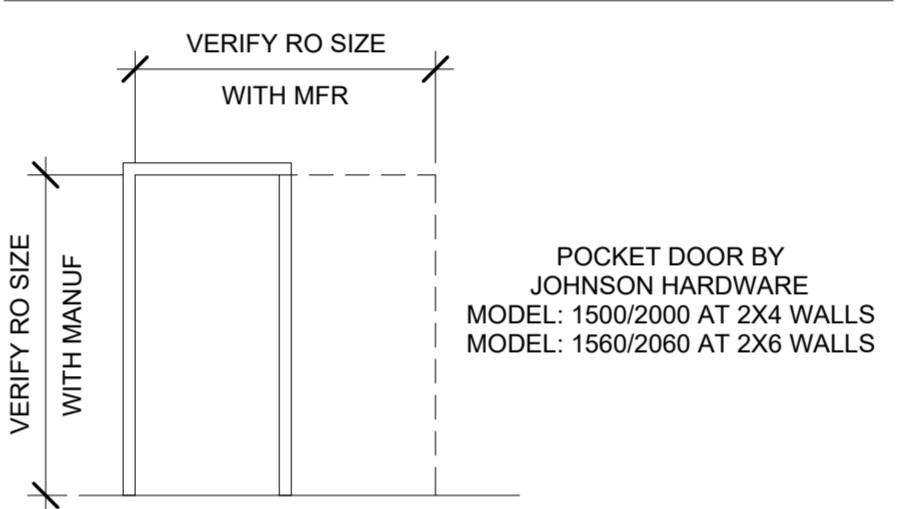


1 SECOND FLOOR PLAN  
3/16" = 1'-0"

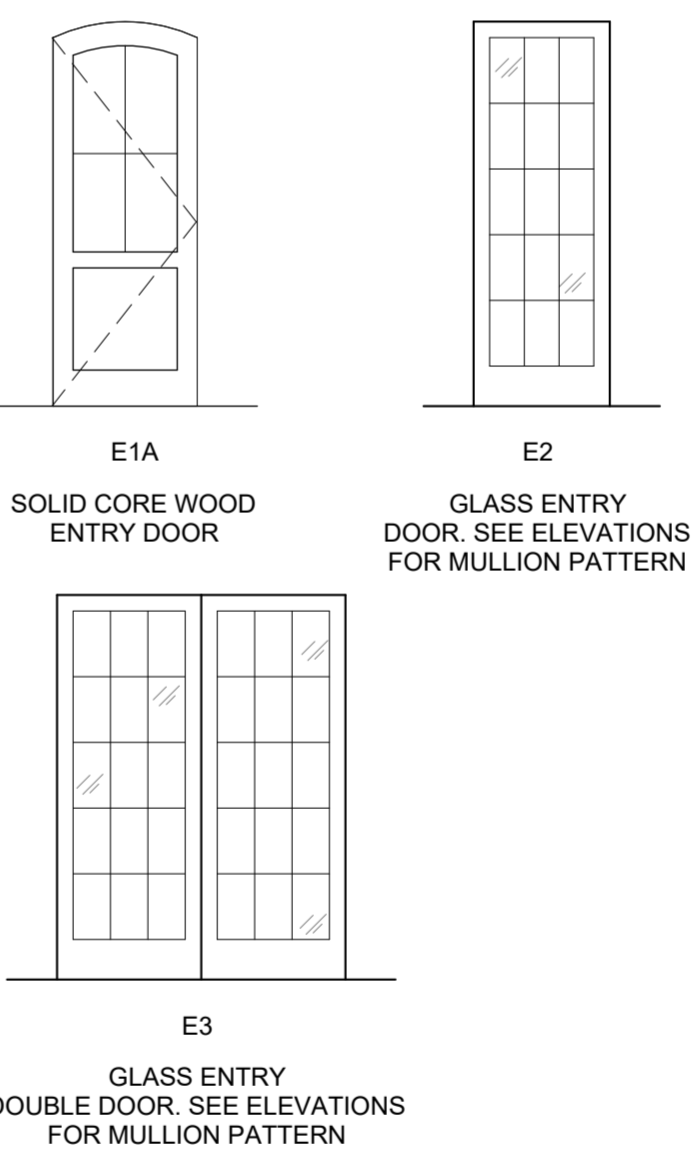
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### FLOOR PLAN LEGEND

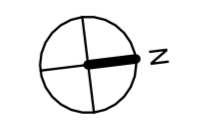
- EXISTING CONSTRUCTION TO REMAIN
- NEW CONSTRUCTION
- A WALL TYPE - SEE G002
- 1 FIXTURE KEYNOTE
- BRICK EXTERIOR - SEE ELEV SHEETS
- STONE EXTERIOR - SEE ELEV SHEETS

### GENERAL NOTES

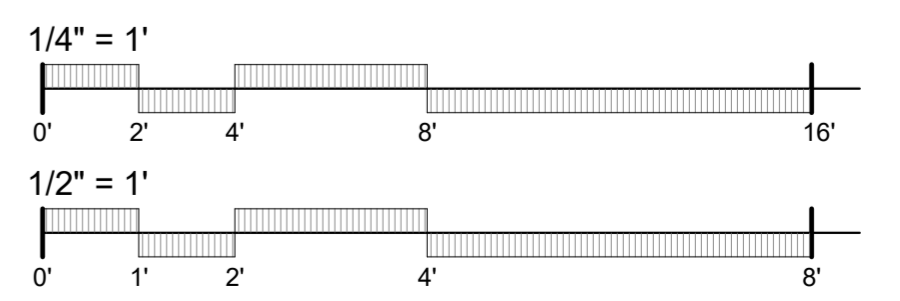
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- HVAC RETURN
- WOOD AND METAL RAILINGS. SEE ELEVATION.
- PROVIDE DOUBLE STUD TYPE A WALLS TO ALLOW FOR TWO OPERATING POCKET DOORS
- GAS BURNING FIREPLACE
- WOOD BURNING EXTERIOR FIREPLACE



