



City of Franklin

Mailing Address:
109 3rd Ave S
Franklin, TN 37064
(615) 791-3217

Meeting Agenda

Historic Zoning Commission

Monday, February 9, 2026

5:00 PM

Eastern Flank Event Facility

Notice is hereby given that a meeting of the Historic Zoning Commission will be held on the date and time listed above. For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at (615) 791-3216, at least 24 hours prior to the meeting. Accommodations have been made to ensure that the public is able to participate in the meeting. The public may participate in the following ways: • Watch the meeting on FranklinTV or the City of Franklin website. • Watch the live stream through the City of Franklin Facebook and YouTube accounts. • Email comments to planningintake@franklintn.gov to be provided in full to the Commission and included in the minutes, but not read aloud in their entirety during the meeting. Emailed comments are accepted until 12:00 PM (noon) on the day before the meeting. • Comment in-person at the meeting location. Speakers may sit in the meeting location.

CALL TO ORDER

CITIZEN COMMENTS (Open for citizens to be heard on any issue or concern, including those related to items on the agenda. Please submit a Speaker Card at the beginning of the meeting if you would like to address the Commission. If you would like to speak on an agenda item, the Chair will hold your comment until the public comment period associated with the item. As provided by law, the Commission shall make no decisions or consideration of action of citizen comments for items not on the agenda, except to refer the matter to the Planning Director/Staff for administrative consideration, or to a schedule the matter for consideration at a later date. Those addressing the Commission are requested to come to the microphone and identify themselves by name and address for the official record. The Chair may restrict the period for public comment, including the length of the public comment period, the number of individuals who can speak and the length of time each individual may speak. When time allows, the standard individual public comment time is two minutes.)

Comments on agenda items may be made in person or by emailing PlanningIntake@FranklinTN.gov before noon on the day of the meeting. Emailed comments will be provided to the Commission and included in the minutes, but not read aloud in their entirety during the meeting.

APPROVAL OF MINUTES

1. Consideration Of Approval Of Minutes

ANNOUNCEMENTS

APPLICATIONS

2. Consideration Of Signage (Convenience) At 118 4th Ave. N.; Michael Evans, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

3. Consideration Of Window Alterations At 305 3rd Ave. S.; Kevin Coffey, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

4. Consideration Of Alterations to A Previously Approved Building (Parking Structure) At 230 Franklin Rd. (The Factory); Read Talley, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

5. Consideration Of A Preliminary Historic Zoning Commission Recommendation For A Final Plat At 208 E. Main St., 206 E. Main St., and 119 2nd Ave. N.; Daniel Wolterman, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

6. Consideration Of Alterations (Principal Building) and Site Alterations At 234 4th Ave. N.; Daniel Kiedis, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

7. Consideration of Alterations (Principal Building) At 1010 Fair St.; Amanda McCreary, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

8. Consideration Of Demolition (Accessory Non-Historic), New Construction (Accessory), And Site Alterations At 217 5th Ave. S.; Ben McCreary, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

9. Consideration Of New Construction, Signage, And Refuse (Williamson County EMS) At 110 Aldersgate Way, John Gore, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

OTHER BUSINESS

RECEIPT OF ADMINISTRATIVE COA APPROVALS ON BEHALF OF THE HZC

10. Administrative COA For Signage (Sandwich Board) At 203 3rd Ave. S.; Dan Fielder, Applicant.
11. Administrative COA For Signage (Reface Convenience) At 103 1st Ave. N.; Michael Evans, Applicant.
12. Administrative COA For Signage (Canopy, Small Hanging/Projecting, and Convenience) At 320 Main St.; Marianne DeMeyers, Applicant.

ADJOURN

Anyone needing accommodations due to disabilities please contact the ADA Coordinator at 615-791-3277 at least 24 hours prior to the meeting.



Meeting Minutes

Historic Zoning Commission

Monday, January 12, 2026

5:00 PM

Eastern Flank Event Facility

Notice is hereby given that a meeting of the Historic Zoning Commission will be held on the date and time listed above. For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at (615) 791-3216, at least 24 hours prior to the meeting. Accommodations have been made to ensure that the public is able to participate in the meeting. The public may participate in the following ways: • Watch the meeting on FranklinTV or the City of Franklin website. • Watch the live stream through the City of Franklin Facebook and YouTube accounts. • Email comments to planningintake@franklintn.gov to be provided in full to the Commission and included in the minutes, but not read aloud in their entirety during the meeting. Emailed comments are accepted until 12:00 PM (noon) on the day before the meeting. • Comment in-person at the meeting location. Speakers may sit in the meeting location.

CALL TO ORDER

Chair LeMarinel called the meeting to order at 5:00 p.m.

Commissioners Present: Tyler LeMarinel; Chair, Brian Laster, Holly Thompson, Mary Pearce, Micheal Orr, Madalyn Ingram, Angela Calhoun

Commissioners Absent: Kathy Worthington, Bob Barrett

Staff Present: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay, William Squires, Jared Carter

CITIZEN COMMENTS (Open for citizens to be heard on any issue or concern, including those related to items on the agenda. Please submit a Speaker Card at the beginning of the meeting if you would like to address the Commission. If you would like to speak on an agenda item, the Chair will hold your comment until the public comment period associated with the item. As provided by law, the Commission shall make no decisions or consideration of action of citizen comments for items not on the agenda, except to refer the matter to the Planning Director/Staff for administrative consideration, or to a schedule the matter for consideration at a later date. Those addressing the Commission are requested to come to the microphone and identify themselves by name and address for the official record. The Chair may restrict the period for public comment, including the length of the public comment period, the number of individuals who can speak and the length of time each individual may speak. When time allows, the standard individual public comment time is two minutes.)

Chair LeMarinel asked for citizen comments. There were none.

Comments on agenda items may be made in person or by emailing PlanningIntake@FranklinTN.gov before noon on the day of the meeting. Emailed comments will be provided to the Commission and included in the minutes, but not read aloud in their entirety during the meeting.

APPROVAL OF MINUTES

1. Consideration Of Approval Of Minutes

Sponsors:

A motion was made by Commissioner Orr, seconded by Commissioner Laster to approve the Minutes from the December 8, 2025 HZC meeting. The motion carried by a vote of 7-0.

OFFICERS

2. Consideration Of 2026 Commission Chair & Vice-Chair

Sponsors:

Ms. Bulay explained that any Commissioner may nominate another Commissioner for Chair or Vice-Chair of the Historic Zoning Commission. Once the nominations have closed, the Commission will vote on each nomination beginning with Chair and then Vice-Chair.

Chair Nominations

Commissioner Laster nominated Tyler LeMarinel to continue as Chair for the 2026, HZC, seconded by Commissioner Orr. The motion carried by a vote of 7-0.

Vice-Chair Nominations

Commissioner Pearce nominated Brian Laster to continue as Vice-Chair for the 2026, HZC, seconded by Commissioner Orr. The motion carried by a vote of 7-0.

ANNOUNCEMENTS

Ms. Huffer announced and welcomed Angela Calhoun as the newest member of the Historic Zoning Commission and thanked her for her willingness to serve and stated that the Commission looks forward to hearing her historical perspective.

APPLICATIONS**3. Consideration Of Signage (Convenience) At 108 4th Ave. S.; Michael Evans, Applicant.**

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that the property located at 108 4th Avenue South features a rear parking lot accessible by alleyway. This rear parking lot is one of three separate but adjacent parking lots that are behind the buildings along Main Street between 4th and 5th Avenue South block. The request is for new convenience signage in the rear parking lot. The sign is proposed to be 18" x 24", or 3 sq. ft in sign size. The sign is proposed to be mounted to the fence near the entrance of the parking lot at a height of 72" from grade. The Guidelines recommend the following for convenience signage:

- Maximum size of 4.5 sq. ft. per side
- Maximum height of 4 feet
- Where not visible from the right-of-way, convenience signs used for parking spaces may be up to 1.5 square feet and up to 6.5 feet tall

While the proposed sign height and size do not meet the Guidelines, State laws were recently passed that regulate commercial signage for parking lots. The proposed signs meet the new State laws. The signage will be minimally visible from off-site because it is accessible by alleyway and is obscured from street view by buildings and refuse screening in the alley. One existing parking spot convenience sign is proposed to be replaced and is appropriate.

RECOMMENDATION:

Staff recommend approval of the convenience signage with conditions outlined in the staff report.

Applicant Speaker: Michael Evans. Mr. Evan stated that as part of the compliance with state law he had the opportunity to redesign the sign making it less obnoxious and more appropriate for Franklin. Mr. Evan explained that the sign will have a dark background with light colored lettering.

Citizen Comments: None

MOTION

Commissioner Orr motioned to approve with staff conditions Signage (Convenience) At 108 4th Ave. S., seconded by Commissioner Thompson.

Chair LeMarinel stated that he was glad to see a color combination more appropriately aligned with the guidelines.

There being no further discussion, the motion carried by a vote of 7-0.

RECONSIDERATION (following discussion on item 4: Consideration Of Signage (Convenience) At 435 Main

St.; Michael Evans, Applicant)

Commissioner Pearce motioned to approve Signage (Convenience) At 108 4th Ave. with staff conditions and the post finial be reviewed by staff, seconded by Commissioner Orr. The motion carried by a vote of 7-0.

4. **Consideration Of Signage (Convenience) At 435 Main St.; Michael Evans, Applicant.**

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that the property located at 435 Main Street features a rear parking lot accessible through the alleyway. The request is for new convenience signage in the rear parking lot. Two new convenience signs are proposed at the entrance and exit points of the commercial parking lot. The signs are proposed to be 18" x 24", or 3 sq. ft. each. The signs are proposed to be post-mounted at a height of 72" from grade to the top of the sign. The Guidelines recommend the following for convenience signs:

- Maximum size of 4.5 sq. ft. per side
- Maximum height of 4 feet
- Where not visible from the right-of-way, convenience signs used for parking spaces may be up to 1.5 square feet and up to 6.5 feet tall

While the proposed sign height and size do not meet the Guidelines, State laws were recently passed that regulate commercial signage for parking lots. The proposed signs meet the new state laws.

RECOMMENDATION:

Staff recommend approval of the convenience signage with conditions outlined on the staff report.

Applicant Speaker: Michael Evans. Mr. Evans did not have additional information to add.

Citizen Comments: None

MOTION

Commissioner Orr motioned to approve with staff conditions Signage (Convenience) At 435 Main St., seconded by Commissioner Laster.

Commissioner Ingram stated that the illustration in the application documents with two arrows makes the sign appear like they will be at the exit only.

Ms. Bulay explained that the documents are an aerial image before the area had been restriped. There is no longer an entry point with an arrow nearest to the building, it is all striped parking.

Commissioner Pearce asked how the sign would be mounted and the details of the type of mounting and stated that most of the signage, of this nature, in downtown are topped with a finial.

Mr. Evans stated that the mounting will consist of a 2" metal square post that will be painted black to avoid rust and can easily be topped with a finial.

Commissioner Pearce asked if this should be added to the motion.

Amendment

Commissioner Pearce amended the motion to include a small finial to be added to the signpost and be approved by staff, seconded by Commissioner Orr.

Commissioner Orr mentioned a possible retroactive request for the previous item.

Ms. Bulay stated that the previous sign request included an existing post mounted sign and one that would be mounted on the fence but would need a post.

Chair LeMarinel stated that it would be nice if there was a standard, and we do have a standard, trusting that the standard would be followed.

The motion to amend carried by a vote of 7-0.

There being no further discussion, the main motion, as amended, carried by a vote of 7-0.

Mr. Squires asked if the prior item, item 3, would be reconsidered based on the discussion.

Chair LeMarinel asked if permission from the applicant is needed.

Mr. Squires stated that the Commission may want to discuss it with the applicant, but he seemed agreeable when discussing during item 4.

MOTION (to Reconsider Item 3)

Commissioner Pearce motioned to reconsider item 3, Consideration Of Signage (Convenience) At 108 4th Ave. S., seconded by Commissioner Orr. The motion carried by a vote of 7-0.

5. Consideration Of Alterations to A Previously Approved Building (Parking Structure) At 230 Franklin Rd. (The Factory); Read Talley, Applicant.

Sponsors: Kelly Dannenfels, Emily Huffer

APPLICATION WITHDRAWN BY APPLICANT PRIOR TO MEETING

6. Consideration Of Alterations (Retroactive Principal Building Window Replacement) At 223 Franklin Rd.; Hank Gardner, Applicant.

Sponsors: Kelly Dannenfels, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay explained that the property located at 223 Franklin Road is located in the Franklin Road Historic District and is a ca. 1939 bungalow, which features a 2016 addition on the rear of the building. The request is for a retroactive Certificate of Appropriateness for the replacement of 8 windows on the historic building and 7 windows on the non-historic addition. The applicant notes that all of the windows which were replaced were not original or historic windows and had deteriorated due to improper flashing. One image has been provided of damage to a window surround. The windows on the front of the building were double-hung windows and feature the same window pattern and profile as what was previously existing. The windows material is a wood window clad in a composite material. The guidelines recommend windows on historic buildings to design new or replacement windows to match the historic material found on the building. The guidelines recommend, for windows on an addition to a historic building, design windows to match historic materials found on the building but composite materials that have the appearance of wood are appropriate for windows, stops, jams, and trim. The replacement windows on the 2016 addition are appropriate, however the replacement window material for the windows located on the historic building are not appropriate as other remaining windows on the historic building appear to be wood windows.

RECOMMENDATION:

Staff recommends denial of the replacement windows on the historic building based on the following Guidelines:

- Design new or replacement windows to match the historic materials found on the building

Staff recommends approval of the replacement windows on the 2016 addition with conditions outlined in the staff report.

Applicant Speaker: Hank Gardner. Mr. Gardner stated that he is the third owner of the property. The prior owner replaced multiple windows throughout the home. The weights were cut on the windows so it was assumed they were not the original windows. Mr. Gardner explained that the replacement windows have the same grids and profile and have been replaced, like for like. The only difference is the clad on the window exterior that can be painted. Mr. Gardner stated that they considered other grid patterns but decided to replace like for like with energy efficient quality windows.

Chair LeMarinel asked Mr. Gardner what kind of windows he used.

Mr. Gardner stated that he used JELD-WEN double hung wood windows with fiberglass that can be painted.

Citizen Comments: none

MOTION (Retroactive Window Replacement)

Commissioner Laster motioned to deny the retroactive COA for window replacement for 223 Franklin Road, seconded by Commissioner Ingram.

Commissioner Laster stated that the mention of window weights being cut is a sure sign that the windows were historic. Had the Commission had a chance to get photos of the windows before they were removed, a better decision could be made. Mr.

Laster further stated that he supports the guidelines, and the guidelines recommend that replacement windows be consistent with the material that are found on the building.

Chair LeMarinel stated that he was not sure when the weights were cut so this may be a question for the applicant.

Mr. Gardner stated that when he removed the windows the weights were not attached but were inside the window.

Commissioner Laster stated that his understanding from the previous owner was the front windows were the only ones replaced and all the others are original windows.

Commissioner Thompson stated that the light pattern does not appear to be historic and if the windows were replaced with windows that look like these, then the windows before were not historic.

Chair LeMarinel asked staff to pull up the photos of the subject property. The front windows are two over two but would have probably been like the windows along the side that are 6 over 6.

Commissioner Pearce added that it was probably a divided light.

There being no further discussion, the motion to deny carried by a vote of 7-0.

MOTION (Addition Window Replacement)

Commissioner Pearce motioned to approve window replacement for the addition located at 223 Franklin Road with staff conditions, seconded by Commissioner Thompson. The motion carried by a vote of 7-0.

7. Consideration Of A Preliminary Historic Zoning Commission Recommendation And Modifications Of Standards For A Mixed-Use Development At 318 Franklin Rd. (Harpeth Village PD); Greg Gamble, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that The HZC provides a preliminary recommendation at an early stage in the review process for development plans. These recommendations are then provided to the FMPC and BOMA. The HZC reviews the proposals in light of the Guidelines for consistency with the historic district and potential impact to historic resources within the district. The development is proposed at 318 Franklin Road. The proposed development consist of 5 commercial-mixed-use buildings. Three of the buildings are proposed to wrap around a parking structure. Development located behind the hill on the site is supported by Envision Franklin and could include single-family residential, duplexes, townhouses, multiplexes, small-scale multifamily, and accessory dwellings.

Placement & Orientation

The proposed buildings will mostly be situated behind the hill and only a small portion of the new development could be seen from Franklin Road when viewing a previous video flyer, when it is moving from Mack Hatcher headed towards the intersection of Franklin Road and Liberty Pike. However, an updated flyover was not included within the application to determine if the proposed buildings can be seen from the ROW.

Height & Building Form

The height of the proposed buildings range in height from 22' to 42'-6" at the highest parapet elements. Since the initial submittal, the heights of each of the buildings have significantly decreased. The proposed building heights appear to be consistent with the historic commercial building heights provided in the Guidelines. Portions of buildings two, three, and four

utilize a recessed floor, that helps with the massing of the building. While additional information is needed for several of the building's lengths and widths, the heights appear appropriate per the Guidelines. The varying roof forms on the building reflect the DRC comments, as this helps each building to reflect historic commercial buildings on Main Street, but also transitions the form to the adjacent residential forms seen in the Franklin Road District.

Architectural Features

The proposed architecture has evolved and now appears to relate to some of the features of the historic Factory at Franklin's site and the residential buildings along Franklin Road.

Site Alterations

The Guidelines recommend that site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts. Additional information is needed on the impact of the proposed entrance drive on the hill and how it may impact the existing topography, significant grading is needed, or whether retaining walls will be required to hold the earth back around the base of the hill and any impact on the adjacent historic buildings. Some of the parking along the base of the hill is shown in green is proposed to be removed. In past DRC meetings, the removal of these parking spaces was supported, as it helped to preserve the historic vista of the hill from Franklin Road.

Signage

Several Modifications of Standards for signage are proposed to be utilized within the development. If they are approved by the Board of Mayor and Aldermen, the MOS changes the zoning standard to be the proposed language and opens the door to allow HZC to consider certain signage not in their guidelines, but all signage that doesn't meet the Guidelines would still require a COA issued by the HZC. Approval of MOSs doesn't guarantee approval of a COA.

1. The request to have the sign shape, such as a small hanging projecting sign, be irregularly shaped could be supported by the Guidelines.
2. Canopy Sign- This request is to have one canopy sign per tenant. It isn't clear how many canopy signs this MOS could create per building, which currently allows one per building façade. These requests would not align with the other signs within the HPO.
3. Vertical Blade Signs- The MOS is requesting to increase the number of vertical blade signs to a maximum of one per commercial/mixed-use building where residential is on upper floors over commercial, and to allow it if other hanging signage is present. It is unknown how many of these signs are proposed, or where they will be located. Not enough information is known to be able to support this request.

Per a cursory Current Planning review, the roadway that is in front of building one (the northernmost building) is required to be parallel to the building. If the road has to stay at the proposed location, then a MOS must be requested.

RECOMMENDATION:

It is recommended that the HZC make a preliminary recommendation for approval of the proposal to the Franklin Municipal Planning Commission and the Board of Mayor and Aldermen for the elements of the proposal related to the Historic District Design Guidelines, provided that there is minimal impact to the topography, the hillside, and the viewshed from Franklin Road. Ms. Huffer further stated that this is at this preliminary stage, the HZC is providing an initial recommendation to FMPC and BOMA on whether this conceptual proposal, as presented today, meets the intent of the Guidelines. If the development plan is approved by the Board of Mayor and Aldermen, the HZC will further review the proposal for consideration of a Certificate of Appropriateness prior to site plan approval.