### GRAPHIC SCALES



# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

## DESIGN REVIEW

# NEW CONSTRUCTION

1309 ADAMS ST., FRANKLIN, TN 37064

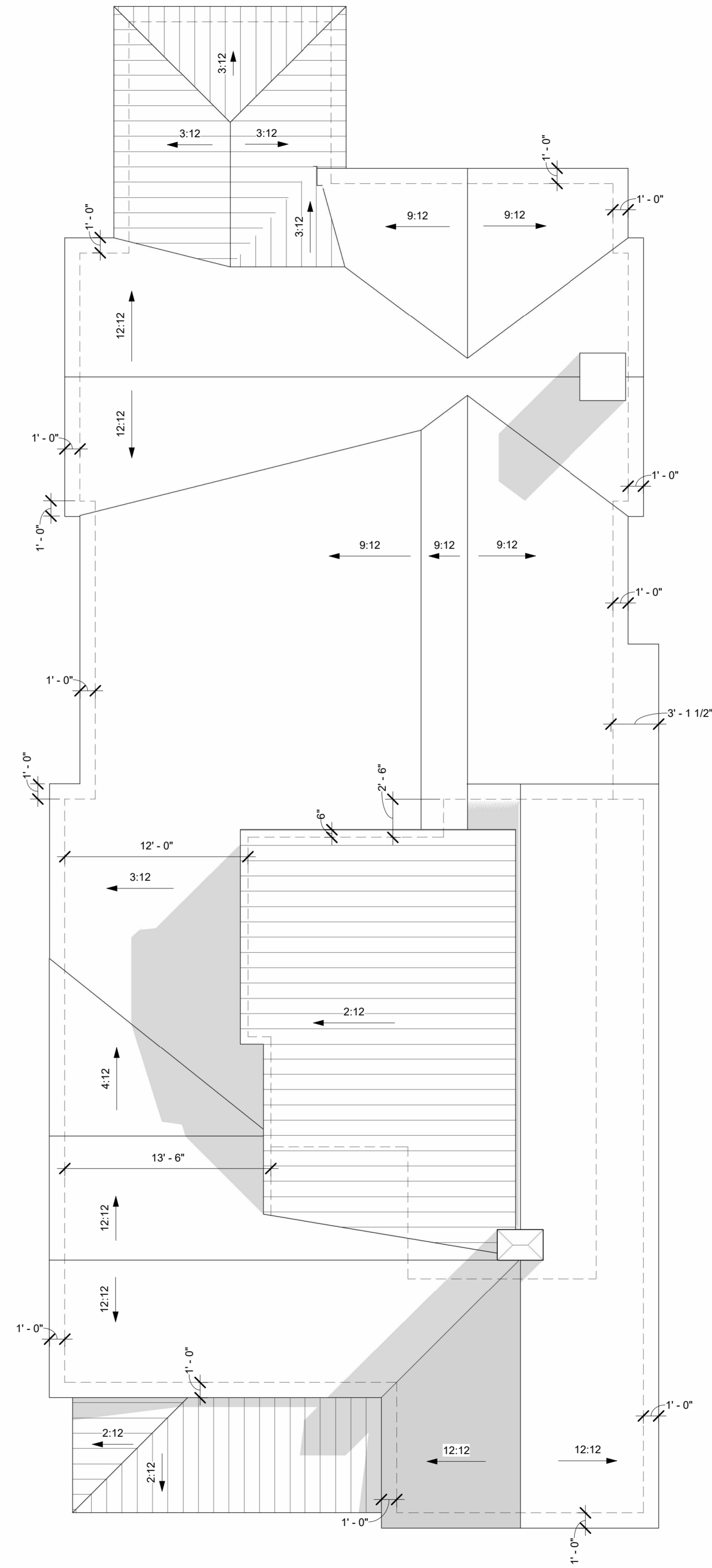
MAIN RESIDENCE

2026.04.13

250904



## SECOND FLOOR PLAN

# A102



1 ROOF PLAN  
3/16" = 1'-0"

**ROOF PLAN LEGEND**

-  ASPHALT SHINGLE ROOF
-  METAL ROOF

**ROOF PLAN NOTES**

1. PROVIDE RIDGE VENTS
2. PROVIDE METAL FLASHING
3. ASPHALT SHINGLE ROOF:  
MFR: CERTAINTED LANDMARK  
COLOR: COLONIAL STATE
4. METAL ROOF:  
MFR: FABRAL  
COLOR: TBD

**GRAPHIC SCALES**



**CHISEL**

PO BOX 680566 | FRANKLIN, TN 37068

**DESIGN  
REVIEW**

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.13

250904

**ROOF PLAN &  
ROOF  
DETAILS**

**A104**

## DESIGN REVIEW

# NEW CONSTRUCTION

1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.13

250904

### EXTERIOR ELEVATIONS

# A201

## ELEVATION LEGEND

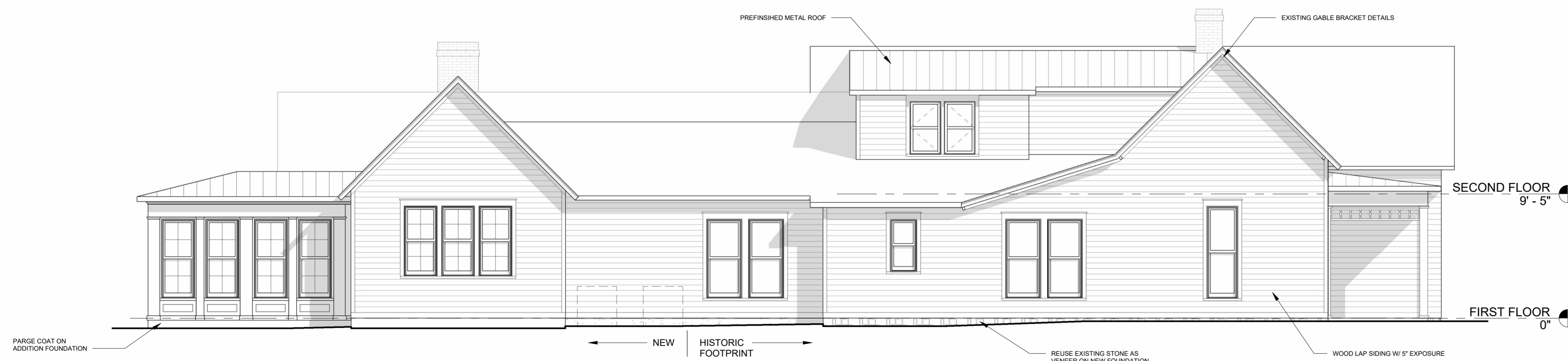
- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- WINDOW TYPE - SEE A601
- BRICK EXTERIOR
- STONE EXTERIOR
- HARDIE SIDING EXTERIOR

## GENERAL NOTES

- PROVIDE HALF ROUND METAL GUTTERS AND ROUND DOWNSPOUTS.
- SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
- CONTRACTOR TO PROVIDE FULL SIZE MOCKUP OF TYPICAL CONSTRUCTION METHODS PRIOR TO PROCUREMENT OF MATERIAL. MOCK UP SHALL INCLUDE BRICK WATER TABLE, PAINTED BRICK, FASCIA, DENTIL MOULDING, EAVE, AND ROOF SHINGLES.
- EXTERIOR FINISHES:
  - BRICK: PAINT GRADE
  - BRICK COLOR: TBD
  - ASPHALT SHINGLE: CERTAINTED
  - ASPHALT SHINGLE MODEL: LANDMARK
  - ASPHALT COLOR: COLONIAL SLATE
  - METAL ROOF COLOR: TBD
  - TRIM COLOR: WHITE
  - WINDOW CLAD COLOR: MARVIN STONE WHITE
- PROVIDE WEEPS IN STONE WALL AS REQUIRED
- SEE TYPICAL EXTERIOR DETAILS, SHEET A301.
- PROVIDE ACCESS PANEL TO CRAWL SPACE AS REQUIRED BY IRC R408.4. ACCESS THROUGH FLOOR SHALL BE A MINIMUM OF 18" X 24". ACCESS THROUGH PERIMETER WALL SHALL BE A MINIMUM OF 16" X 24". VENTILATE PER M1305.1.4.

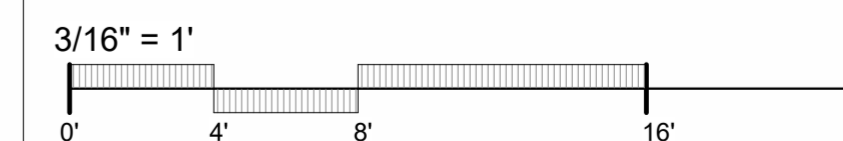


② EXTERIOR ELEV // FRONT  
3/16" = 1'-0"



① EXTERIOR ELEV // LEFT SIDE  
3/16" = 1'-0"

## GRAPHIC SCALES



## DESIGN REVIEW

# NEW CONSTRUCTION

1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE



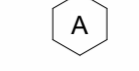
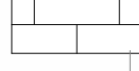
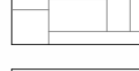

2026.04.13

250904

## EXTERIOR ELEVATIONS

# A202

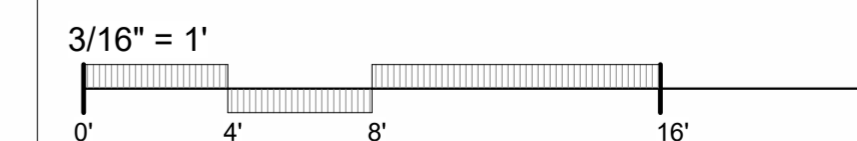
### ELEVATION LEGEND

-  EXISTING CONSTRUCTION
-  NEW CONSTRUCTION
-  WINDOW TYPE - SEE A601
-  BRICK EXTERIOR
-  STONE EXTERIOR
-  HARDIE SIDING EXTERIOR

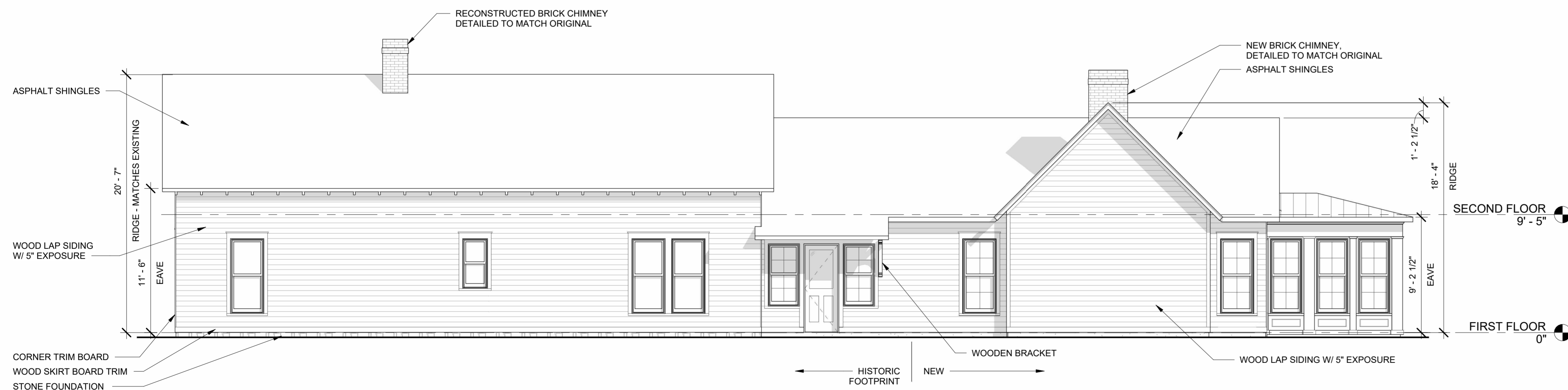
### GENERAL NOTES

1. PROVIDE HALF ROUND METAL GUTTERS AND ROUND DOWNSPOUTS.
2. SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
3. CONTRACTOR TO PROVIDE FULL SIZE MOCKUP OF TYPICAL CONSTRUCTION METHODS PRIOR TO PROCUREMENT OF MATERIAL. MOCK UP SHALL INCLUDE BRICK WATER TABLE, PAINTED BRICK, FASCIA, DENTIL MOULDING, EAVE, AND ROOF SHINGLES.
4. EXTERIOR FINISHES:  
 BRICK: PAINT GRADE  
 BRICK COLOR: TBD  
 ASPHALT SHINGLE: CERTAINTED  
 ASPHALT SHINGLE MODEL: LANDMARK  
 ASPHALT COLOR: COLONIAL SLATE  
 METAL ROOF COLOR: TBD  
 TRIM COLOR: WHITE  
 WINDOW CLAD COLOR: MARVIN STONE WHITE
5. PROVIDE WEEPS IN STONE WALL AS REQUIRED
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7. PROVIDE ACCESS PANEL TO CRAWL SPACE AS REQUIRED BY IRC R408.4. ACCESS THROUGH FLOOR SHALL BE A MINIMUM OF 18" X 24". ACCESS THROUGH PERIMETER WALL SHALL BE A MINIMUM OF 16" X 24". VENTILATE PER M1305.1.4.