Applicant Speaker: Drake Reader and Meridith Butcher. Mr. Reader stated that the Factory District is a newer historic district that should have high quality architecture, walkability, pedestrian friendly areas and open space. The team not only considered the Factory District guidelines but also the surrounding landscape and history of the property. Mr. Reader noted that items from an archaeological dig were submitted to the Battle of Franklin Trust. The basis of design came from preservation of the hill to the north and protection of the Franklin Road viewshed. If the HZC provides preliminary approval, the proposal can be voted on by the FMPC and BOMA and if approved, the team would be able to elaborate on details with refined elevations, signage package details and modification of standards. Mr. Reader provided an overview of the changes made since April 2025, meeting, reflecting feedback from the DRC meetings and staff comments. Those changes include road re-alignment based on feedback from the Engineering Department, reduction in size and height of the building, buildings were broken up, massing reduced, the parking area is pushed toward the train tracks, and more open space incorporated. Originally parallel parking was proposed along the road into the development but based on feedback from the Commission,

the parallel parking has been removed. The goal is to make the road narrower so that it resembles a pedestrian street. After review by engineers, a retaining wall is not necessary along the hill to the south. Referring to the application documents, Mr. Reader noted that the blue areas indicate where retaining walls are necessary and explained that the retaining walls push the area down hiding the buildings and reducing visibility from Franklin Road. Mr. Reader referred to the application documents that illustrate how the buildings have been broken apart, reducing the massing/scale of the buildings. Part of the analysis included the review of the Main Street buildings, Factory Buildings and the height of buildings along Morningside Drive keeping the viewshed from Franklin Road in mind.

Ms. Butcher noted the changes in the building mass and scaling based on feedback from the Commission and staff. Ms. Butcher stated that buildings 2, 3, and 4 have varied parapets with differing architectural brick detailing. Building 2 is more of a two story massing with the third story stepped back by 6 feet. By recessing the 3rd story, the building is more successful considering the feedback from the Commission. Changes to building 3 included pulling the center down to a two story elevation with several balconies and differences in the fenestration with varying storefronts with canopies to create an interesting streetscape retail area. The window patterns also vary for this building. Building 4 has its own feel as it steps down in massing in the middle and is also pulled back six feet at the third level with varying canopies and windows. Lastly, Ms. Butcher referenced the plan document illustrations showing the perspective of the development from each direction.

Mr. Reader provided an overview of the analysis of the surroundings by comparing the Harpeth Village buildings with Jamison Station, downtown Franklin buildings (new City Hall) and the Factory Hotel. Lastly, Mr. Reader explained that the team would like to bring a full sign package for review, sign by sign. The team is hoping for flexibility on signage with a few Modifications of Standards for potential tenants to design the sign to match their business branding. Also, a MOS would be requested to have more than one canopy per building as there will be several businesses in a single building. The signs would be interior to the buildings preserving the viewshed from Franklin Road and Harpeth Industrial Road.

Citizen Comments: None

MOTION

Commissioner Laster motioned to provide a preliminary recommendation of approval of the plan proposal to the FMPC and the BOMA for the For A Mixed-Use Development At 318 Franklin Rd., seconded by Commissioner Ingram.

Commissioner Pearce stated that the way the hills are sighted, it's exciting that the hills will be saved. Commissioner Pearce also mentioned that linking a discussion about Main Street to the Factory District is an injustice to the new Factory District as it can be unique on its own and should have more of a rural feel. Commissioner Pearce went on to say that it feels like this is a missed opportunity and that area is more rural than the design represents.

Commissioner Laster stated that the historical analysis was very thorough and the applicant should be commended for the work.

There being no further discussion, the motion carried by a vote of 7-0.

Chair LeMarinel stated that the first type of sign is allowed but the MOS would ask for a specific shape.

Ms. Huffer stated that the MOS would allow for a different shape and staff would recommend aligning with the guidelines for color, size and number of signs and placement and be limited to a small projecting sign.

Chair LeMarinel asked if the signs didn't have an irregular shape and the guidelines allow for a specific shape; they would be the same size.

Ms. Huffer stated that this would allow them to be differing in shape, but staff would recommend the sign align with the guidelines for color, size and number of signs but be limited to a small hanging projecting sign like the illustration on the screen. The signs could be round, square or rectangular.

Commissioner Pearce stated that she understood the applicant said that every awning could have lettering on it.

Ms. Huffer stated that the canopy could have letters above or below it and then a vertical blade sign, in addition, having letters above or below.

Chair LeMarinel explained his understanding of the request by stating that in addition to the retail business signs, the applicant is requesting a vertical blade sign to be above the retail business signs. One vertical blade sign on each building. The guidelines recommend wording being printed straight on the canopy but not sitting above or below like welded or standoff letters.

Commissioner Laster stated that the modification of standards requests will come back to the Commission for approval, once the application is approved by the FMPC and BOMA.

Chair LeMarinel added that when a COA is submitted, the HZC will weigh the MOS against the guidelines for approval or denial.

Commissioner Pearce stated that the HZC would not necessarily approve each MOS.

Chair LeMarinel stated that the applicant would have the opportunity to present something different. The last MOS is a request to not align the roadway so that it is parallel with building one (northernmost building).

Ms. Huffer stated that per a cursory current planning review the roadway in front of building one (the northernmost building) is required to be parallel to the building. The applicant is seeking a MOS to keep the roadway as it is.

Commissioner Pearce stated that to her point earlier, this would enhance the massing of the site and the vibe of the Factory District.

MOTION (MOS for Signage)

Commissioner Laster motioned to recommend a preliminary approval for the Modification of Standards to the FMPC and the BOMA for the For A Mixed-Use Development At 318 Franklin Rd, seconded by Commissioner Thompson. The motion carried by a vote of 7-0.

8. Consideration Of A Preliminary Historic Zoning Commission Recommendation To Amend The Hillside Hillcrest Overlay (HHO) At 354 Franklin Rd.; Greg Gamble, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that The HZC provides a preliminary recommendation at an early stage in the review process for rezoning applications that amend the Hillside Hillcrest Overlay (HHO) on, adjacent to, or across the street from lands or sites that are listed on the National Register of Historic Places (NRHP) or are eligible for designation on the NRHP by the Tennessee Historical Commission or the Franklin Historic Zoning Commission. These recommendations are then provided to the FMPC and BOMA. The HZC reviews the proposals in light of the Guidelines for consistency with the historic district and potential impact to historic resources within the district. The development is proposed at 354 Franklin Road. The property located at 354 Franklin Road is approximately 200 acres that is adjacent to Harlinsdale Farm, Wyatt Hall, Creekside, and Roper's Knob; all of these properties are listed on the NRHP and are in the Historic Preservation Overlay. The project site consists mostly of undeveloped agricultural fields and forested areas in the areas closest to Roper's Knob. Roper's Knob and the adjacent Shute's Knob played significant roles during the Civil War due to the topography of the land. An applicant-requested Envision Franklin Plan Amendment was recently approved by the Franklin Municipal Planning Commission to adjust the Conservation Design Concept boundaries around Shute's Knob and Roper's Knob. See the attached diagram for the amendments within the HPO.

It is now proposed to amend the existing HHO line, which is an overlay zoning district boundary on the property, to reflect the recently amended Conservation Design Concept boundaries in Envision Franklin. The HHO overlay is intended to protect the City's hillsides and hillcrests, including their natural and topographic character and identity, environmental sensitivities, aesthetic qualities, and viewshed. The HHO boundaries are determined by a combination of GIS data, including elevation contours of hillsides and hillcrests, steep slopes, and a viewshed analysis from major thoroughfares. It is proposed to amend the HHO line that is in the general area behind Wyatt Hall. The amendment would allow for a 7.05-acre portion of the proposed development to follow an existing tree line instead of the in-place HHO line. Areas in this portion of the property have areas that are 14-20% and greater than 20% of slope. The area would no longer be in the conservation area, but it would instead be a developable area where structures could be located. The Guidelines recommend that site and setting

alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts. Additionally, The Franklin Road Historic District should provide for an uncongested gateway into downtown Franklin that emphasizes the historic character of the community. The zoning district is currently Estate Residential, which allows two-acre lots with single-family homes up to 2.5 stories in height. A viewshed study has been included in the submittal showing that this building height would not be visible from Franklin Road. Any future development under the current zoning should align with this viewshed study and any future rezoning request that would change the permitted maximum building heights, scale, massing, or setbacks of buildings should be carefully considered regarding potential visibility from Franklin Road and nearby historic resources, including Roper's Knob, Wyatt Hall, Creekside, etc.

RECOMMENDATION:

It is recommended that the HZC make a preliminary recommendation for approval to the Franklin Municipal Planning Commission and the Board of Mayor and Aldermen provided that any future development does not increase the visibility from Franklin Road and nearby historic resources, including Roper's Knob, Wyatt Hall, Creekside, etc. and that any future rezoning request that would change the permitted maximum building heights, scale, massing, or setbacks does not increase the visibility from those resources beyond what is shown in the viewshed study associated with this HHO rezoning request. If the HHO Rezoning is approved by the Board of Mayor and Aldermen, the HZC will further review a future development proposal for these characteristics later.

Applicant Speaker: Greg Gamble & Drake Reader. Mr. Gamble stated that this is rezoning request required by the city, it is not a request to change the single family base zone. When relocating the line, it requires a rezoning effort. When there is a hilltop hillside overlay in the historic district, it is required to come to the zoning commission for preliminary recommendation and then to FMPC and BOMA. Mr. Gamble explained that he has met with city staff over the last few years to determine where the line should be located. Recently the FMPC adopted in Envision Franklin a change from conservation to rural residential. Mr. Gamble stated that they are proposing additional areas of conservation and while the line is being moved around, it is important to get it right. A lot time and effort has been made in meeting with Aldermen, planning commissioners and staff in an effort to understand what the original intent was behind the preservation of HHO and the existing lines.

Drake Reader. Mr. Reader stated that the HHO was established in 2009 to protect the hillsides and hillcrests and the viewsheds from the main thoroughfares by looking at certain criteria. An in-depth analysis was completed and because the area is within the conservation land use, rezoning is required to change the land use policy in Envision Franklin. The process began by receiving approval to amend the conservation area to keep what exists as rural reserve and conservation and moves it to rural reserve, providing the same protections. This request is only to move the HHO line to better align with the conservation policy that was approved by FMPC in September. Any other requests involving changes to zoning, development plan, or site plans would come before the HZC for approval and review. If this request is recommended for approval, the zoning remains designated as rural residential and any further action such as a site plan proposal would require preliminary approval before a certificate of appropriateness could be considered. Mr. Reader referred to proposal document maps referencing the existing HHO along with the proposed HHO boundaries. Using staff's feedback, the proposed HHO line follows the existing tree canopy and follows an existing stacked stone wall. Looking at the overall map, Mr. Reader mentioned the existing limitations of the area including the railroad and floodplain lines. Then, referring to the map, Mr. Reader explained that the request is to pull out 7 acres of the HHO and place into rural reserve and estate residential. Lastly, Mr. Reader referenced a video demonstrating the viewshed from Franklin Road with 50 feet as the theoretical height of potential homes, should there be a formal plan submitted.

Citizen Comments: None

MOTION

Commissioner Orr motioned to recommend a preliminary approval To Amend The Hillside Hillcrest Overlay (HHO) At 354 Franklin Rd. to the FMPC and the BOMA, seconded by Commissioner Laster.

Commissioner Orr stated that the Planning Commission has scrutinized this request and what has been presented is a good compromise as the applicant incorporated neighboring comments, staff comments and aldermen feedback. Commissioner Orr further stated that there was a lot of give and take on this request and as the request reads, without any changes, should move forward in the process.

Commissioner Pearce asked staff if they support the request.

Ms. Huffer stated that yes if any future development does not increase the visibility from Franklin Road and nearby historic resources and that any future rezoning request that would change the permitted maximum building heights, scale, massing, or setbacks does not increase the visibility from those resources beyond what is shown in the viewshed study associated with this HHO rezoning request.

Commissioner Pearce stated that she can support the request if everyone agrees that what has been proposed has been examined carefully. Commissioner Pearce went on to say it was very difficult to get the HHO passed and regulations like this have attracted development to the community. Once the door is open to change to the hillside contours, there will be an impact on development the future.

Commissioner Orr explained that the proposed HHO lines better define the boundaries and make more sense than the current HHO boundaries, for this area.

Commissioner Laster stated that tree lines, paddocks and pastures naturally separate property boundaries. John B. McEwen, Mayor of Franklin during the Civil War often surveyed his own property and the deed descriptions mention the rock walls as boundaries. Commissioner Laster noted that it is important to him that these rock walls be preserved and used as boundary markers.

Commissioner Laster asked if anyone knew how many acres there are in this conservation area.

Mr. Gamble stated that it is somewhere around 85 acres, not including the floodplain.

Commissioner Pearce noted that Franklin's Charge has purchased land adjacent to Roper's Knob with the plans of getting the park open.

Chair LeMarinel stated that he understands the amount of work put into establishing the HHO lines and in some instances were drawn arbitrarily. The request before the Commission is a refinement of the HHO line and is understandable and makes sense when viewed in a more detailed manner.

There being not further discussion, the motion carried by a vote of 6-0.

OTHER BUSINESS

Emily Huffer reminded everyone that DRC is on Tuesday, 1/20, due to City Offices being closed in observance of MLK Jr. Day.

RECEIPT OF ADMINISTRATIVE COA APPROVALS ON BEHALF OF THE HZC

9. Admin COA For Wall Sign (Lighting) At 230 Franklin Rd.; John Brown, Applicant.

Sponsors:

10. Admin COA For Rear Yard Fencing At 230 Franklin Rd.; John Brown, Applicant.

Sponsors:

11. Admin COA For Signage At 315 Bridge St.; Kimberly Swartz, Applicant.

Sponsors:

12. **Admin COA For Rear Yard Fencing At 717 Glass Ln.; Will Forte, Applicant.**

Sponsors:

ADJOURN

There being no further business, Commissioner Orr motioned to adjourn the meeting, seconded by Commissioner Calhoun. The meeting adjourned at 06:36 p.m.

Chair

Date



File #: 26-0128

DATE: 2/9/2026

TO: Historic Zoning Commission

FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:

Consideration Of Signage (Convenience) At 118 4th Ave. N.; Michael Evans, Applicant.

PURPOSE:

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning convenience signage at 118 4th Ave. N.

APPLICABLE DESIGN GUIDELINES:

2022 Franklin Historic District Design Guidelines:
Chapter 8: Convenience Sign

PROJECT INFORMATION:

COF Project Number: 9031
Applicant: Michael Evans, Park Happy, LLC.
Owner: Leonara Green Clifford

BACKGROUND:

The property located at 118 4th Avenue North features a ca. 1910 frame pyramidal residential building and a rear parking lot accessible by alleyway. This rear parking lot is one of two separate but adjacent parking lots that are behind the buildings along Main Street between 3rd and 4th Avenue North.

Four convenience signs are proposed at the entry and exit points to the commercial parking lot. Two of the signs, noted within the plans as 3,4,5, and 6, will be double-sided. The signs are proposed to be 18' x 24', or 3 sq. ft in sign size. The signs are proposed to be mounted to post with the top of the signs to be 71" from grade. The sign is proposed to be a metal material and will utilize a dark background with lighter lettering and minimal accent colors. The Guidelines recommend the following for convenience signage:

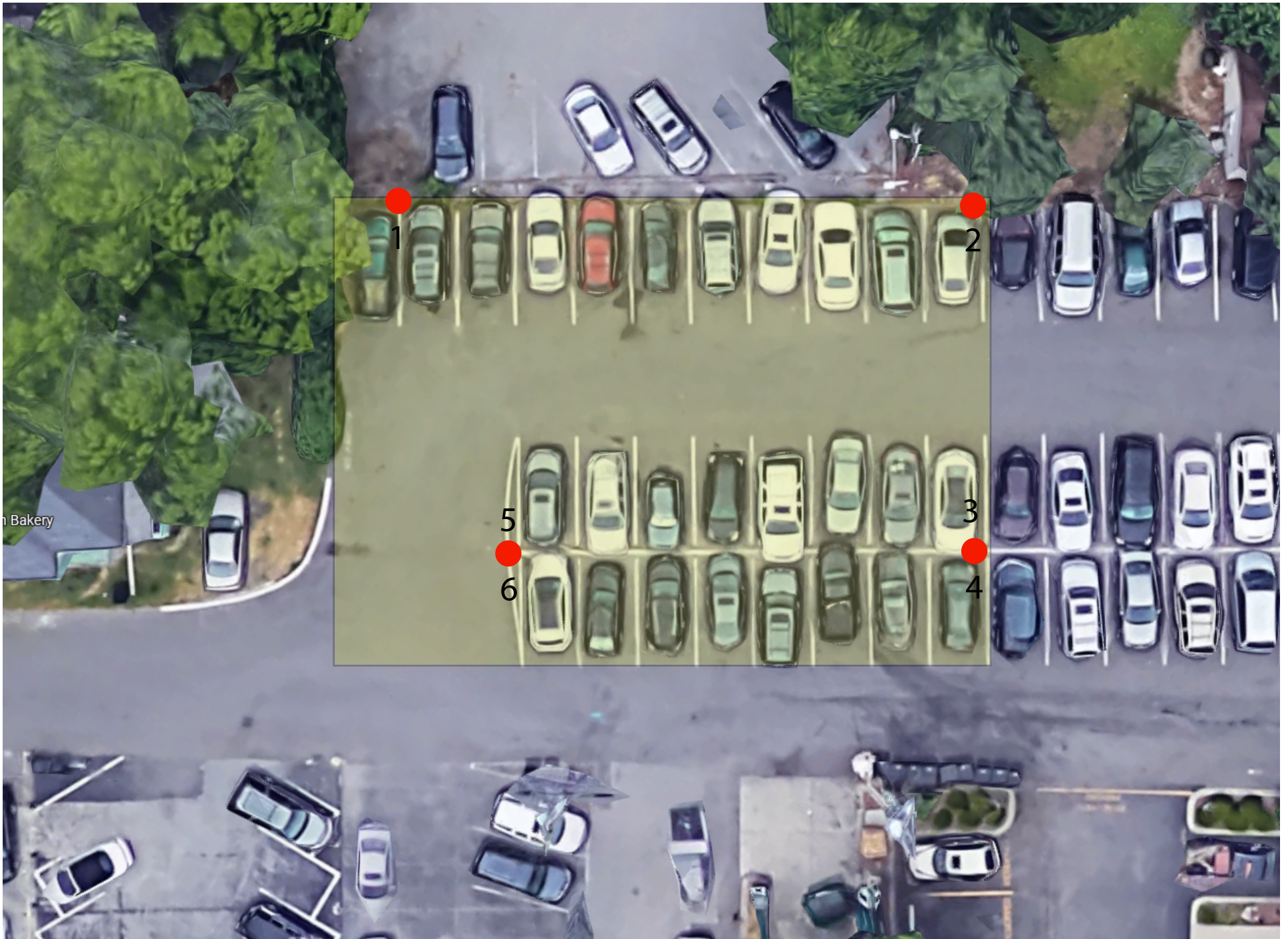
- Maximum size of 4.5 sq. ft. per side
- Maximum height of 4 feet
- Where not visible from the right-of-way, convenience signs used for parking spaces may be up to 1.5 square feet and up to 6.5 feet tall

While the proposed sign height and size do not meet the Guidelines, State laws were recently passed that regulate commercial signage for parking lots. In consultation with the Law Department, it is determined that TCA 55-31-203 requires the signs to be installed and requires a higher level of visibility for the signage messaging. The proposed signs meet the new State laws.