### GRAPHIC SCALES



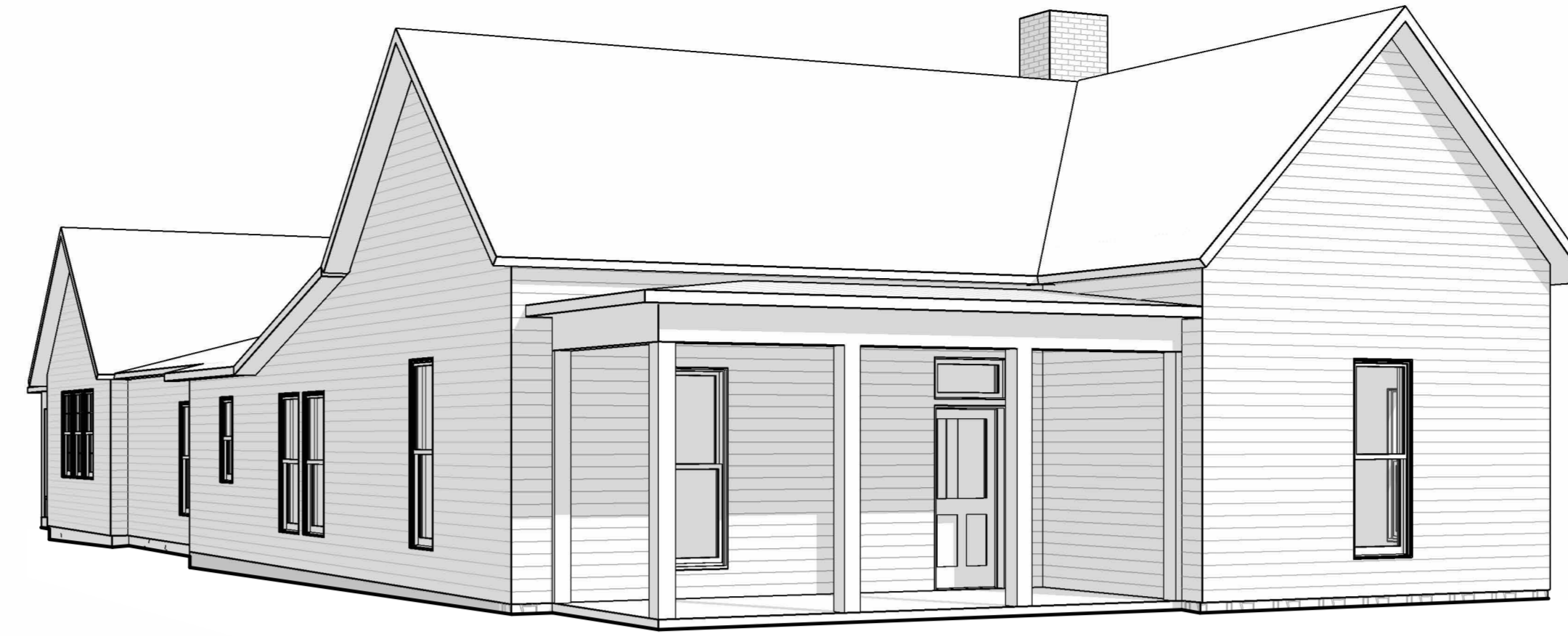
② EXTERIOR ELEV // REAR  
3/16" = 1'-0"



① EXTERIOR ELEV // RIGHT SIDE  
3/16" = 1'-0"



3 3D VIEW // FRONT - SW CORNER



2 3D VIEW // FRONT - NW CORNER



1 3D VIEW // REAR - SE CORNER



6 3D VIEW // REAR - NE CORNER



SITE PHOTO - SIDE VIEW REFERENCE



4 3D VIEW // SIDE APPROACH

### ELEVATION LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- WINDOW TYPE - SEE A601
- BRICK EXTERIOR
- STONE EXTERIOR
- HARDIE SIDING EXTERIOR