RECOMMENDATION:

Staff recommends approval the convenience signage with the following conditions:

1. The application must meet all the requirements of the City of Franklin prior to issuance of a sign permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



Signs Details

All signs will use an 18" x 24" aluminum blank as the substrate and will be faced with a matte vinyl sticker. All posts are 2" square steel painted a matte black. The top of the posts will be at 72", and the top of the signs will be at 71".

Sign placements are intended to comply with T.C.A. § 55-31-203: ...[late fee sign] is located at each designated entrance and exit of the commercial parking lot. This lot fails to have designated entries and exits, so placement provides adequate notice to the motoring public.

PARKING CONTRACT

Read these Terms and Conditions Prior to Parking

Important! By parking here you agree to be bound by this contract, whether you read these Terms or not.

This facility provides parking only and is only for parking customers. It does not provide security to persons or property. You are solely responsible for your safety. We do not take custody of your vehicle. Park at your own risk. We accept no responsibility for loss, theft or damage to vehicles or contents. Please check your surroundings for safety risks. If you see any hazards, such as snow, ice, cracked pavement, uneven or slick surfaces, do not use this facility.

By this sign, we offer space for public parking, and you accept this offer by parking on this lot. We waive all requirements of notice of acceptance. This contract requires binding arbitration on an individual basis to resolve disputes, specifically waives the right to a jury trial, class actions and class arbitrations, and also limits the remedies available to you in the event of a dispute.

No Trespassing or Loitering. Parking compliance is monitored 24/7. Vehicles out of compliance are subject to towing, booting, and parking invoice charges at the owner's sole expense. You must pay the correct rate, in advance, for the total number of stalls used. Neither payment to unauthorized persons or to different facilities will be honored. Your payment is valid for one use only; exiting and reentering is not allowed. Validated or free parking privileges, if provided, are limited to a single use per day, per vehicle. Vehicles parked outside designated stalls, blocking the drive aisles, or in violation of posted signs, such as "Reserved", "Compact", "EV Charging", or "Handicap" stalls, are improperly parked.

To park on this facility, you are required to register, submit identifying information, and make timely payment if required. Failure to identify yourself during registration is the same as submitting false or blank information. If you fail to register, submit accurate information, or make timely payment if required, the facility owner and its agents may obtain the registered owner information, including name and address for the vehicle you are driving, from the applicable state authority, for the purpose of preventing fraud by you, pursuing legal remedies against you, or recovering on a debt owed by you. We may also use this information in connection with any legal or arbitral proceeding, including the service of process, investigation in anticipation of litigation, and the execution or enforcement of judgments and orders, or pursuant to an order of a Federal, State, or local court.

If a parking invoice is issued for violating these terms, the amount due is calculated by subtracting the amount you paid from the 24-hour parking rate. When the amount you paid is unknown, that amount is assumed to be zero.

LATE FEES APPLY AFTER 72 HOURS

A late fee of up to \$50 will be assessed if the invoice remains unpaid after 72 hours.

An additional late fee of up to \$25 will be assessed if the invoice remains unpaid after 30 days.

Automated License Plate Recognition Cameras may be in operation. By parking here, you consent to receive SMS text messages, emails, and other forms of written communication for compliance purposes.

If you receive an invoice and wish to dispute it, please follow the directions on your invoice.

If you do not agree to these Terms you may leave within 5 minutes—without parking—at no charge.



*Don't forget, as soon as
you park you must*

*text **135** to
615-777-9797*



then follow the prompts.

www.parkhappy.com

OWNER AFFIDAVIT
City of Franklin, Tennessee

We/ Leonora Green Clifford + John M. Green III
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

0786 C 00800 000090786
(Property Parcel/Tax ID Number)

and located at:

118 4th Ave. N. Franklin, TN 37064
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

PARK HAPPY LLC
(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

Leonora Green Clifford John M. Green III
Signature

600 Murfreesboro Rd
Property Owner Mailing Address

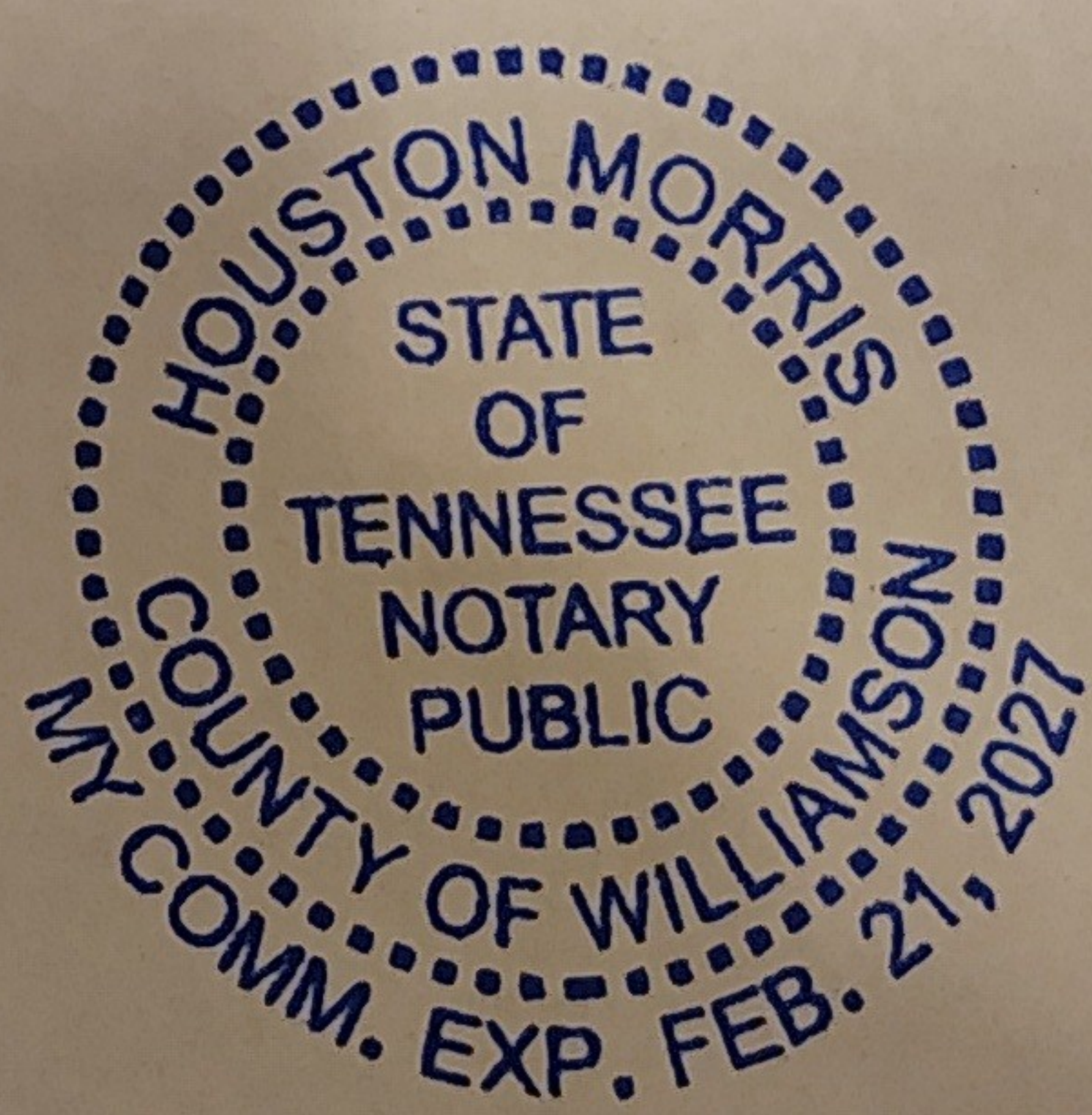
Franklin, TN 37064
City, State & Zip

Subscribed and sworn to before me this

29th day of December, 2025.

Houston Morris
Notary Public

My Commission Expires: 2-21-27





File #: 26-0136

DATE: 2/9/2026
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration Of Window Alterations At 305 3rd Ave. S.; Kevin Coffey, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning window alterations to the principal building at 305 3rd Avenue South.

APPLICABLE DESIGN GUIDELINES:
2022 Historic District Guidelines:
Chapter 2: Historic Residential Buildings

PROJECT INFORMATION:
COF Project Number: 9035
Applicant: Kevin Coffey
Owner: Vince Emmett

BACKGROUND:
The property at 305 3rd Avenue South is located in the Downtown Franklin National Register Historic District. The NRHP listing notes that the building is known as the Miller-Beasley House, was built in 1866 and is a one-story brick Greek Revival-influenced residence. The proposal includes window alterations to the right elevation. The applicant attended the January Design Review Committee meeting and has incorporated the feedback and requested information into the proposal.

The proposal includes the replacement of two windows on the right elevation. The building has been altered many times since its original construction in 1866 and the proposed window alteration appears to be located on the 1908 addition of the building. The first alteration is the replacement of the one-over-one pattern window with an eight-over-eight pattern window. The application notes that it was "likely replaced at one time" but photos showing its condition or up-close images were not provided. The second window alteration is to remove the existing double windows and replace them with new, larger windows. The plan provides two options for the window replacement: a pair of windows and triple windows. The application does show that there have been alterations to the area below the existing windows, as the mortar and brick is different from the surrounding area. Additionally, measurements aligning with other surrounding windows and photos from 1993 show that longer windows were previously there. The Guidelines recommend:

- Preserve and maintain historic windows and historic window openings.
- Design new or replacement windows to have historic profiles and dimensions and a double-hung appearance.
- Design new or replacement windows to match the historic materials found on the building.
- Minimize the visual impact of storm windows by designing them so that they appear to be part of the window. Use a full view storm window design to allow the viewing of the original window from the street.

The replacement of the one-over-one window does not appear to have enough information for staff to provide a recommendation. However, the replacement of the existing pair of double-hung eight-over-eight windows with a larger pair of eight-over-eight windows does align with the Guidelines. The proposed windows are noted to be milled to match the profile of the windows on the left elevation of the house. The windows will be constructed out of Redwood or Mahogany, which is an appropriate window material per the Guidelines.

RECOMMENDATION:

Staff recommends deferral of the replacement of the one-over-one window due to a lack of information.

Staff recommends approval of the window replacement of the eight-over-eight pair of windows with the following conditions:

1. The proposal A with the double windows is approved.
2. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
3. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

OWNER AFFIDAVIT
City of Franklin, Tennessee

We/I Vince Emmett
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

Airstream llc. # 993861011
(Property Parcel/Tax ID Number)

and located at:

305 3RD. AVE. South FRANKLIN, TN 37064
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

KEVIN COFFEY
(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Signature]
Signature

305 3RD AVE. South
Property Owner Mailing Address

Franklin, TN 37064
City, State & Zip

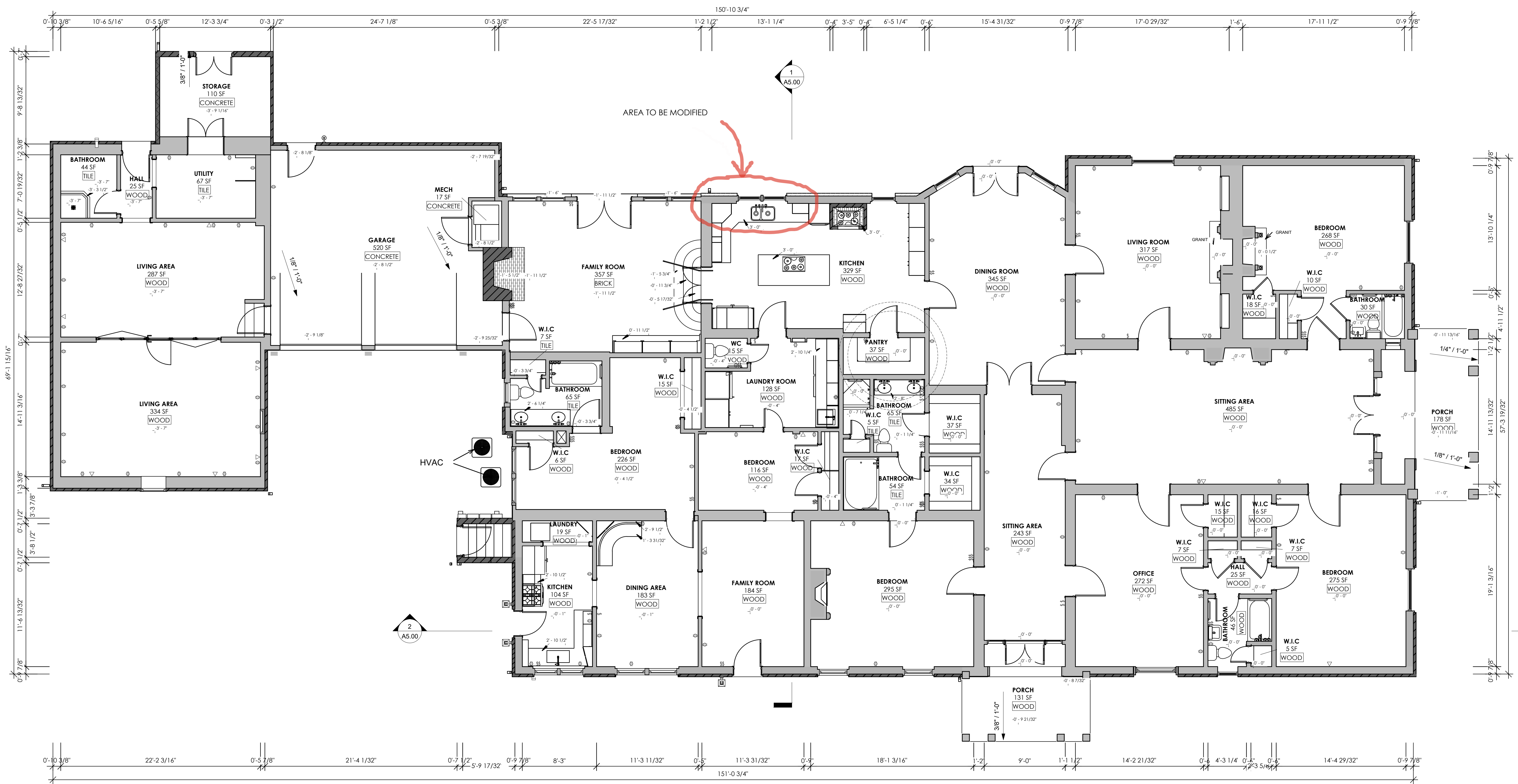
Subscribed and sworn to before me this

29 day of December, 2025.

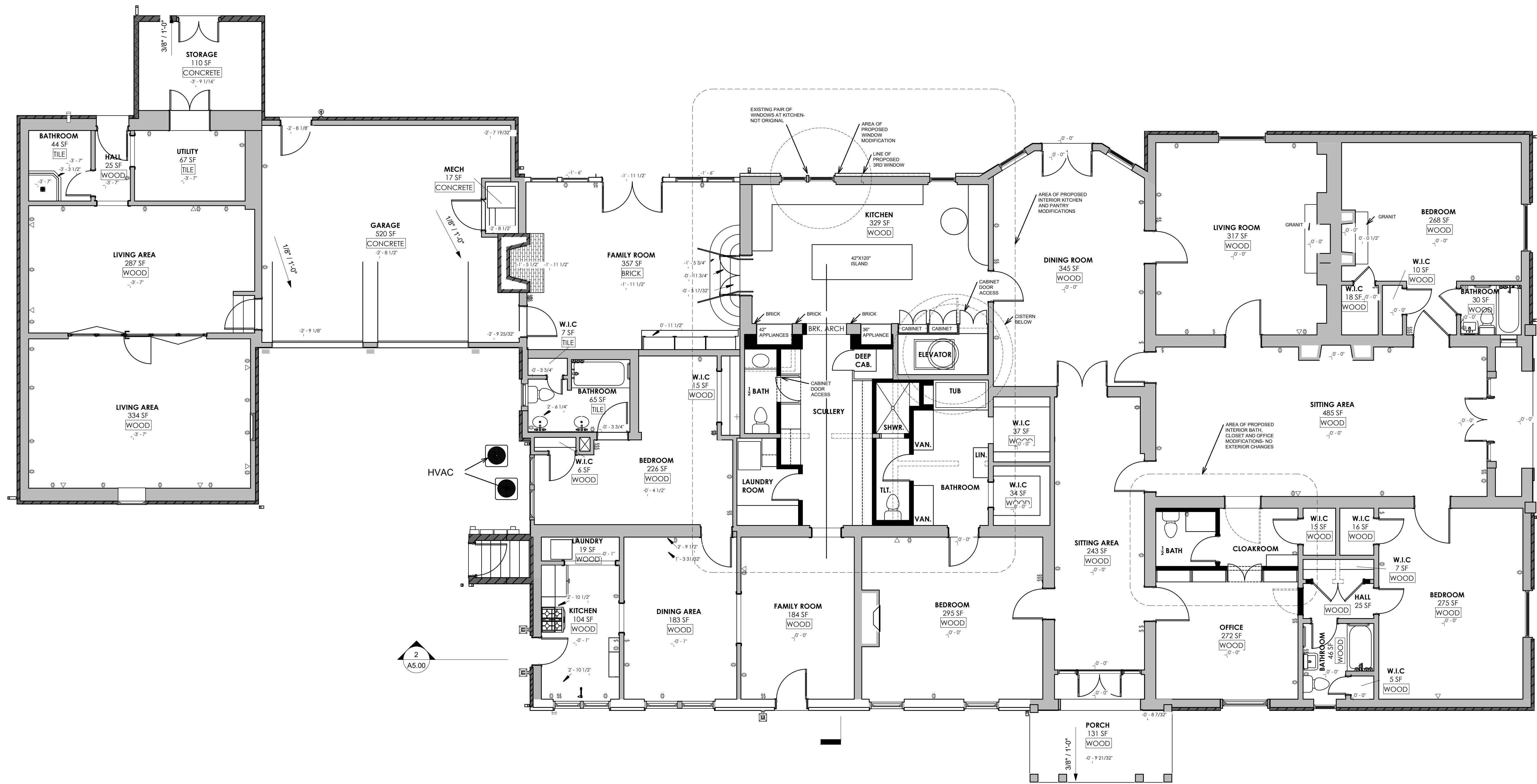
[Signature]
Notary Public

My Commission Expires: 06/27/2026



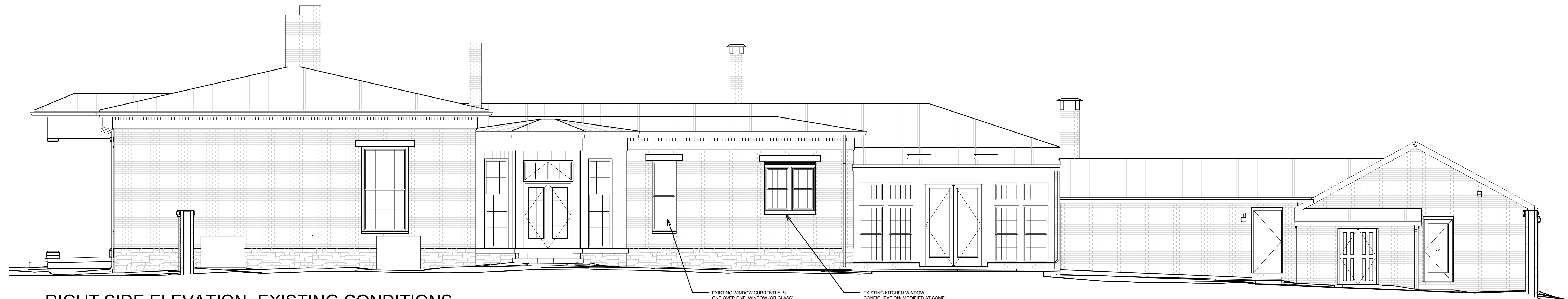


MAIN LEVEL FLOOR PLAN- EXISTING CONDITIONS
 SCALE: 1/8"=1'-0"



MAIN LEVEL FLOOR PLAN WITH PROPOSED MODIFICATIONS

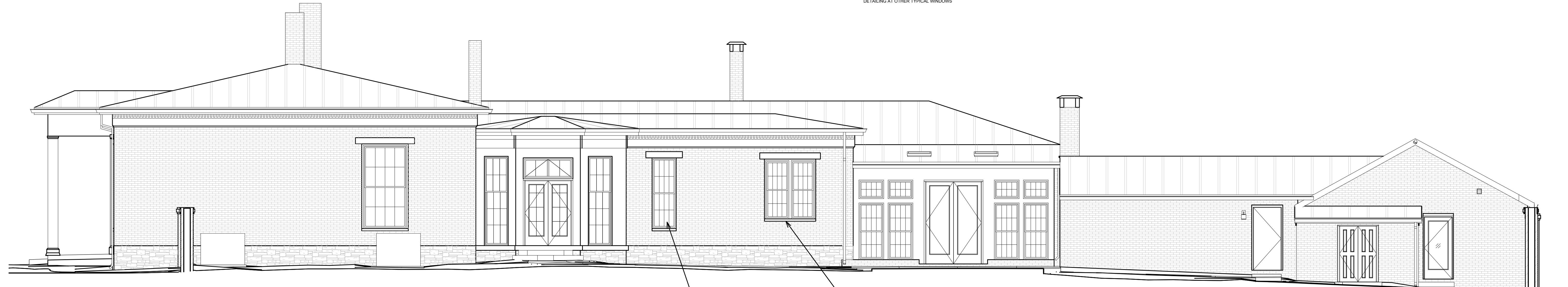
SCALE: 3/16"=1'-0"



RIGHT SIDE ELEVATION- EXISTING CONDITIONS

EXISTING WINDOW CURRENTLY IS ONE OVER ONE WINDOW (OR GLASS) WAS LIKELY REPLACED AT ONE TIME. WOULD LIKELY HAVE HAD 8 OVER 8 MULL PATTERN TYP. OF REST OF HOUSE.