### GENERAL NOTES

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# CHISEL

PO BOX 680566 | FRANKLIN, TN 37068

DESIGN  
REVIEW

**NEW CONSTRUCTION**

1309 ADAMS ST., FRANKLIN, TN 37064

MAIN RESIDENCE

2026.04.13

250904

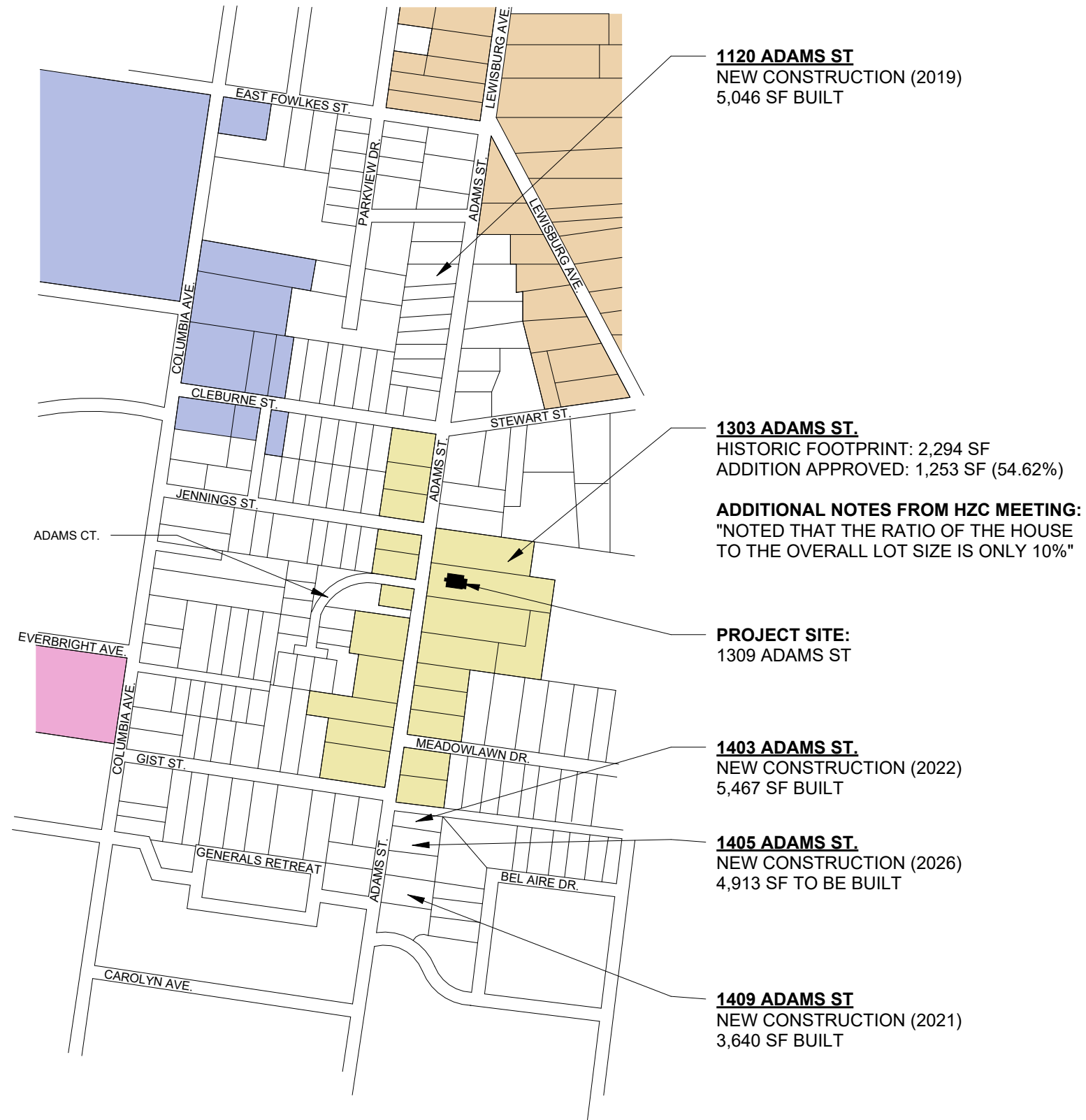
GRAPHIC SCALES

3D  
PERSPECTIVES

**A203**

**HISTORIC DISTRICT LEGEND:**

- ADAMS STREET
- EVERBRIGHT AVE
- LEWISBURG AVE
- LOCAL LANDMARKS



A202  
1

EXIST PRIMARY FOOTPRINT: 1,946 SF  
EXIST REAR ADDITION: 288 SF  
TOTAL FOOTPRINT: 2,234 SF

A202 2

CIRCA 1900s HOUSE WITH  
ADDITIONS FROM CIRCA 1930s  
2 A201

1928-1940 SANBORN MAPS SHOW  
STRUCTURE AS A PORCH

FRONT PORCH INFILLED AT  
UNKNOWN YEAR.

1  
A201

**EXISTING EXTERIOR**

- VINYL SIDING
- METAL AND VINYL SHUTTERS
- HISTORIC WOOD WINDOWS REMAIN
- EXPOSED RAFTER TAILS AT GABLE
- NEWER AGED ROOF WITH PLYWOOD SUBSTRATE
- CMU AND RUBBLE STONE FOUNDATION WITHOUT MORTAR AND BEARING ON DIRT.
- NEW FRONT DOOR



EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING LEFT ELEVATION



EXISTING RIGHT ELEVATION

## EXISTING FRONT PORCH



DEMARCATIION BETWEEN HISTORIC AND NEW FRAMING SHOWING HOW ORIGINAL PORCH WAS ENCLOSED

A. STUDS AND SHEATHING FROM LATER IN THE 20TH CENTURY.

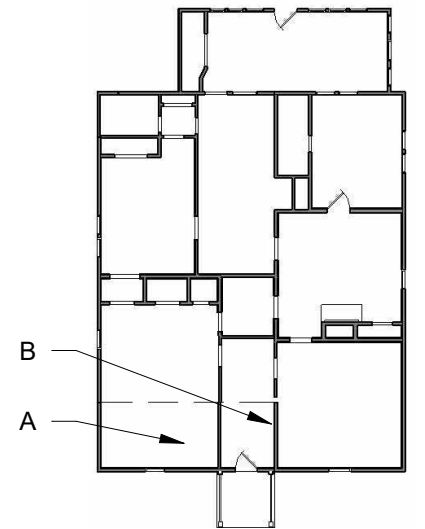


B. EXPOSED RAFTER TAILS FROM FRONT GABLE SEEN INSIDE OF FRONT ROOM CEILING. THIS INDICATES THAT THE PORCH ROOF SLOPE WOULD HAVE BEEN LOWER THAN THESE RAFTER TAILS AND THESE WOULD HAVE BEEN SEEN FROM THE FRONT OF THE HOUSE.

THE FRAMING ELEMENTS THROUGHOUT THE HOUSE VARY IN SIZE AND APPEARANCE. INDICATIVE OF WHEN THE ITEMS WERE MOTIFIED.

## INTERIOR CONDITIONS

- MUCH OF THE ORIGINAL LATH AND PLASTER WAS REPLACED WITH DRYWALL PRIOR TO OUR EXPLORATION. DRYWALL HAS BEEN REMOVED AT THIS STAGE TO REVEAL STRUCTURE.
- FRAMING AS INDICATED IN THE FOLLOWING PAGES.
- HISTORIC FIREPLACE(S) HAVE BEEN REMOVED.
- HISTORIC FLOORS HAVE EITHER BEEN COMPROMISED BY TERMITES, DAMAGED FROM PREVIOUS FLOOR COVERING REMOVAL, OR SKIMMED WITH SELF-LEVELING CONCRETE.



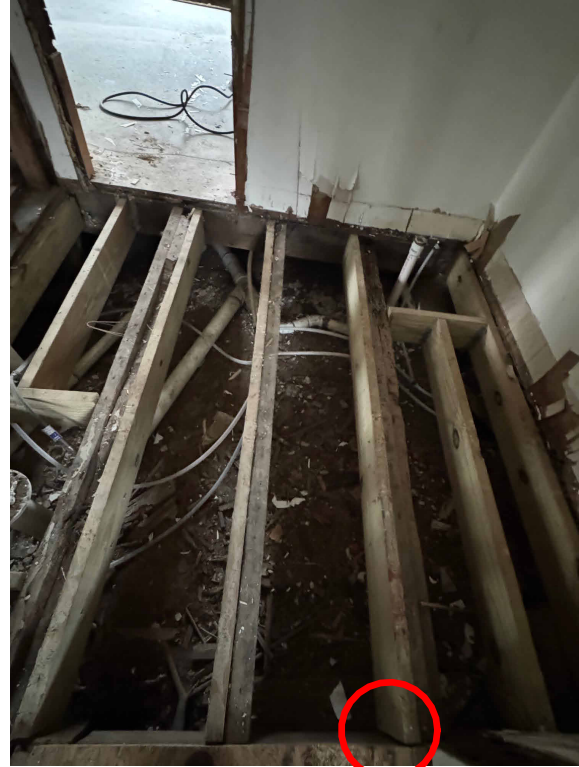
**EXISTING FRAMING**



A. NEW FRAMING AT LOCATIONS THROUGHOUT. JOISTS ARE NOT LEVEL AND THERE IS DEFLECTION AMONG JOIST. NO HANGERS OR PROPER FASTENERS.