EXISTING KITCHEN WINDOW CONFIGURATION MODIFIED AT SOME POINT. SEE INCLUDED PHOTO THAT SHOWS BRICK MODIFICATION BELOW WINDOW SILL. SILL AND HEADER DETAIL IS ALSO DIFFERENT FROM THE ORIGINAL DETAILING AT OTHER TYPICAL WINDOWS.



RIGHT SIDE ELEVATION- KITCHEN WINDOW PROPOSAL "A"

EXISTING WINDOW CURRENTLY IS ONE OVER ONE WINDOW (OR GLASS) WAS LIKELY REPLACED AT ONE TIME. WOULD LIKELY HAVE HAD 8 OVER 8 MULL PATTERN TYP. OF REST OF HOUSE. WE WOULD CONSIDER REPLACING THIS UNIT IF PERMITTED.

PROPOSAL "A": USE SAME WIDTH WINDOW, BUT INCREASE HEIGHT SO WINDOW SILL HITS AT KITCHEN COUNTER HEIGHT. APPROX. WINDOW HEIGHT WILL BE 6'-4" HEADER WILL BE RAISED SLIGHTLY AS WELL, BUT STILL UNDER THE EXISTING LINTEL. MATCH SILL DETAILS TO ORIGINAL.



RIGHT SIDE ELEVATION- KITCHEN WINDOW PROPOSAL "B"

EXISTING WINDOW CURRENTLY IS ONE OVER ONE WINDOW (OR GLASS) WAS LIKELY REPLACED AT ONE TIME. WOULD LIKELY HAVE HAD 8 OVER 8 MULL PATTERN TYP. OF REST OF HOUSE. WE WOULD CONSIDER REPLACING THIS UNIT IF PERMITTED.

PROPOSAL "B": ADD THIRD WINDOW, HEIGHT BEING SIMILAR TO PROPOSAL "A"





Right Side View:

Showing comparison of existing window heights and sizes as well as disturbed brick area below kitchen window pair.



Right Side View:

Showing existing window pair at kitchen
And unorthodox detailing at header and more modern cast sill detail



Left Side View:

Showing existing window pairs on opposite side of the house, typical 8 over 8 configuration. These windows have typical detailing that we would match with a shop-built window.

EXISTING WINDOWS ON WEST SIDE OF HOUSE:
WOOD LINTELS AND SILLS WITH SPREAD MULL— WE WOULD USE THESE AS A MODEL FOR THE SHOP BUILT WINDOWS ON THE OPPOSITE SIDE OF THE HOUSE AT THE KITCHEN AREA.



WINDOW JAMB AND SILL PROFILES ON PAIR OF WINDOWS ON WEST SIDE OF HOUSE— WE ARE PROPOSING TO MATCH THESE PROFILES WITH A SHOP BUILT WINDOW MOST LIKELY USING REDWOOD OR MOHOGANY. FINAL SPECS AND DETAILS WILL BE PRESENTED TO THE STAFF AND BOARD.

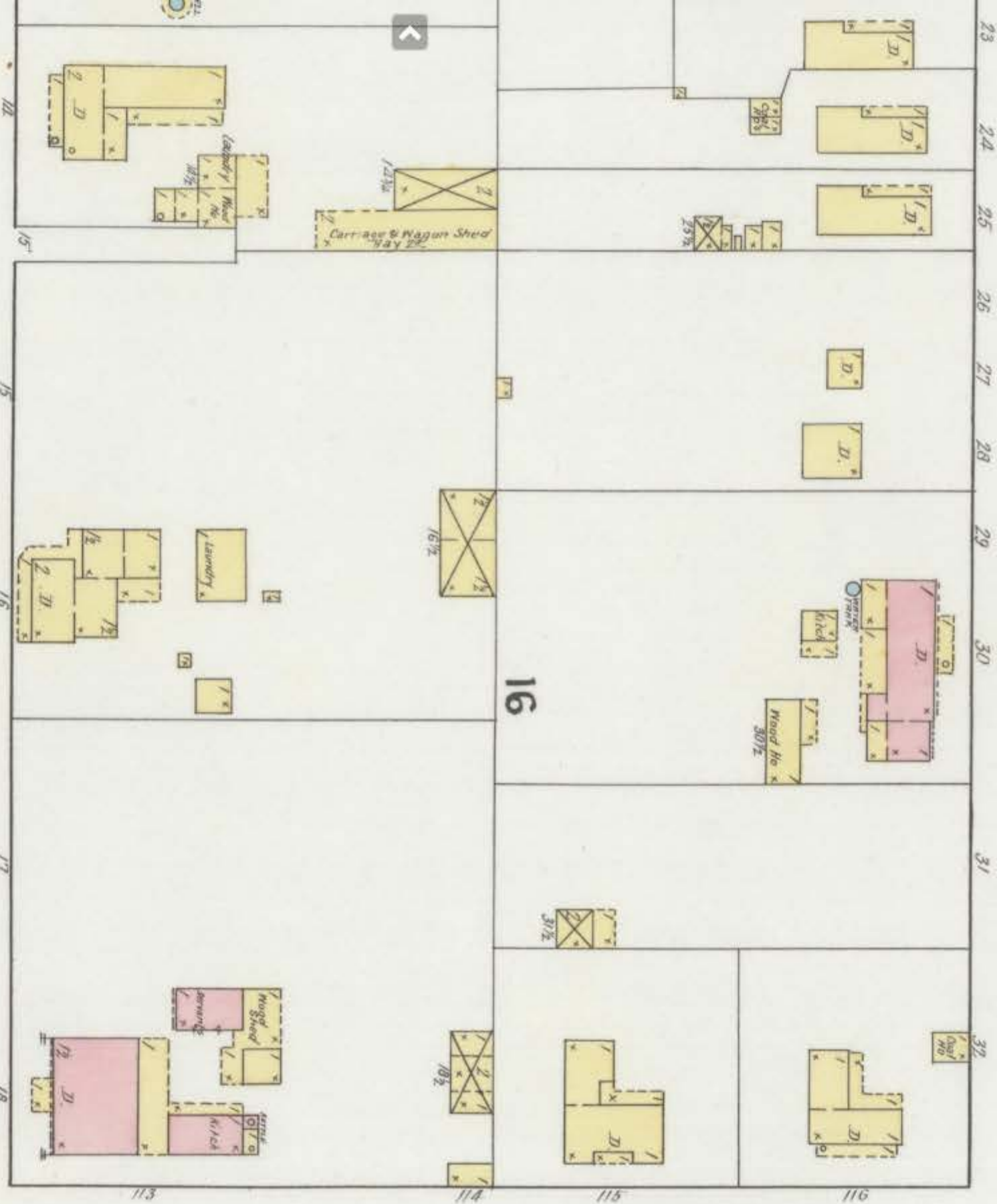


EXISTING KITCHEN WINDOWS

EXISTING WINDOW ON REAR ELEVATION
SHOWING 8 OVER 8 TYPICAL MULL PATTERN
AT MORE RECENT RENOVATIONS



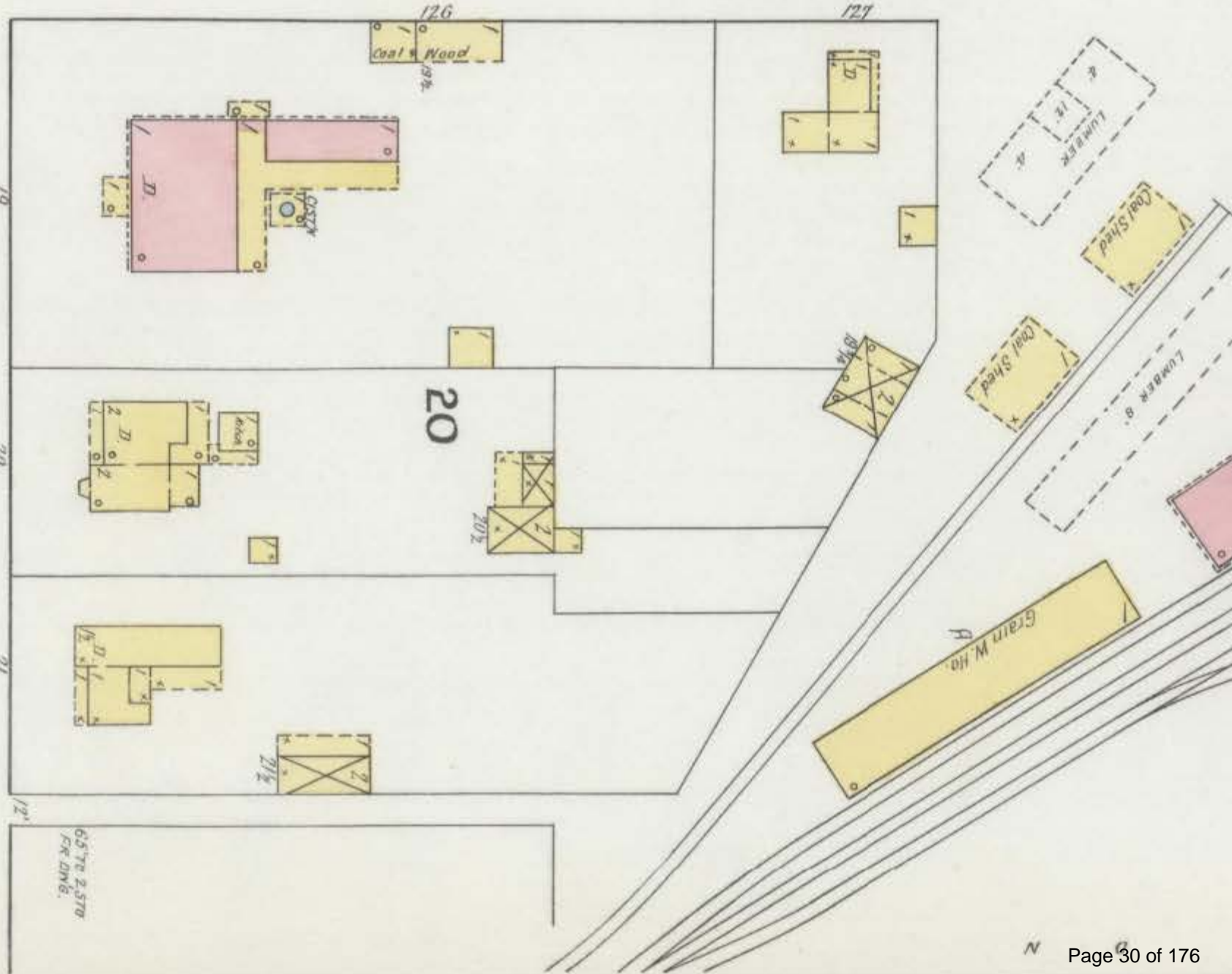
CAMERON



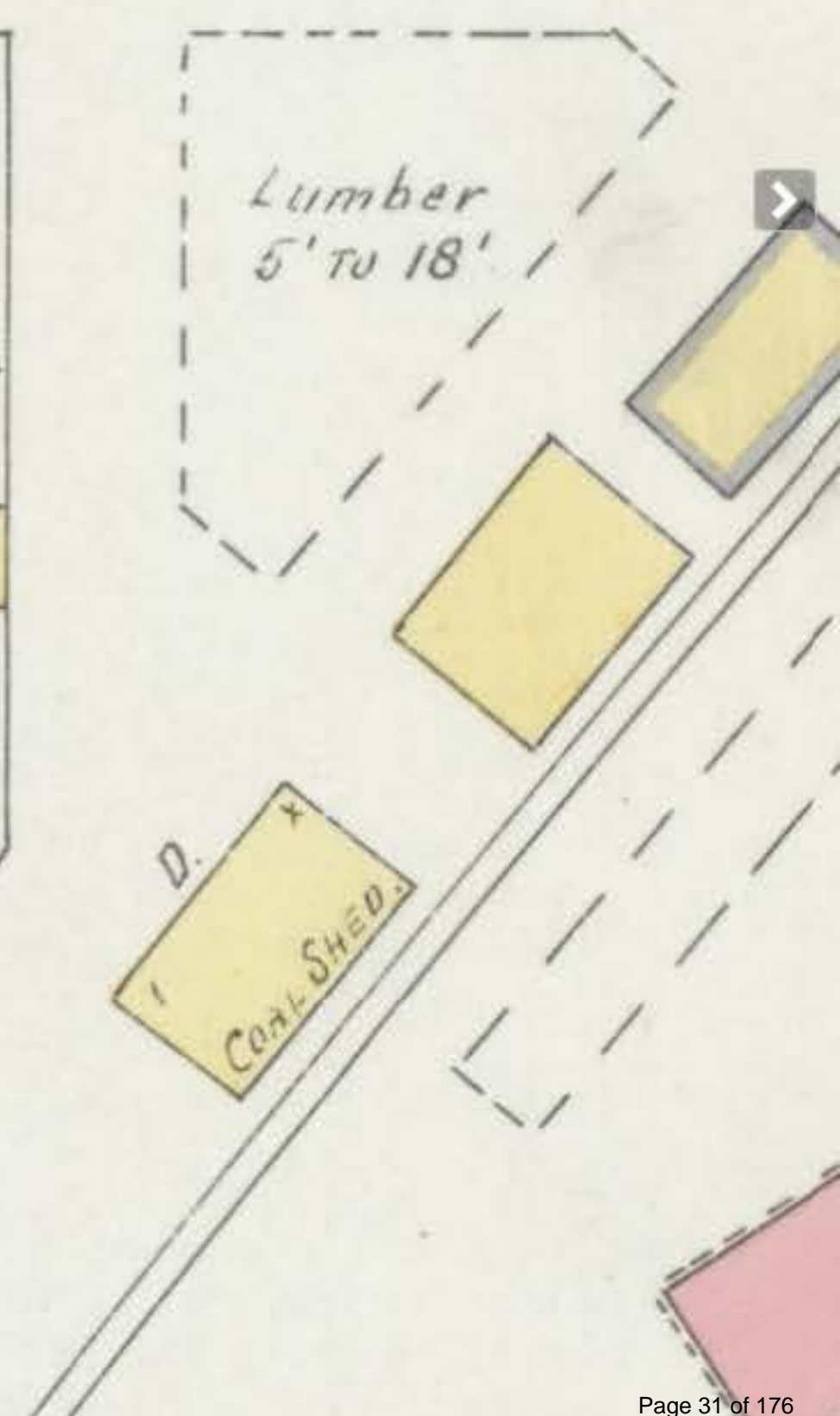
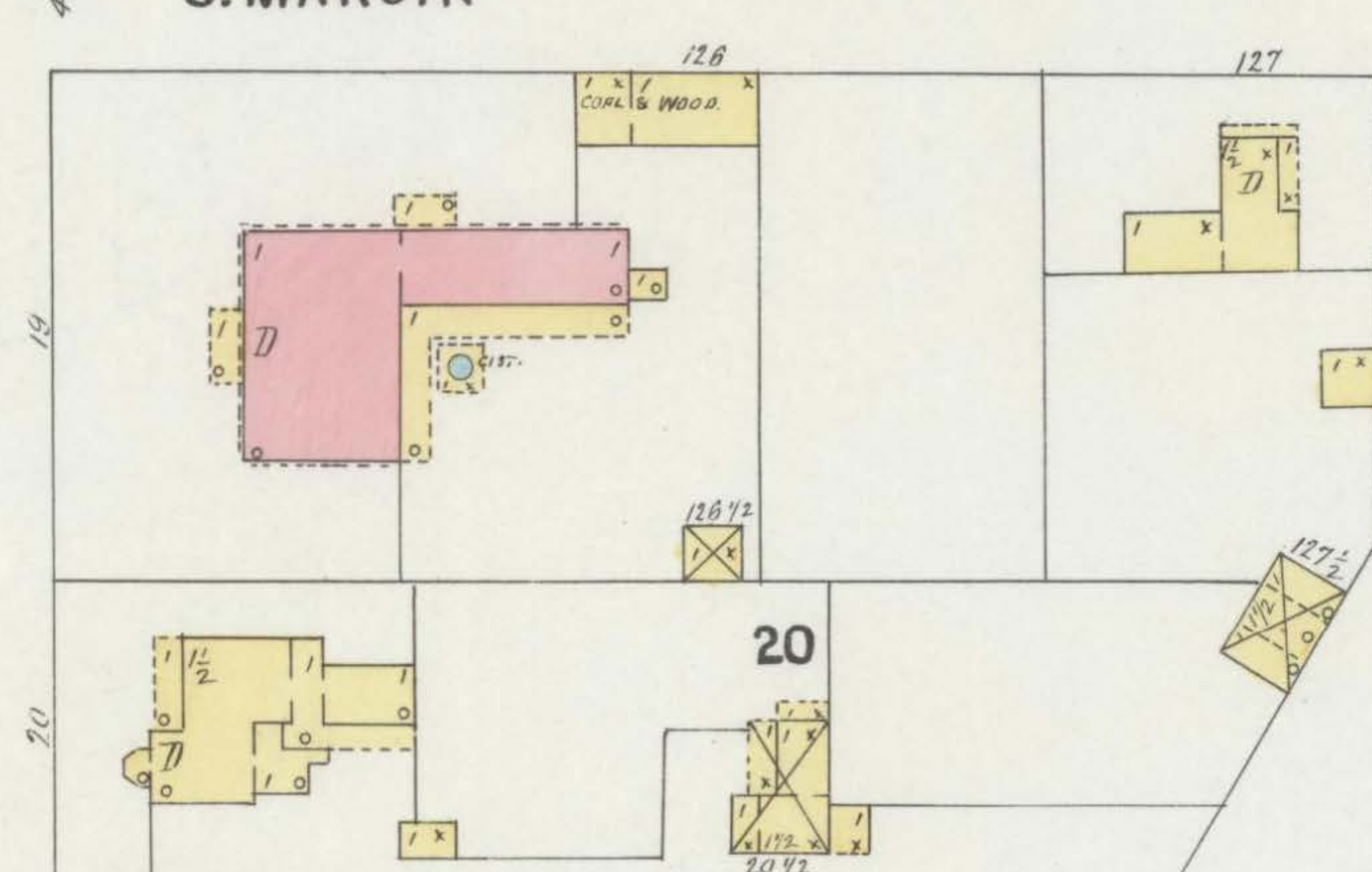
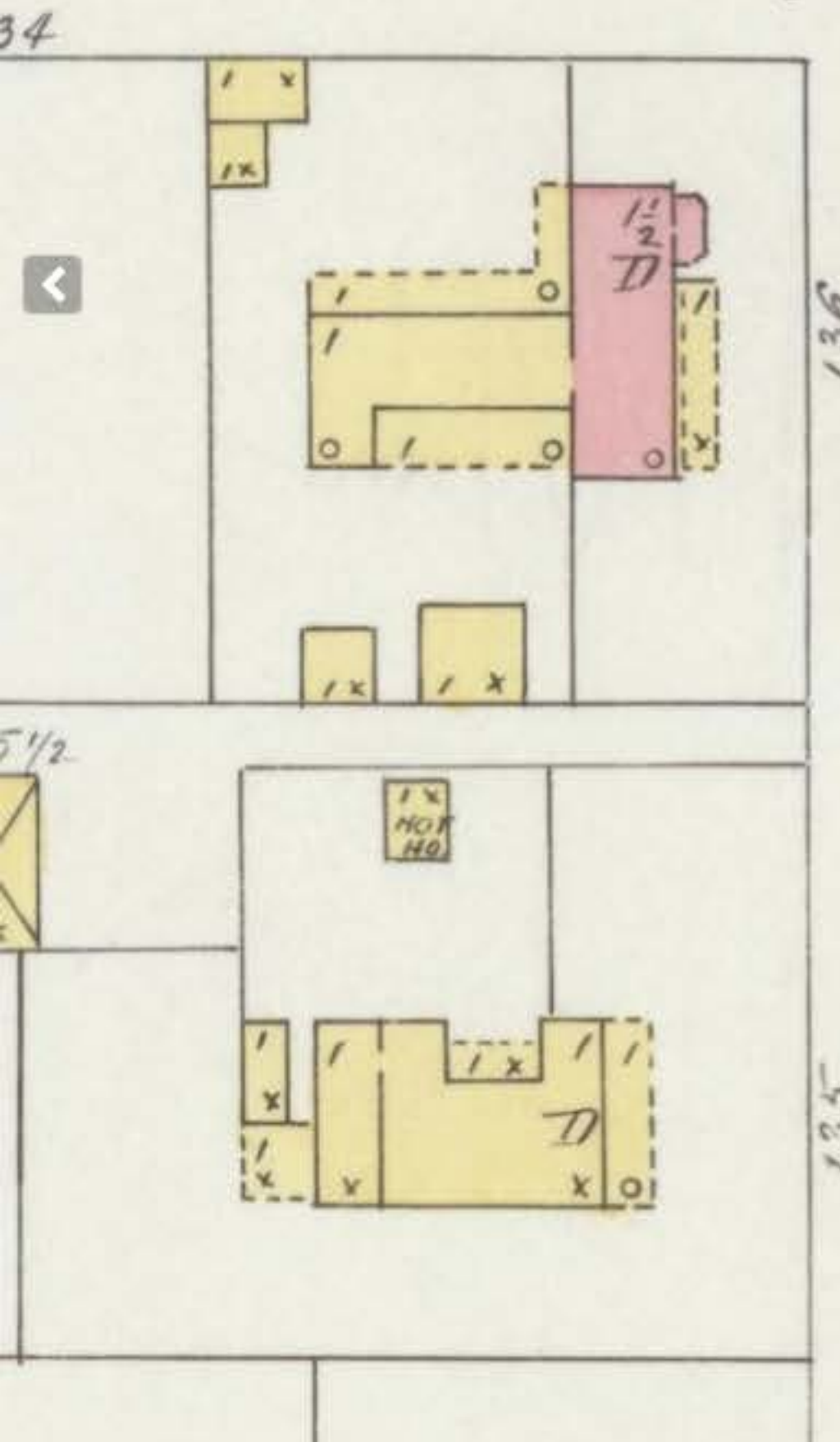
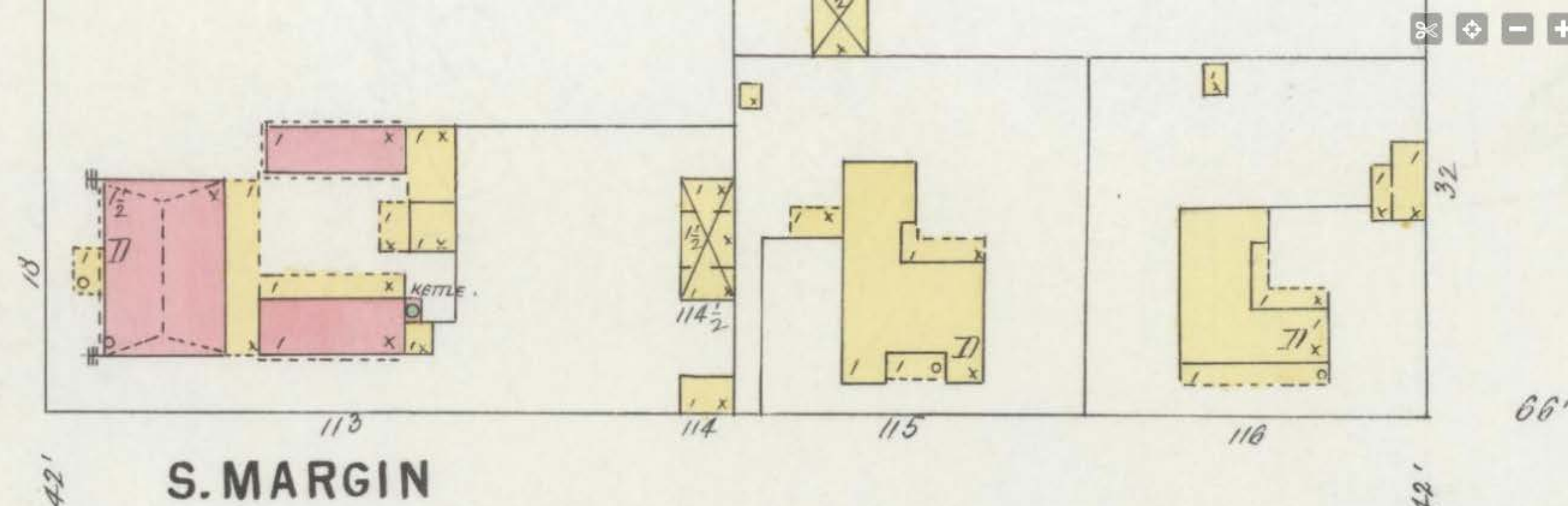
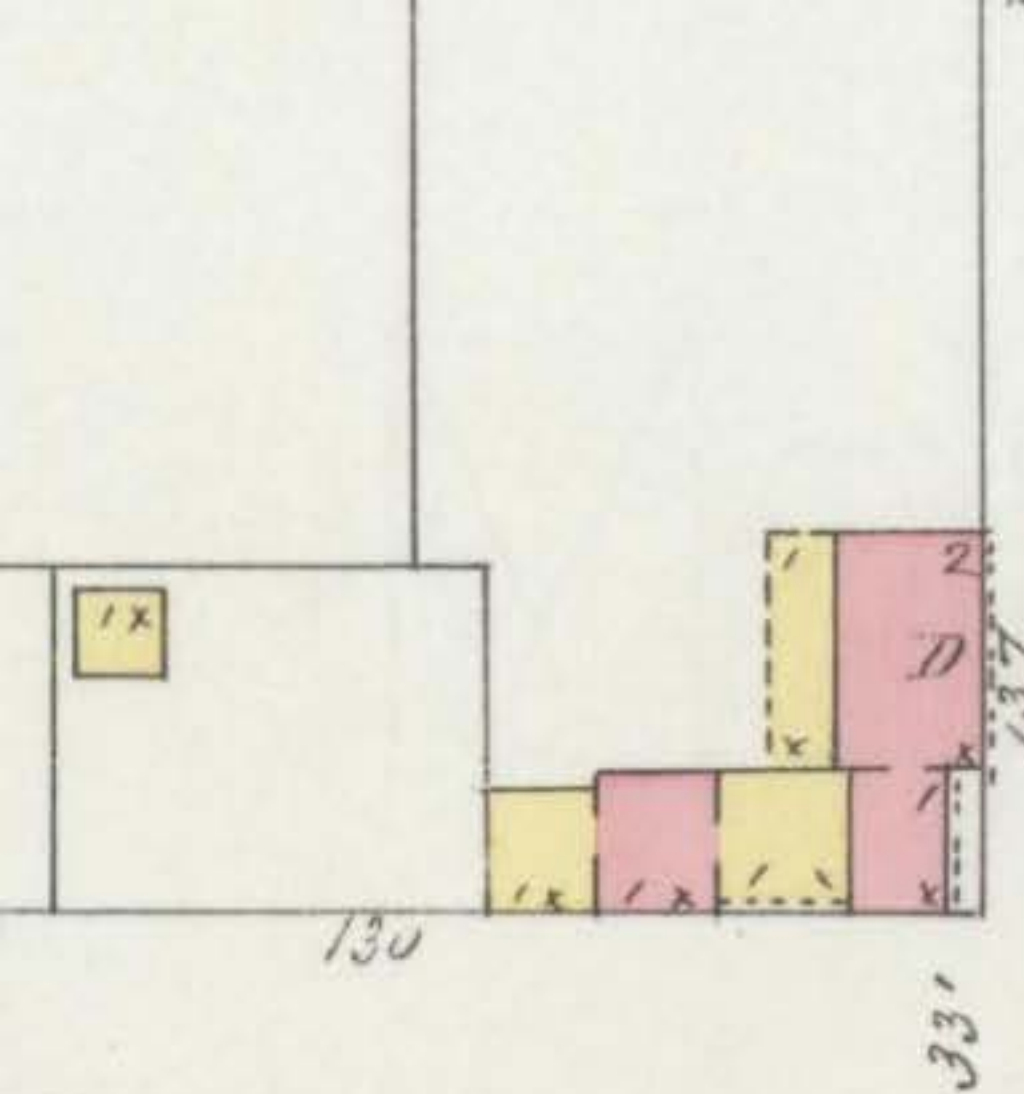
Scale of Feet.

MAIN CROSS

S. MARGIN

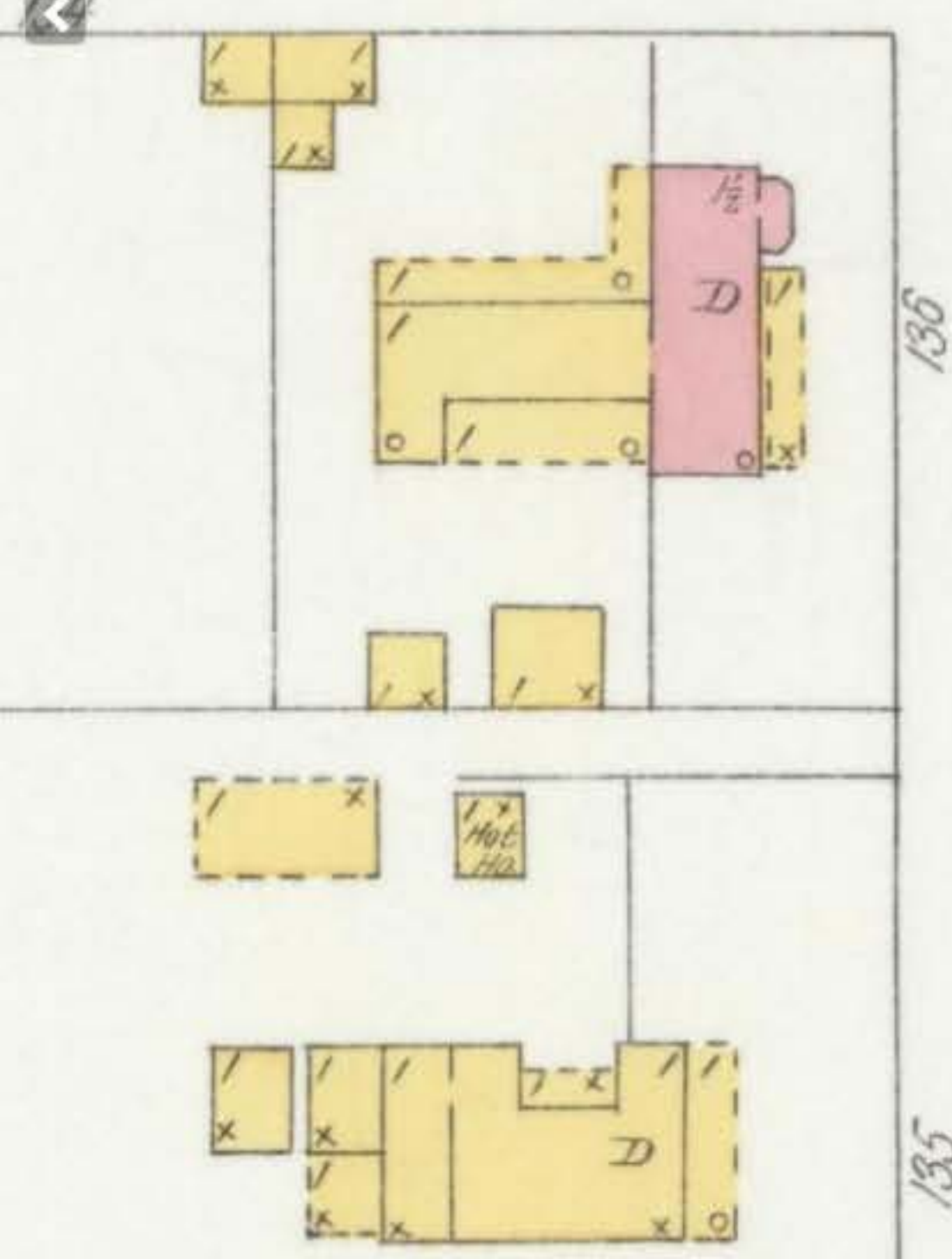
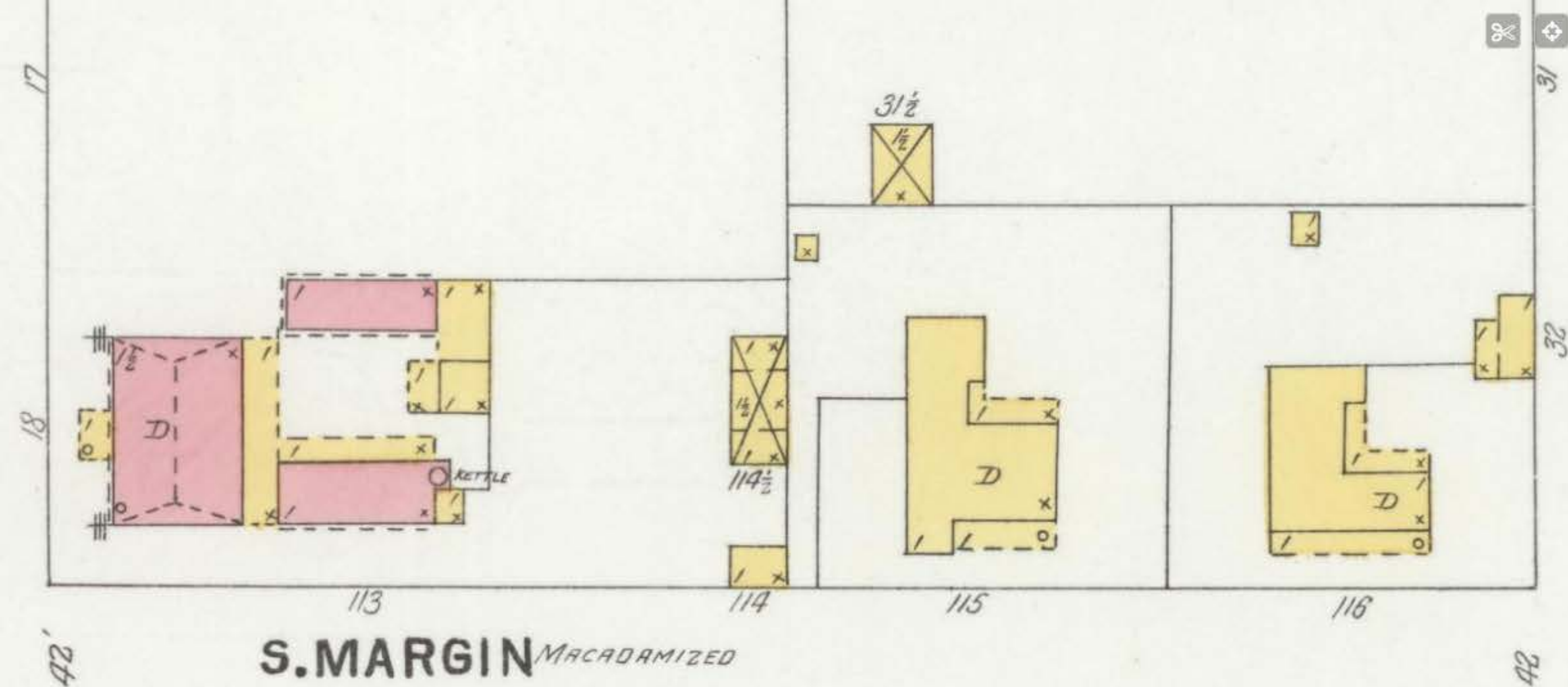