B. HISTORIC RIM BOARD IS DETERIORATED BY TERMITE DAMAGE.



C. NEW FRAMING AT INTERIOR LOCATIONS. SISTERD ALONG JOISTS WITH GAPS AND NO FASTENERS.



D. HISTORIC JOISTS HAVE COLLAPSED INTO CRAWL SPACE DUE TO TERMITE DAMAGE.



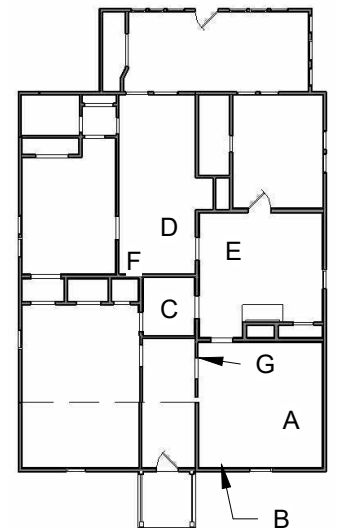
E. CLOSE UP OF TERMITE DAMAGE



F. TERMITE DAMAGE IN BOTH THE FLOOR JOISTS AND VERTICAL FRAMING



G. TERMITE DAMAGE AT APPROX 5' ABOVE FLOOR



**EXISTING FOUNDATION**



A. RUBBLE FOUNDATION UNDER FRONT GABLE. BEARING ON DIRT.



B. MIX OF STONE AND CMU, NOT GROUTED. BEARING ON DIRT



C. RUBBLE FOUNDATION UNDER SIDE GABLE. BEARING ON DIRT.



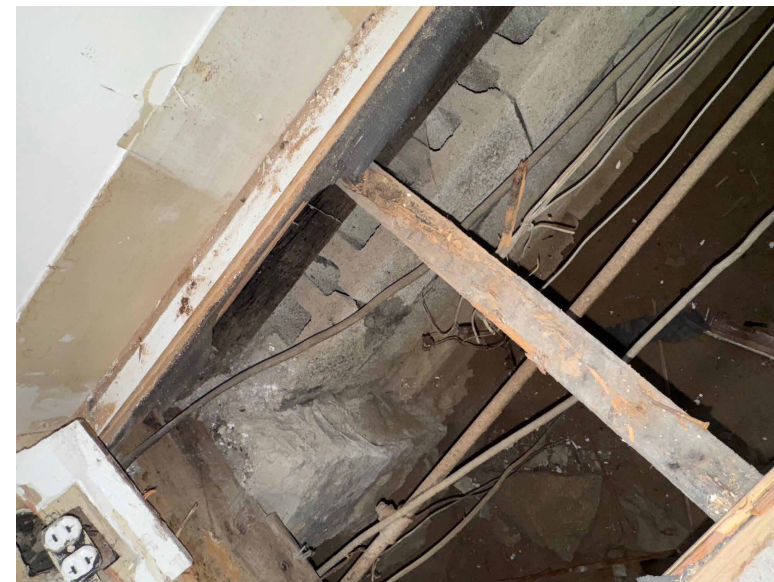
G. PERIMETER SILL BEAM COMPLETELY DETERIORATED.



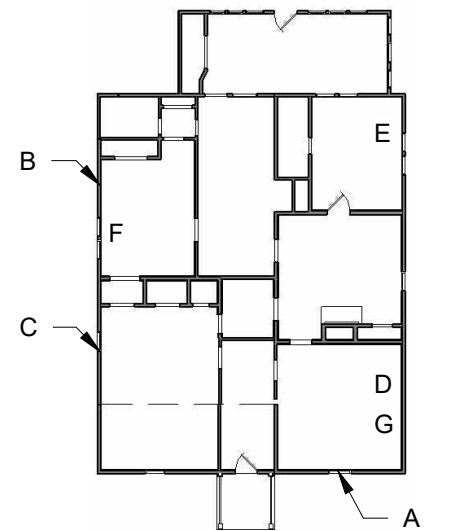
D. CMU SUPPORTS UNDER "NEW" FRAMING. BEARING ON DIRT.



E. DAYLIGHT CAN BE SEEN AT MANY LOCATIONS.



F. CMU FOUNDATION. NOT GROUTED. BEARING ON DIRT.



**EXISTING EXTERIOR**



A. EXTERIOR FRAMING BOWS



B. EXTERIOR FRAMING BOWS



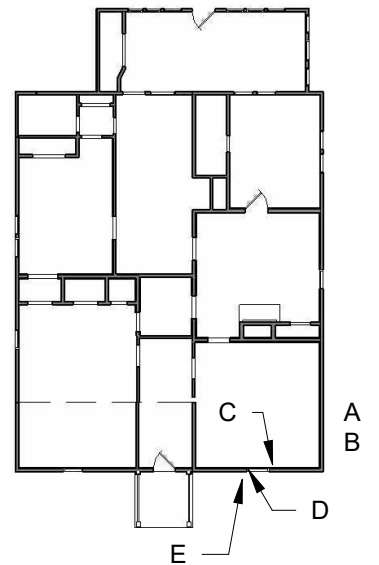
C. WHILE DIFFICULT TO SEE IN PHOTOGRAPHS, THE FRONT GABLE HAS BEEN REPAIRED WITH NEW STUDS AND PLYWOOD SHEATHING BENEATH THE VINYL SIDING. ALSO VISIBLE FROM THIS HOLE SHOWS THE ROOF UNDERLAYMENT TO BE PLYWOOD AND NOT OF HISTORIC MATERIALS.