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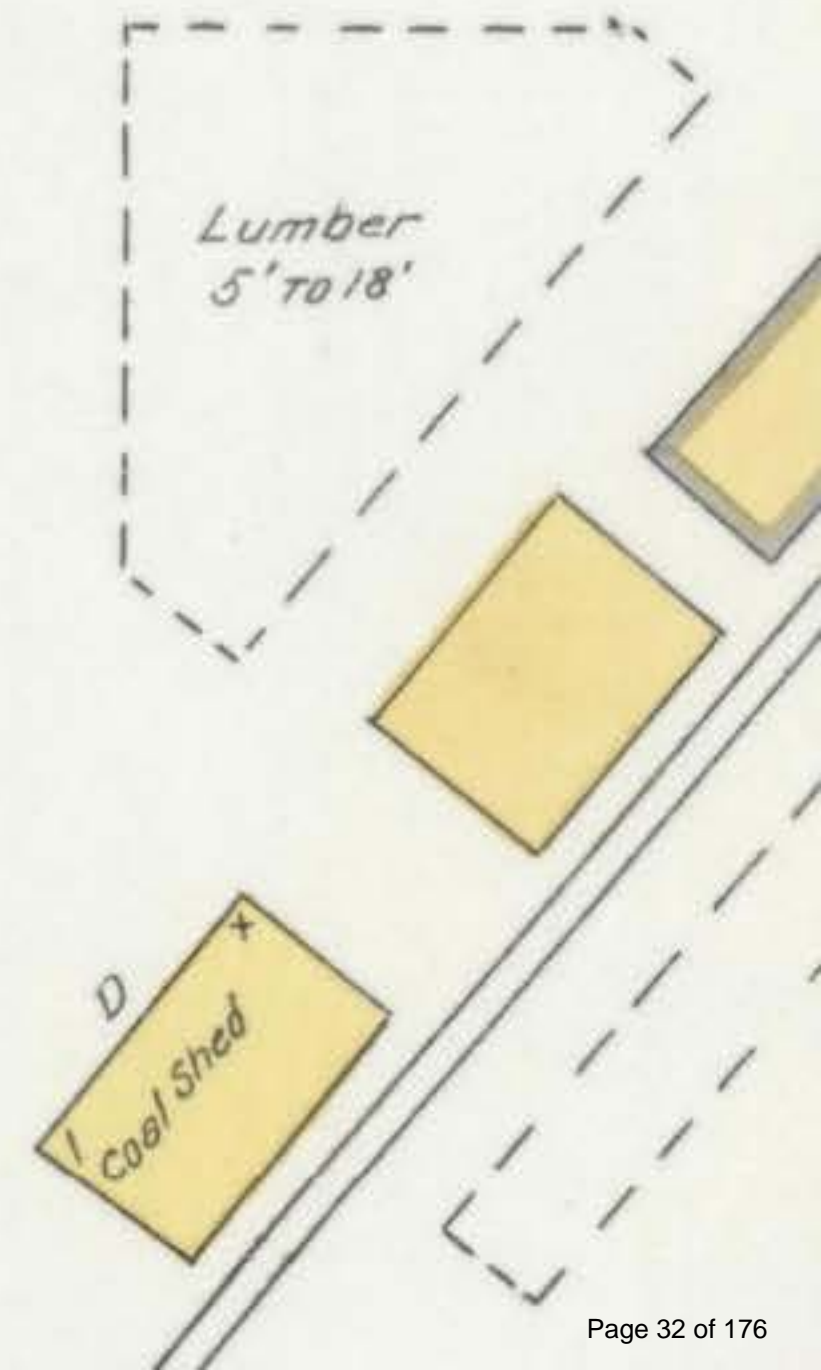
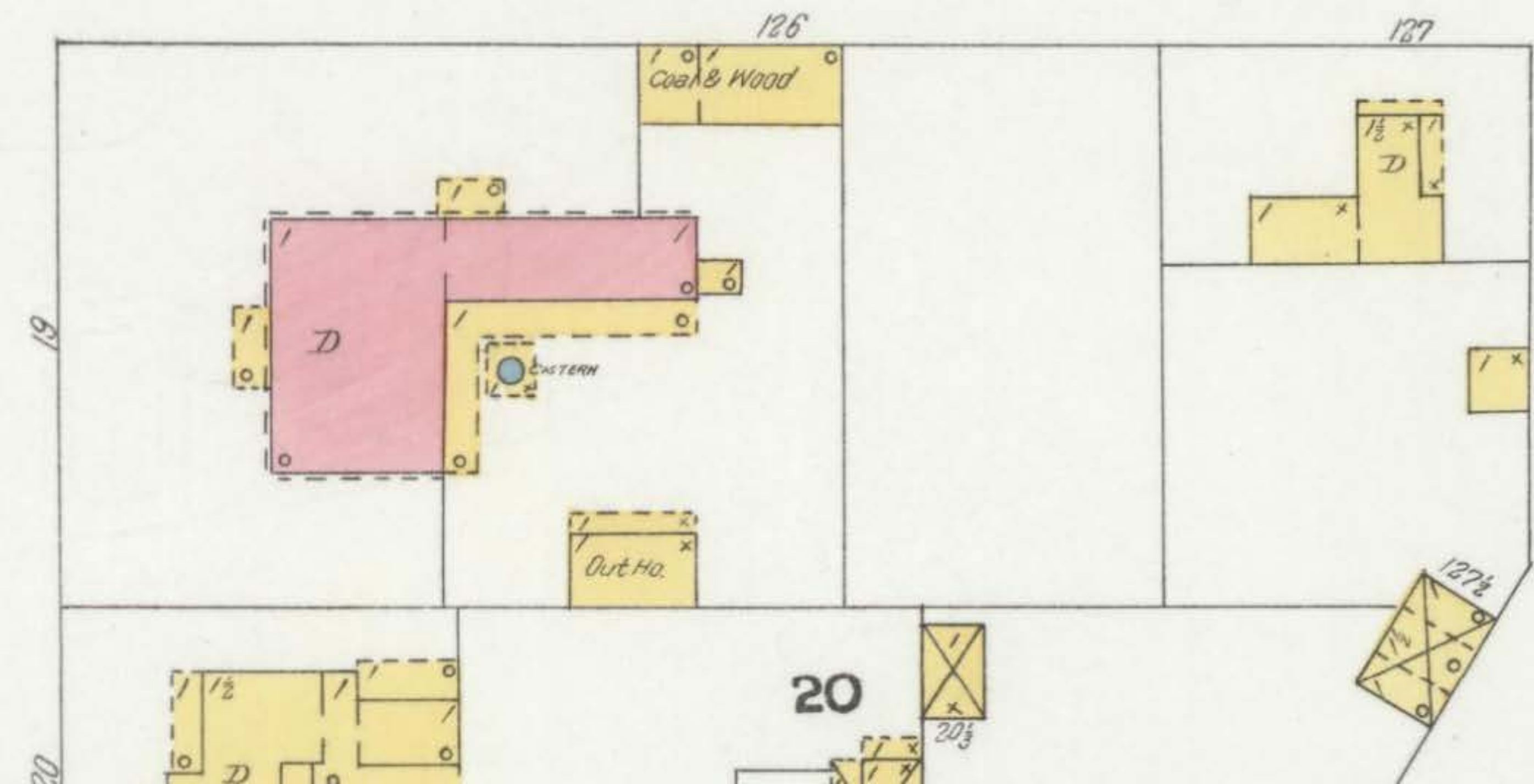


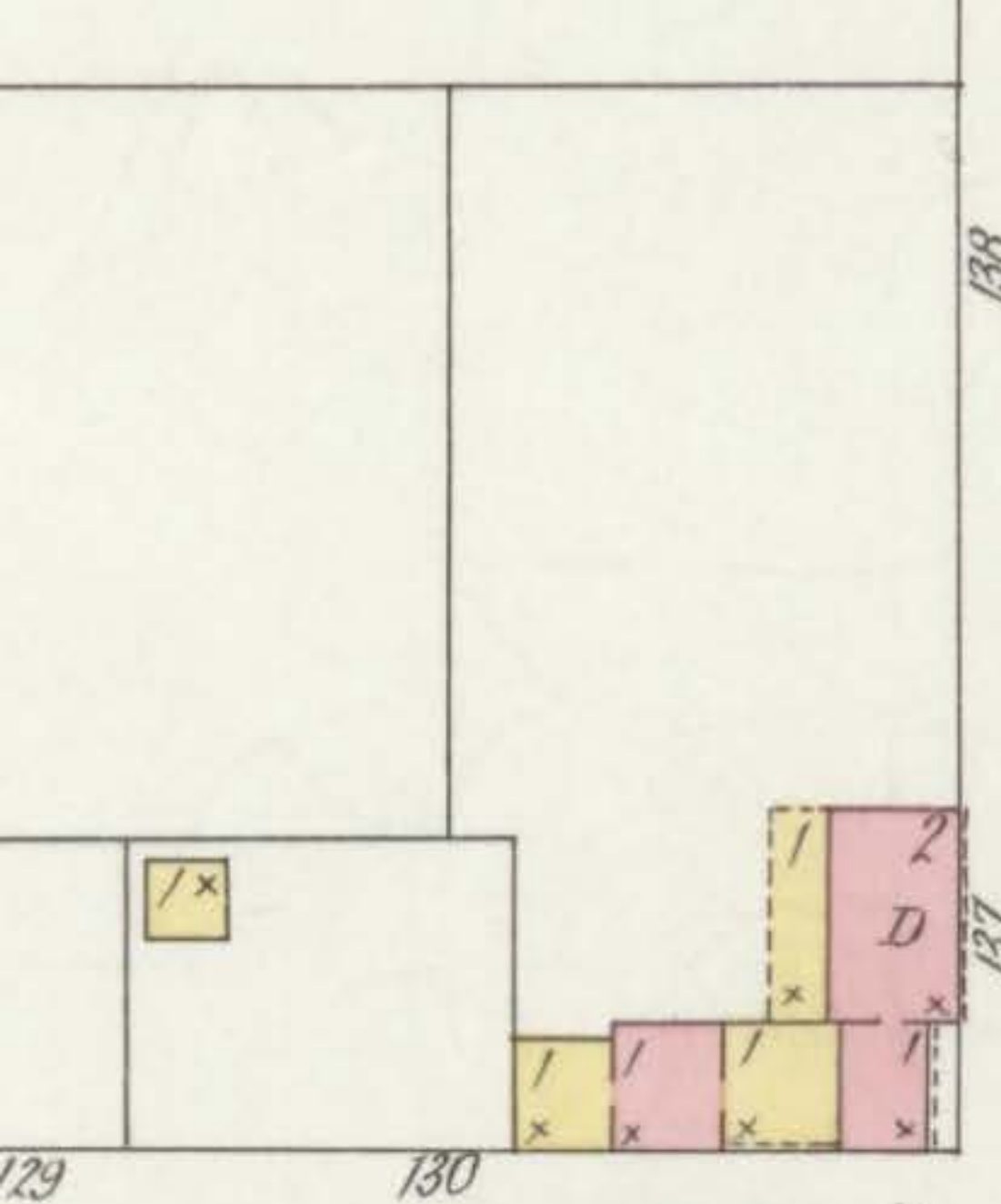


MAIN CROSS



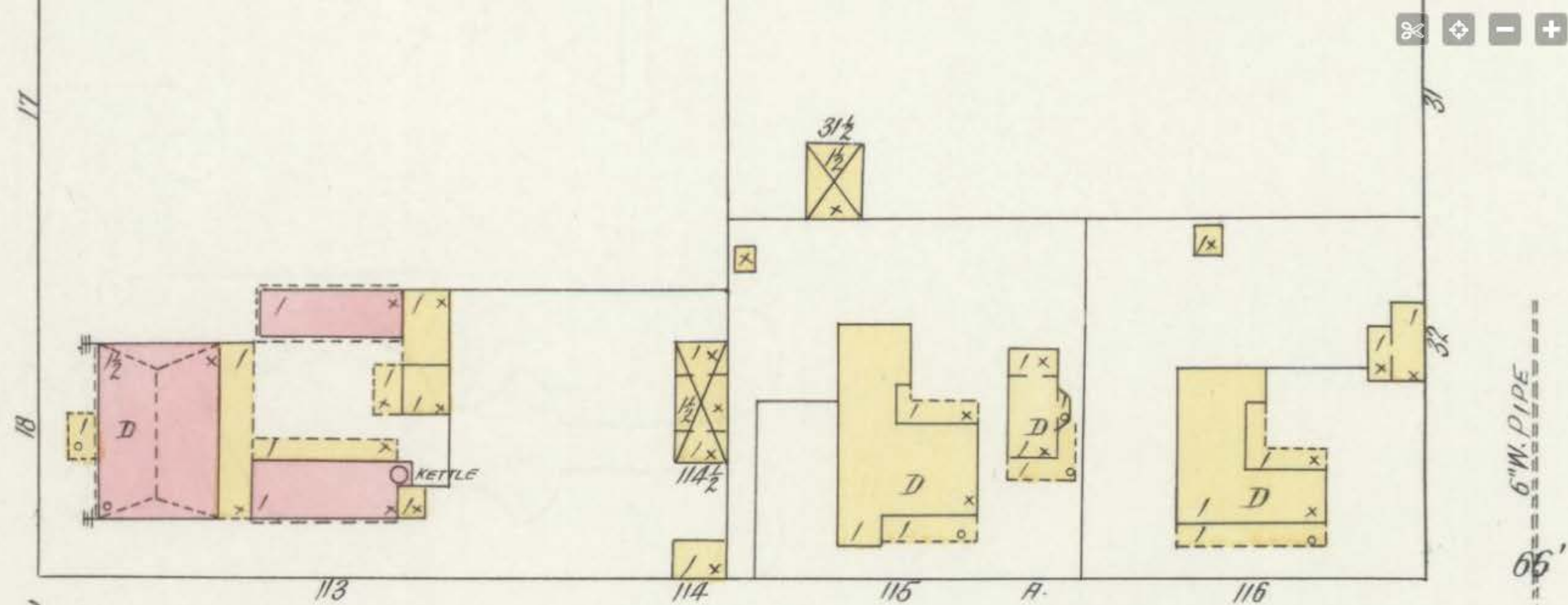
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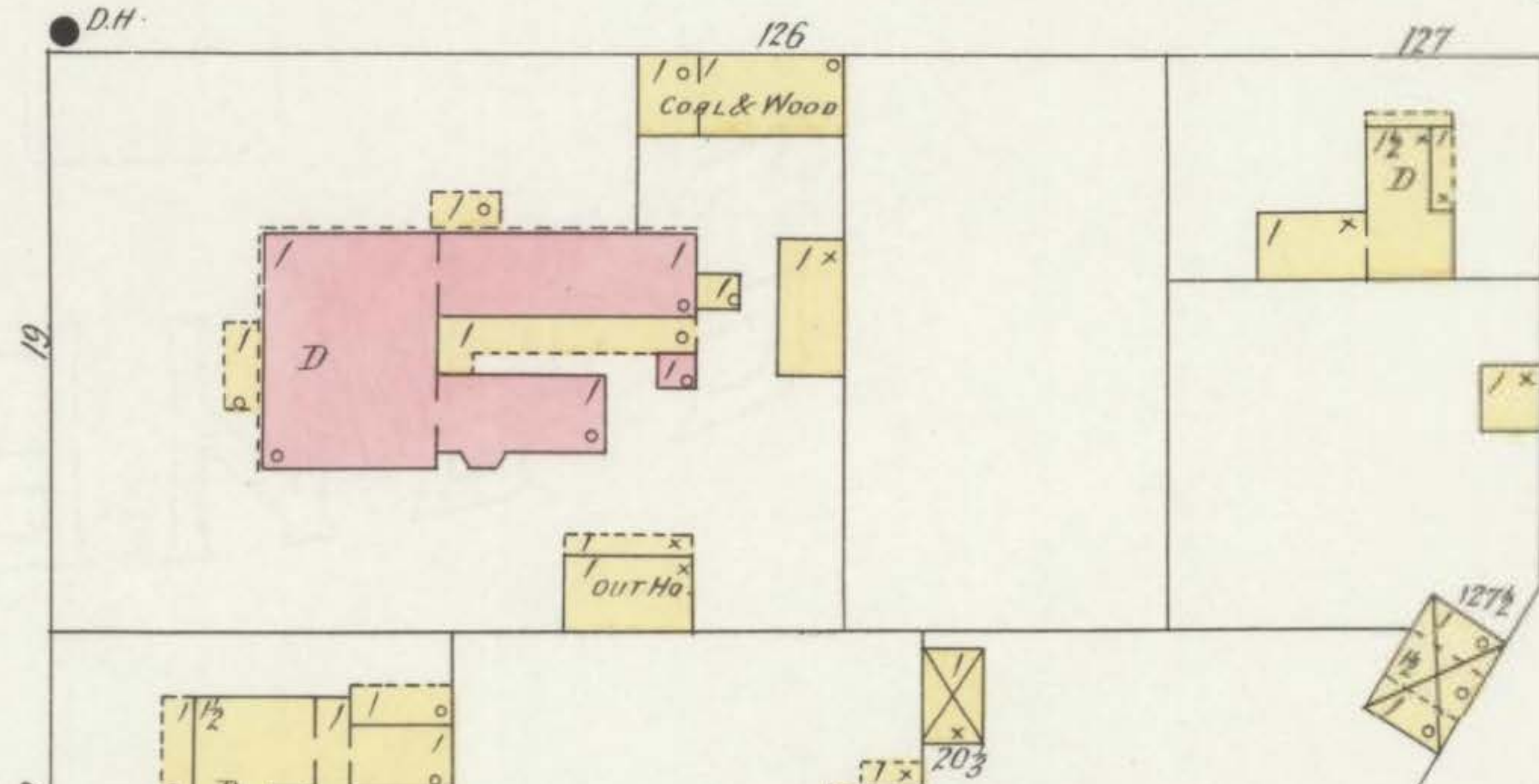
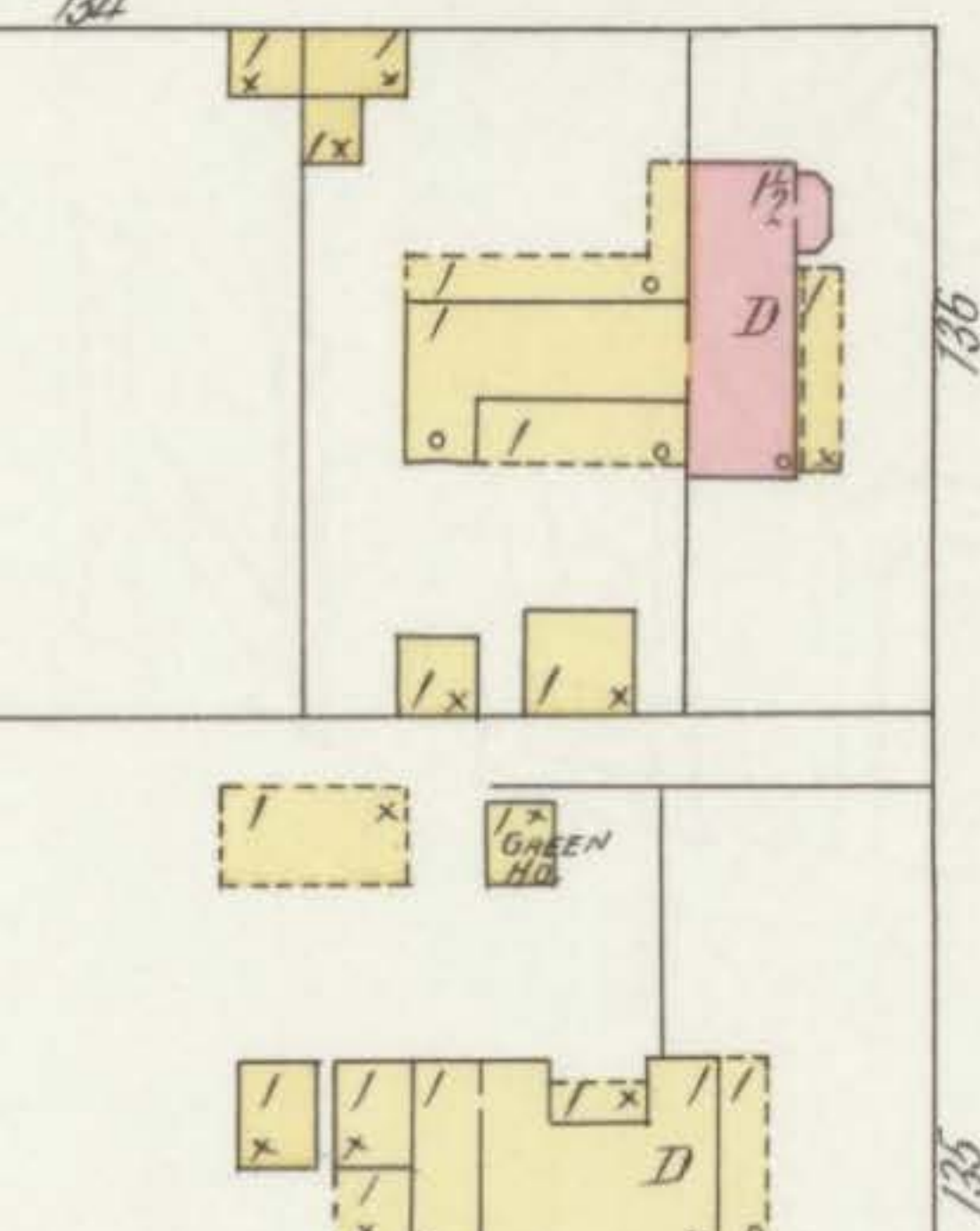
S. MARGIN 33'

MAIN CROSS
6" W. PIPE



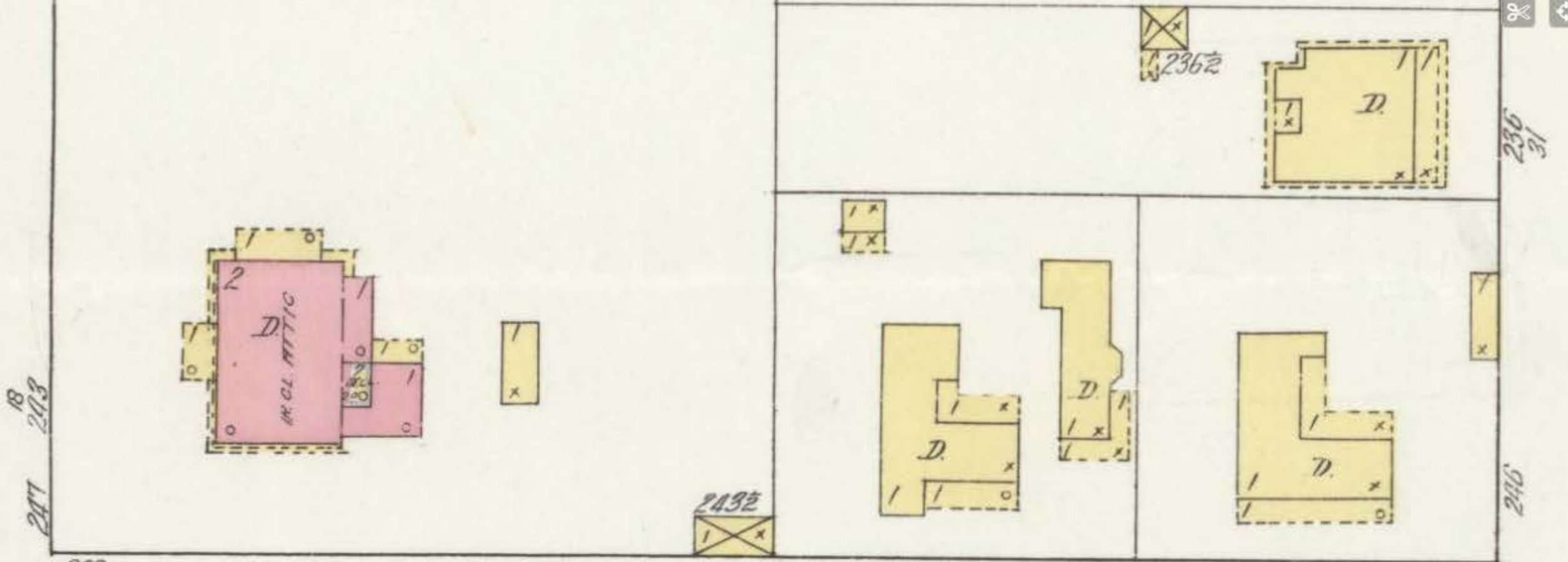
MACADAMIZED

6" W. PIPE

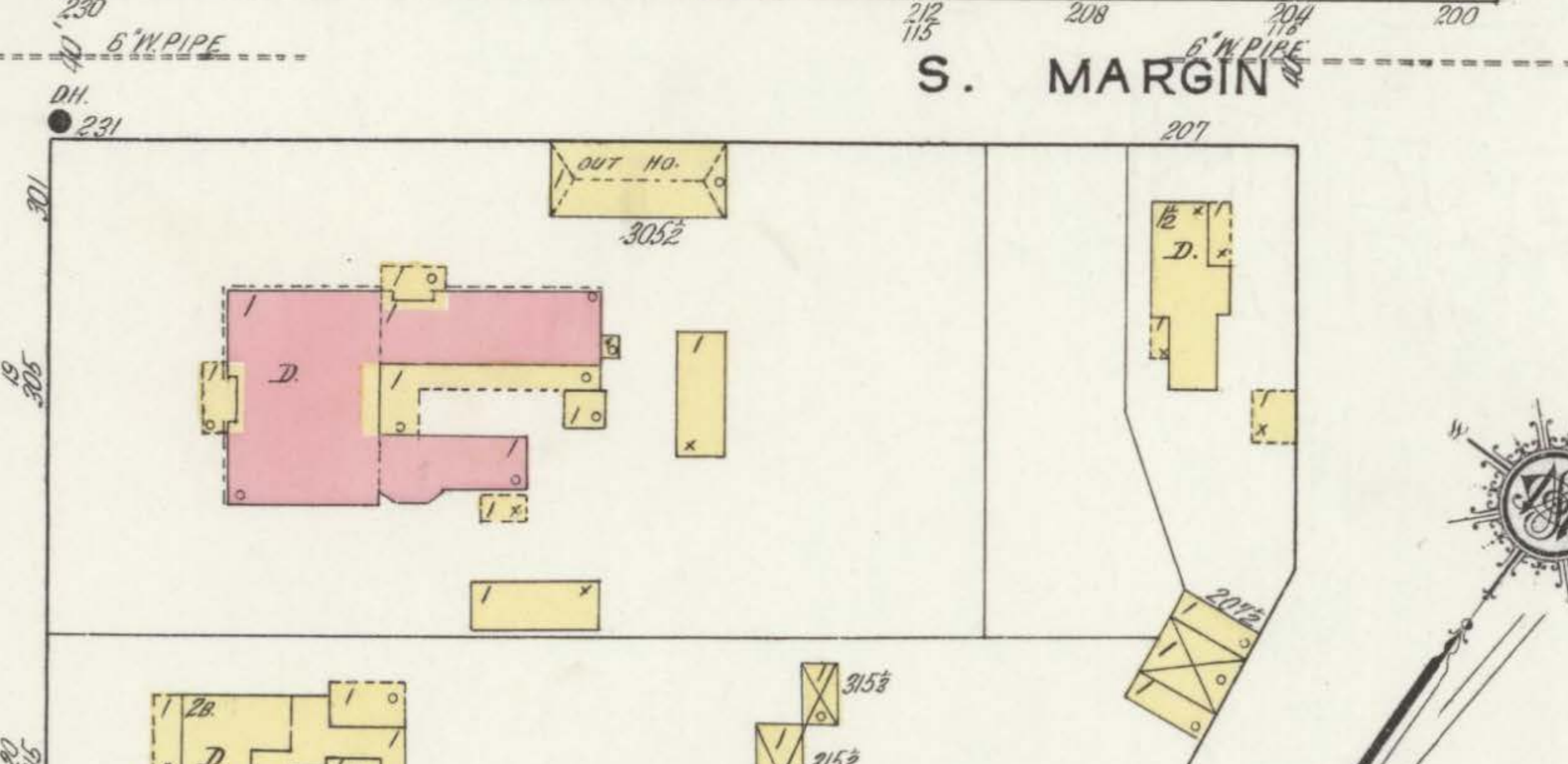


9

6" W PIPE (MAIN CROSS)



S. 3RD AV.

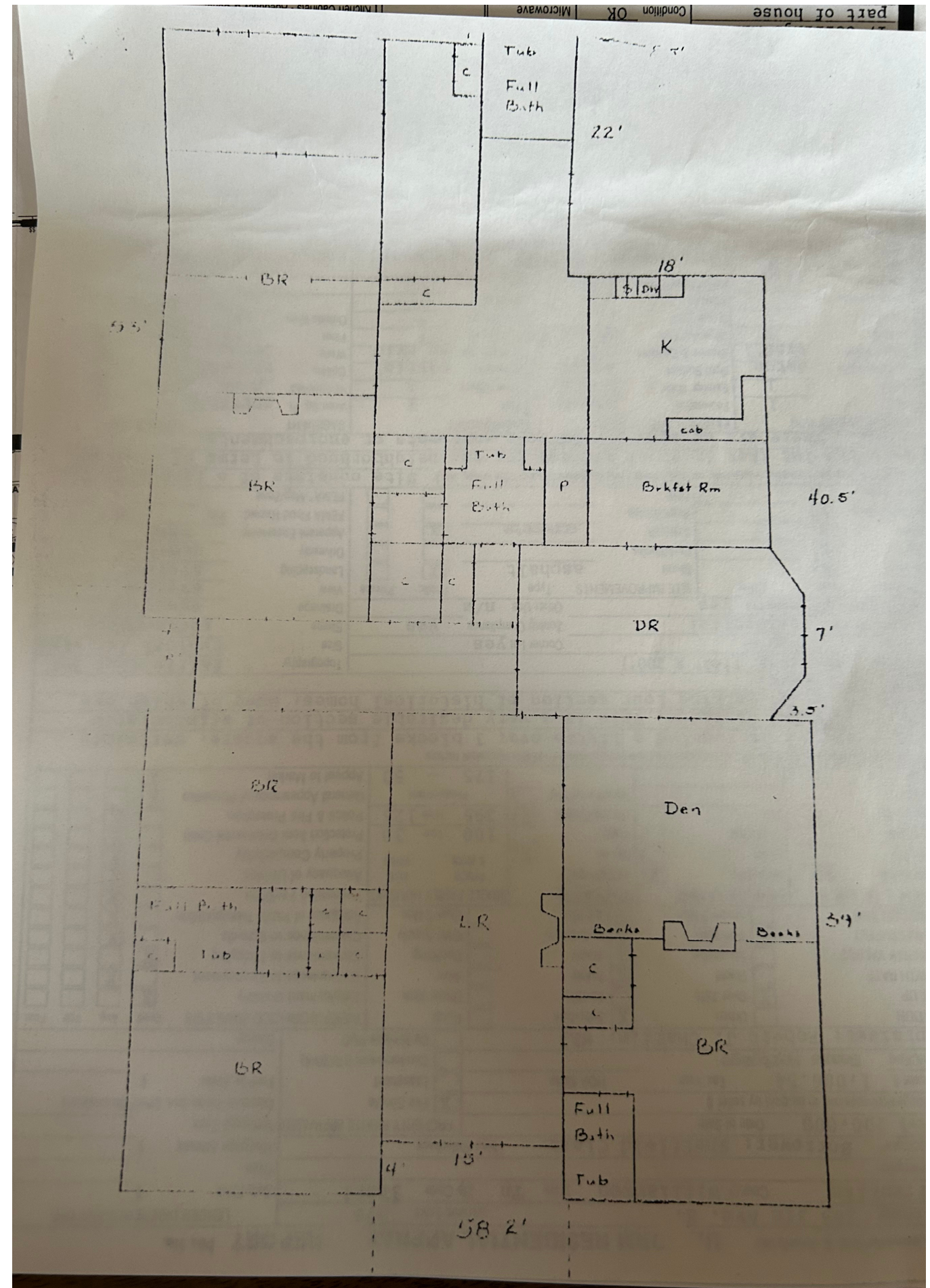


S. MARGIN





PICTURES FROM 1993 APPRAISAL (SHOWING PREVIOUS KITCHEN WINDOWS)



PLAN FROM 1993 APPRAISAL (SHOWING PREVIOUS KITCHEN LAYOUT)



File #: 26-0137

DATE: 2/9/2026
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration Of Alterations to A Previously Approved Building (Parking Structure) At 230 Franklin Rd. (The Factory); Read Talley, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning alterations to the previously approved parking structure at the Factory, located at 230 Franklin Road.

APPLICABLE DESIGN GUIDELINES:
2022 Historic District Guidelines:
Chapter 3: New Commercial Buildings
Chapter 6: Site & Setting

PROJECT INFORMATION:
COF Project Number: 8793
Applicant: Read Talley
Owner: Holladay Properties

BACKGROUND:
The property located at 230 Franklin Rd. is home to the Factory at Franklin and is located in the Franklin Road Local Historic District. The Factory is also listed on the National Register of Historic Places (NRHP). The proposal to construct a new parking structure was approved by the Historic Zoning Commission in June 2025. This proposal is for alterations to the form, size, and location of the structure, and it came before the Design Review Committee at the November 2025 meeting. The proposal also came before the December 2025 HZC meeting, where it was deferred.

Placement & Orientation

The new parking structure is proposed between the existing buildings 3 and 5 on the Factory Campus. This building will face the Harpeth Industrial Court. The previously approved parking structure was connected to Buildings 3 and 5. This proposal shows the building to be positioned next to building 3 and building 5. The National Register lists Buildings 3 and 5 as contributing buildings to the Factory site. The Guidelines recommend the following:

- Locate new buildings to be secondary in prominence to the historic structures on the site or in the district. New buildings should not block the view of historic buildings from public viewsheds so that the historic buildings retain their prominence.
- Orient new commercial buildings to the street in a similar pattern to that of nearby historic buildings.
- Space new buildings according to the historic precedent established on the same block face.

The new parking structure will be tucked in behind the existing buildings on the site and is appropriately placed per the Guidelines. Since the December HZC meeting, the applicant has worked with the Building and Neighborhood Services Department to ensure the placement complies with the International Building Code (IBC).

Building Form

The form of the building has changed from what was previously approved. Overall, the DRC provided comments at the DRC meeting that the form read successfully as an industrial building. The Guidelines recommend:

- Design the massing and scale of the building to be consistent with historic buildings on the block face.
- Align the architectural features of the new building with those of nearby historic buildings, including floor-to-ceiling heights, cornice alignment, window and door heights, and foundations.
- Respect the streetscape character by creating compatible patterns and rhythms of architectural features along the street.
- Reinforce the appearance and rhythm of historic horizontal patterns by maintaining a distinction between the street level and upper floor facades on buildings of two or more stories.
- Reinforce the appearance and rhythm of historic vertical divisions to maintain consistent facade widths.
- New commercial construction in this context should be sensitive to rear adjacent historic residential structures.

The Guidelines recommend aligning the architectural features of the new building with the existing buildings. The design has incorporated the feedback from the December HZC meeting to alter the West elevation to have the window openings read as bricked in windows to eliminate the openings on the facade in hopes of relieving concerns of seeing headlights from Franklin Road from the floors of the garage. Additionally, the applicant has included a window study of adjacent windows at the Factory to show that the proposed windows are compatible in size with what exists on the site.

Building Height

The height of the building varies from 36'-6" on the main parts of the building 43'-8" with the elevator overrun at 47' at the tallest on one of the stair towers. The Guidelines recommend:

- Make the height of new buildings consistent with the height of all historic buildings on the same block face by designing buildings to be within ten percent above or below the average height of the historic buildings on the same block face

The Preliminary HZC Recommendation noted that the average height of the buildings on the Factory

Campus is 39'-1/2" in height, and ten percent above the average height is 42'-11". The submitted plans are noted to have a maximum height of 44'-2", which is different from the Preliminary Recommendation. Most of the building is underneath the Guidelines recommendation for height, except for the stair tower at 43'-8" and elevator overrun at 47'.

Materials & Exterior Finishes

The material does not appear to have changed from the previously approved brick in the color "Englishpub" in the traditional brick construction. The horizontal and vertical bandings on the building are proposed to remain the same as what was previously approved. A 16" banding is consistent with the surrounding banding on the historic buildings.

Roofs

The roof of the parking structure will be utilized as a parking floor, which is unchanged from the previously approved plan. The Guidelines recommend:

- Design roofs to be flat and utilize parapets to be similar to similar surrounding historic commercial buildings.

Several of the surrounding buildings do utilize a flat roof. The parapets of the parking structure will mostly screen smaller vehicles from the viewshed of Franklin Road. The parapets at this location on the structure measured from the finished floor will measure 4'-6" in height. The previously approved plan had the elevation facing Franklin Road to have compact car parking spaces for the purpose of having smaller cars park in these spots to minimize the visibility of cars. In previous DRC meetings, the importance of not seeing vehicles on the top of the building was discussed. By regulating that compact cars will park on this elevation alleviated this concern at the May DRC meeting and which is not included in the current application.

Signs

Proposed signs are noted on the entrance to the parking structure, but additional information is needed to review the proposed signs. If the signage meets the Guidelines, then it may qualify for administrative review.