D. THE SILL IS MISSING FROM THE FRONT WINDOW. THE WALL STUDS AND FOUNDATION IS VISIBLE THROUGH THIS HOLE.



E. FRONT GABLE SHOWS THREE RAFTER TAILS ON EACH SIDE OF THE GABLE WITH NONE AT THE PEAK. THIS IS INDICATIVE OF A DECORATIVE ELEMENT THAT HAS BEEN REMOVED.



SK07

Phillip E. White, PE  
912 Hidden Oak Pl.  
Brentwood, TN 37027  
(615) 969-3505

April 7, 2026

Ben McCreary  
Chisel Workshop, LLC  
PO Box 680566  
Franklin, TN 37068

RE: 1309 Adams Street  
Franklin, TN

Dear Ben,

I made a site visit April 3, 2026, at the above reference site to assess the structural integrity of the existing house.



The house is a wood framed structure with a vinyl and/or wood siding. The foundation consists of stacked stone and CMU walls with intermediate stone piers. The house sits on a flat lot. The

house was constructed in 1900 with portions added in the 1920's. Below are my observations of structural deficiencies that will need to be addressed.

- The original joists in the front two rooms were replaced at some point with 2x12 floor joists. However, there is no crawlspace for proper ventilation. To create a proper crawlspace, the area under the joist would need to be excavated a minimum of two feet below the joist or the house would need to be lifted, or a combination of both.



- The new floor joist mentioned above were attached to the exterior band, but the band is not attached to the foundation. Additionally, band is not pressure treated and is in direct contact with the foundation. A pressure treated sill plate that is mechanically attached to the foundation is required.



No attachment of the floor system to the foundation block.

- In the front right room, the exterior wall shows signs of decay and loss of attachment to the floor system. I was able to move the wall in and out of plane with a slight push. This wall is precarious and should be shored. Therefore, additional wall coverings should be removed to determine the extent of the decay. However, based on the observed behavior at the time of the visit, it appears that this portion of the wall will need to be replaced.



- An examination of the remainder of the perimeter revealed that the original house had a stacked stone foundation wall. Portions of the stack stone wall have fallen or not continuous (See photograph below) which will not constitute as a functional foundation. At some time, portions of the wall was replaced with a CMU wall. There were no connections of the perimeter framing to either the stone or the CMU. Examination of the core of the CMU suggests that the CMU was laid without a footing. Further exploration will need to be done to determine if there is a footing. If there is no footing and since there is no attachment of the framing to the foundation wall, it will be necessary to replace the existing foundation with a footing and new CMU wall with a sill plate to attach the framing to foundation.





Extensive termite damage to studs around window. Will need to be completely replaced.

- There are multiple floor members in the center of the house that are significantly decayed or have broken because of the extent of decay. All of these members will need to be replaced.



- Based on limited access, it appears that the roof system is constructed of 2x4 rough sawn rafters at 24 inches on center. The roof also exhibits sagging as seen in the photograph below. The roof will either need to be replaced with rafters properly sized or the roof will need to be jacked back into place and fully supplemental system installed.



- Limited visible access to underneath due to the lack of crawl space did reveal that several of the girders under the loadbearing walls exhibit significant decay. The depth of decay indicates that they will need to be replaced.



In summary, since it is anticipated that the house will be altered for updated use, the existing building provisions of the International Residential Code will need to be implemented. For alterations, the code required the structural elements will need to meet current code requirements. On the basis of the current code provisions, it is my professional opinion that approximately 60 to 70 percent of the existing structural elements will need to be replaced due to decay or replaced and/or strengthened to meet the current International Residential Code. The lack of any visible mechanical connection to the foundation and the lack of a continuous perimeter foundation will need to be addressed as well so the house has the proper resistance to lateral loads. In conclusion, the structural integrity of this house is marginal at best and the most cost effective solution would be to replace it.

With regards to my experience, I have been practicing as a structural engineer since 1988 and have been at one time licensed as a professional engineer in 32 states and the District of Columbia. I was the founder and owner of PWP Structural Engineers until 2018. I am currently

Phillip E. White, PE  
912 Hidden Oak Pl.  
Brentwood, TN 37027  
(615) 969-3505

still licensed in the State of Tennessee as well as eight other states and the District of Columbia. I have been involved in the analysis of and design of modifications to multiple older historical buildings in the greater Nashville area including the following:

- Tootsies Orchid Lounge
- Tin Roof Broadway
- Honky Tonk Central
- Seismic strengthening of the St. Paul's Episcopal Church bell tower.
- Werthan Lofts Nashville
- 345 W Main St, Franklin, TN
- Multiple homes on Fair Street, W Main Street and Lewisburg Pike.

Respectfully Submitted,

Phillip E. White, P.E.





April 13<sup>th</sup>, 2026

RE: Hendrix Residence Evaluation/Estimate

Lee Restoration has specialized in the restoration and preservation of historic homes within the Franklin, Tennessee Historic Overlay for over thirty years, with experience spanning more than 150 historic structures. Based on our evaluation, the property located at 1309 Adams Street is among the most structurally compromised buildings we have encountered.

This estimate has been prepared to assess the cost associated with excavating the existing crawlspace, removing and replacing the foundation, and replacing approximately 98% of the existing framing while attempting to maintain the structure in place. Due to the current condition of the building, there is no assurance that the structure will remain stable throughout this process, particularly given the extent of deterioration in both the foundation and framing systems.

It is important to note that the costs outlined below are **limited solely to the stabilization and structural rehabilitation of the existing building**. These costs do **not** include any additional work required to renovate, restore finishes, upgrade systems, or construct any proposed additions. As such, this represents a significant upfront premium required before any broader renovation scope can begin.

Given the minimal amount of remaining historic fabric and the extent of required structural replacement, this cost represents a **disproportionate investment relative to the existing structure**, while still carrying a high degree of construction risk and uncertainty. Pursuing stabilization and restoration under these conditions would result in extended duration, elevated cost exposure, and a substantial financial hardship for the property owners.

Estimated Cost to Stabilize Existing Structure: ~\$160,000

- Excavation of crawlspace to a minimum depth of 30 inches below the bottom of joists (while structure remains in place): **\$40,000**
- Removal and replacement of existing foundation (while structure remains in place): **\$45,000**
- Framing repairs, including labor and replacement of approximately 98% of existing structural materials: **\$50,000**
- Extended project duration (2–3 months), including associated operating and carrying costs: **\$20,000**

Regards,

Michael A Lee  
615-957-8385  
Owner Lee Restoration

PO Box 364 • Summertown, TN 38483 • 615-790-1830

**April 13, 2026**

**Historic Zoning Commission**

City of Franklin

Franklin, Tennessee

**Re: 1309 Adams Street – Request for Approval of Demolition and Reconstruction**

Dear Members of the Historic Zoning Commission,

We are writing to present the findings and conclusions related to the existing residence at 1309 Adams Street, a contributing structure within the Adams Street Historic District, and to outline the proposed path forward for the property.

From the outset, the project team approached this property with the intent to preserve the historic fabric of the district, maintain streetscape continuity, and retain the character-defining features of the residence—particularly the primary (front) elevation. Initial efforts focused on stabilization and selective rehabilitation of the existing structure. However, following detailed investigation, selective demolition, and consultation with both a structural engineer and an experienced historic contractor, it has been determined that preservation through stabilization is not feasible.

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### **Loss of Historic Integrity**

The existing structure has experienced extensive deterioration across foundational and structural systems. The original rubble stone foundation is non-continuous and lacks verified footings. Portions of the foundation have been replaced with CMU; however, these sections show no evidence of proper footing or mechanical connection to the structure above. The framing system is not adequately anchored to the foundation, and the building lacks a continuous and functional load path from roof to foundation to resist gravity and lateral loads.

Wood sill members and girders exhibit advanced termite damage and material loss. Multiple floor framing members have failed or are significantly deteriorated. In at least one location, an exterior wall was observed to be unstable and capable of being displaced out of plane with minimal force, indicating a critical loss of structural integrity. The roof structure, consisting of undersized rafters, shows visible sagging and would require full replacement or substantial reconstruction to meet current standards.

Additionally, the structure lacks a functional crawl space, preventing proper ventilation and access. Achieving a code-compliant condition would require either lifting the structure or excavating below it while in place—both of which introduce significant risk to an already compromised building.

Beyond structural deficiencies, the exterior envelope has also experienced substantial alteration and partial loss of historic material and detailing. The entire structure is currently clad in vinyl siding. Only the siding at the primary (front) gable has been removed for inspection, where it was determined that the original historic siding had been previously removed and replaced with plywood sheathing and vinyl

siding. The condition of any underlying historic wood siding or sheathing at other portions of the structure remains unknown.

At the primary elevation, one of the two front windows retains original historic (wavy) glass. The second window appears to retain its original frame, though the glazing has been replaced; the frame itself is severely deteriorated. Only limited portions of original trim remain. These elements will be carefully salvaged, repaired, and reused to the extent feasible.

The original front porch has been enclosed through prior alteration, resulting in the loss of its historic configuration, siding, and trim detailing. As a result, key character-defining features of the primary elevation have already been substantially altered or removed.

Based on the structural engineer's evaluation, approximately 60–70% of the structural elements would require replacement or reinforcement to meet the requirements of the International Residential Code. However, when considering the practical realities of construction—including excavation beneath the structure, installation of new continuous footings, and reestablishing a continuous load path—the contractor has determined that nearly all structural components (approximately 98%) would need to be removed and replaced in order to safely execute the work.

Taken together, the structure has already lost a substantial portion of its historic integrity, both structurally and materially. Moreover, the process required to stabilize and reconstruct the building in place would necessitate the removal of the overwhelming majority of remaining original material. In effect, the outcome of stabilization would be materially equivalent to reconstruction, with only limited and fragmentary retention of historic fabric.

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### **Economic Hardship**

In addition to structural considerations, the cost associated with attempting to rehabilitate the structure in place presents a significant hardship to the property owner.

A detailed assessment prepared by Lee Restoration, a contractor with extensive experience in historic restoration within Franklin, estimates the cost of stabilization and rehabilitation at approximately \$160,000. This includes excavation beneath the structure while it remains in place, replacement of the foundation system, and replacement of nearly all framing, along with extended construction duration and associated carrying costs. This amount represents a premium required solely to stabilize and retain the existing structure prior to any other necessary improvements.

Importantly, this approach does not provide a predictable outcome. Given the severely compromised condition of the structure, there remains a credible risk of partial or total structural failure during the stabilization process. As such, the property owner would be required to assume significant financial exposure for a solution that ultimately yields minimal preservation of original material.

When weighed against the limited retention of historic fabric achievable through this process, the cost of rehabilitation represents a disproportionate financial burden relative to its preservation benefit.

### **Proposed Future Action**

In light of these findings, the proposed course of action is to demolish the existing structure and reconstruct a new residence that closely reflects the historic character of the property and the district.

The reconstruction will:

- Reestablish the form, scale, and massing consistent with the residence’s evolution, with particular emphasis on its circa-1930s configuration
- Faithfully reconstruct the primary (front) elevation to maintain its contribution to the streetscape, including reinstating historically appropriate siding, trim, and architectural detailing
- Restore the front porch to a historically appropriate open configuration based on available evidence and district precedents, reintroducing a key character-defining feature and improving the historic integrity of the front elevation
- Incorporate salvaged historic materials, including remaining trim elements and historic window components, to the extent feasible, supplemented with compatible new materials where original elements are no longer present
- Include minor and necessary modifications to accommodate modern construction requirements, including compliant foundation systems, appropriate structural member sizing, and concealed connections required for life safety and code compliance

Existing conditions have been documented to inform accurate reconstruction.

In addition, a modest rear addition is proposed, as outlined in a separate design document. This addition has been intentionally located and designed to remain subordinate to the primary massing, set behind the historic form, and minimally visible from the public right-of-way, thereby preserving the visual integrity of the streetscape.

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### **Conclusion**

The project team has undertaken a thorough and good-faith evaluation of all feasible preservation strategies. The findings of both the structural engineer and contractor confirm that the existing structure is severely compromised, lacks a continuous and functional structural system, and cannot be feasibly stabilized without effectively reconstructing it in its entirety.

Given the extent of deterioration, the loss of historic integrity inherent in any viable stabilization effort, and the disproportionate financial burden associated with rehabilitation, full reconstruction represents the most responsible and appropriate course of action.

Chisel Workshop  
1309 Adams Street – Historic Zoning Commission  
April 13, 2026  
Page 4 of 4

This approach ensures that the property will continue to contribute to the Adams Street Historic District through a carefully designed replacement that preserves its visual character, reinforces the streetscape, and provides a safe and durable structure for long-term use.

We respectfully request the Commission’s consideration and approval.

Sincerely,

Ben McCreary, AIA, LEED AP  
Chisel Workshop