RECOMMENDATION:

Staff recommends approval of the application with the following conditions:

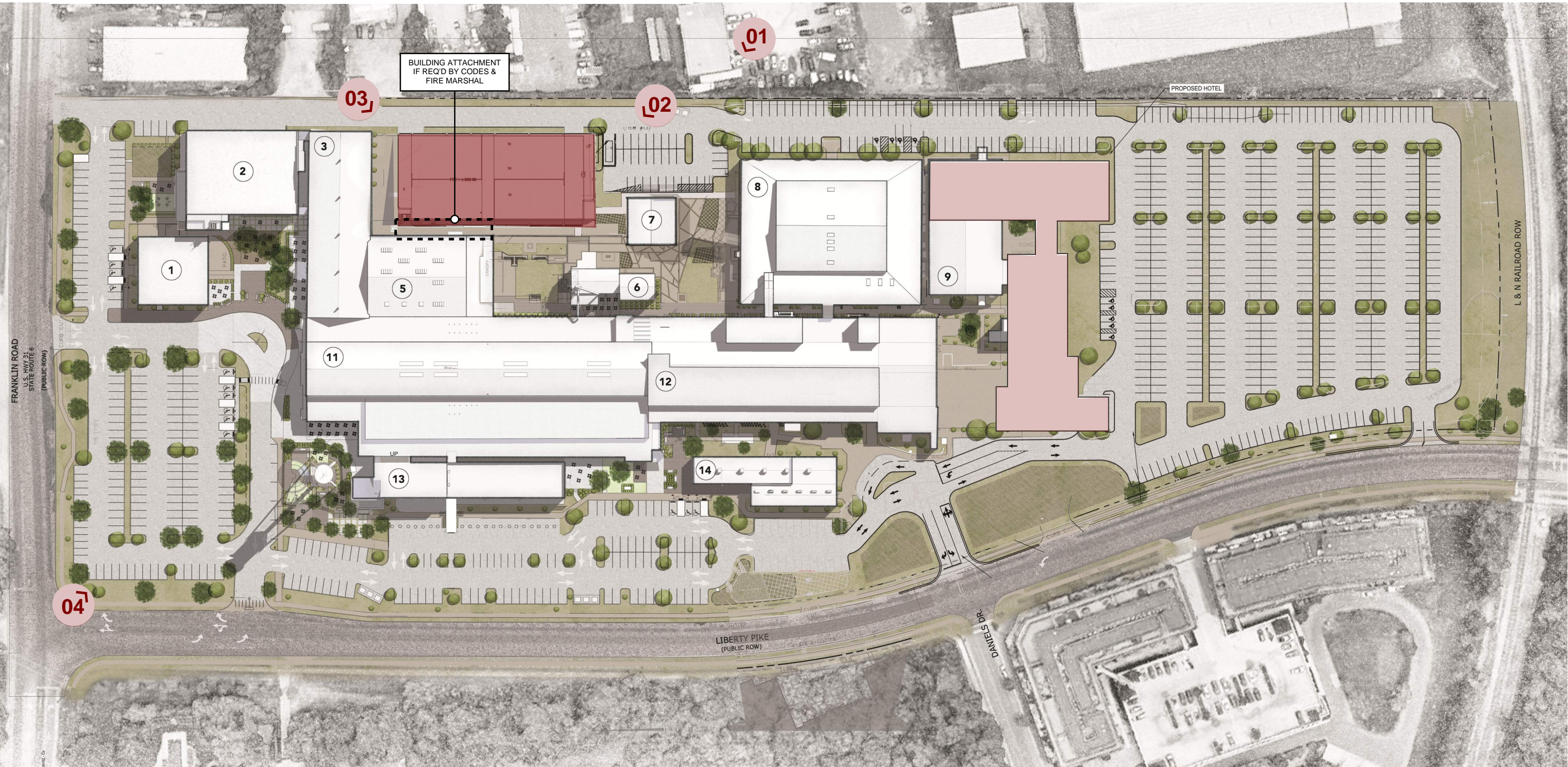
1. All parking spaces on the top floor of the West elevation (facing Franklin Road) shall be compact spaces to ensure limited visibility from Franklin Road.
2. The building shall utilize traditional brick construction to align with the Guidelines.
3. A metal sample of the color of the building shall be provided to the Preservation Planner prior to issuance of a building permit.
4. The proposed lighting shall utilize warm, white illumination. Any additional illumination other than what is noted in the application shall be subject to HZC review and approval.
5. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
6. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



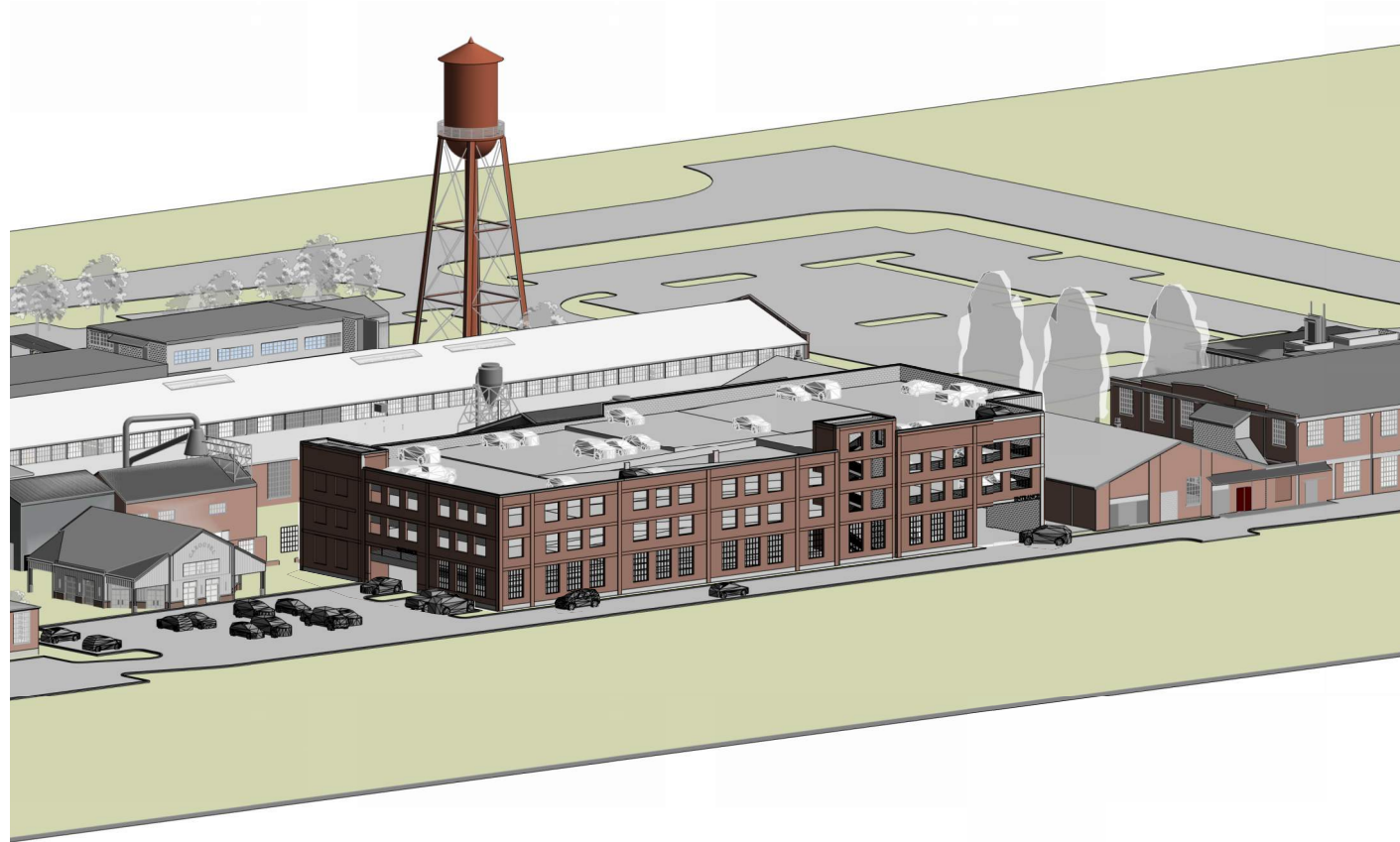
PARKING GARAGE | HZC SUBMISSION

02.09.2026

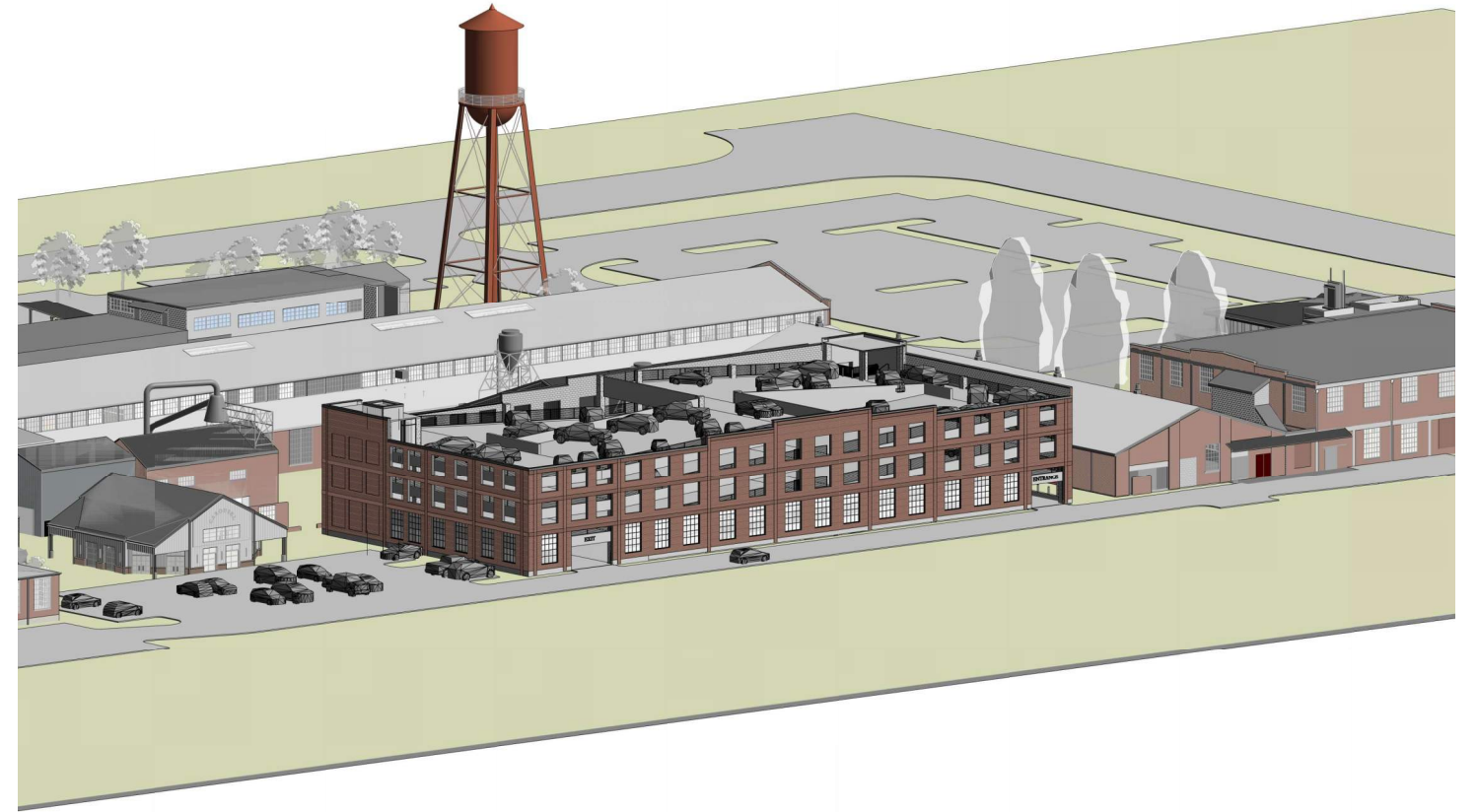
SITE PLAN



AERIAL VIEW 01

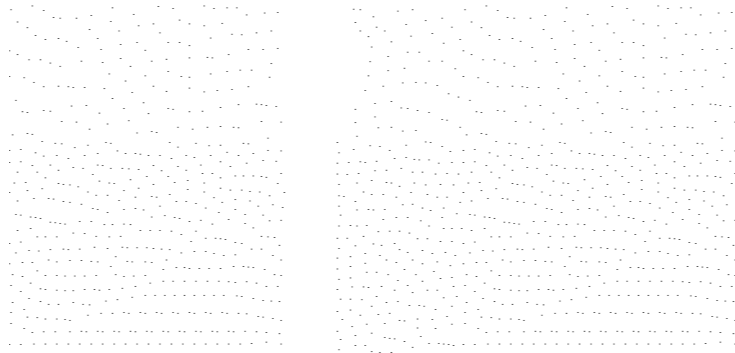
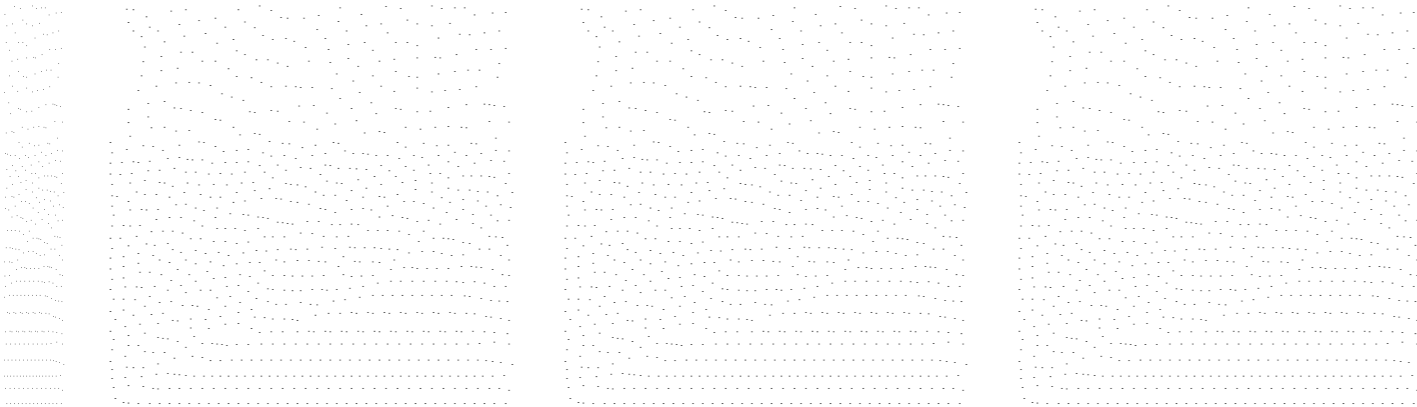


PREVIOUSLY APPROVED

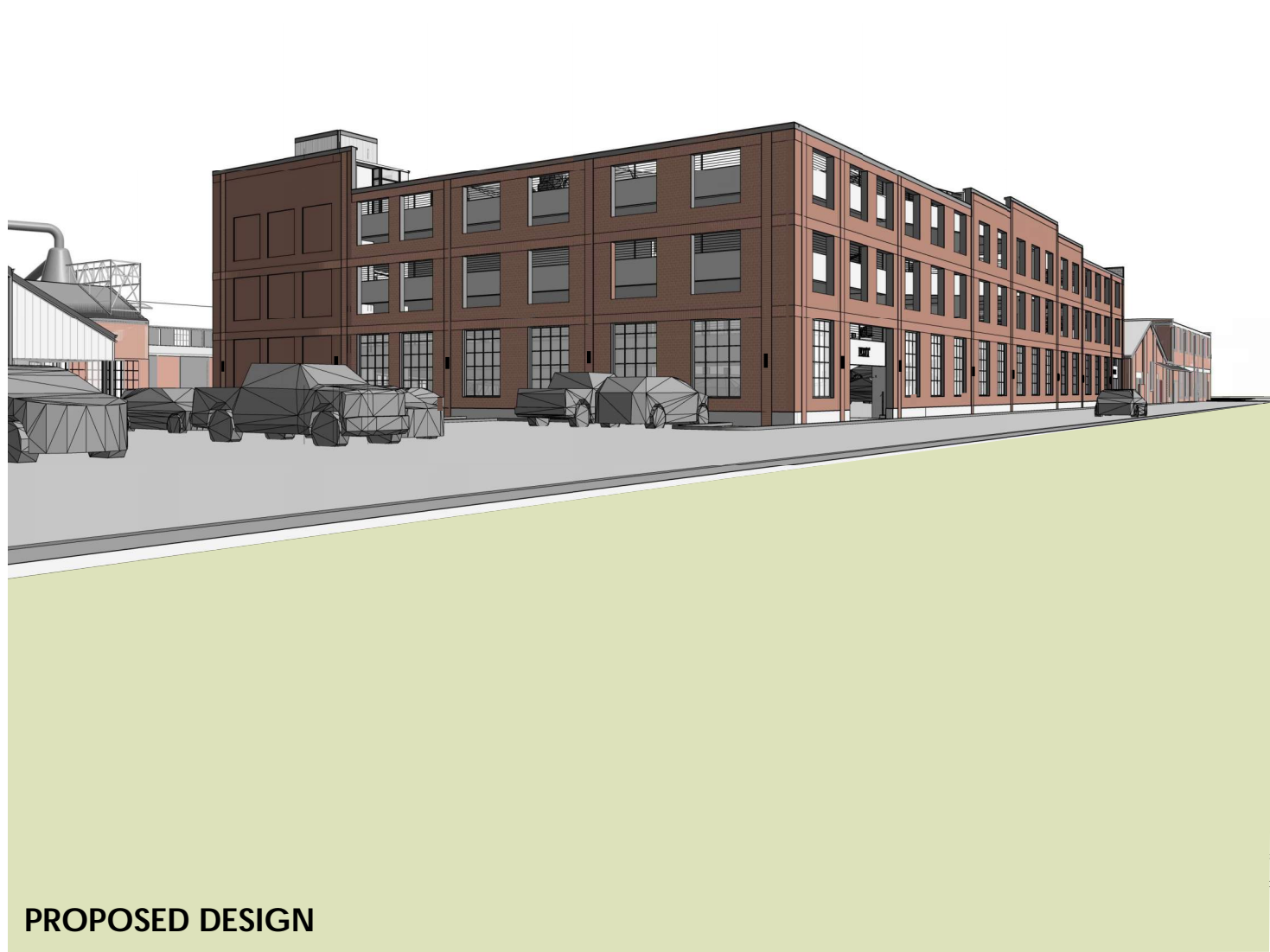


PROPOSED DESIGN

GROUND VIEW 02



PREVIOUSLY APPROVED



PROPOSED DESIGN

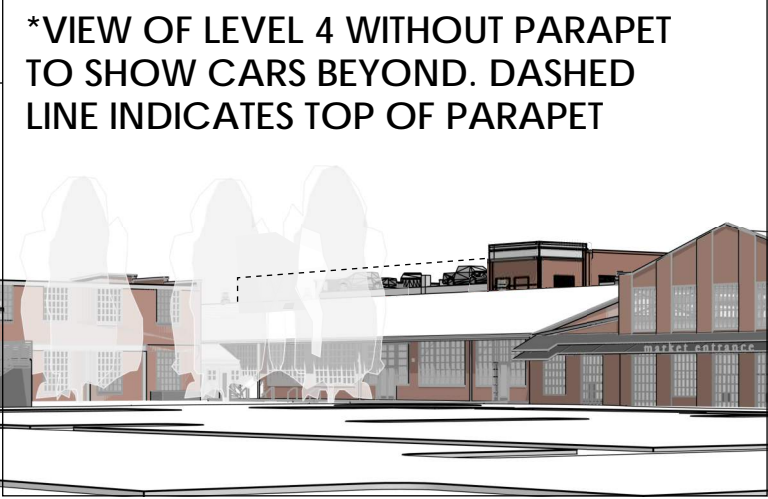
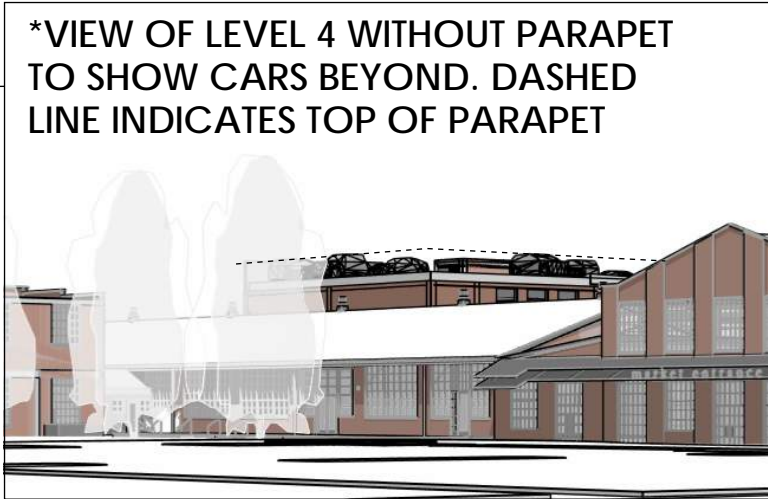
FACTORY AT FRANKLIN
PARKING GARAGE
02/09/2026

GROUND VIEW 03



FACTORY AT FRANKLIN
PARKING GARAGE
02/09/2026

GROUND VIEW 04



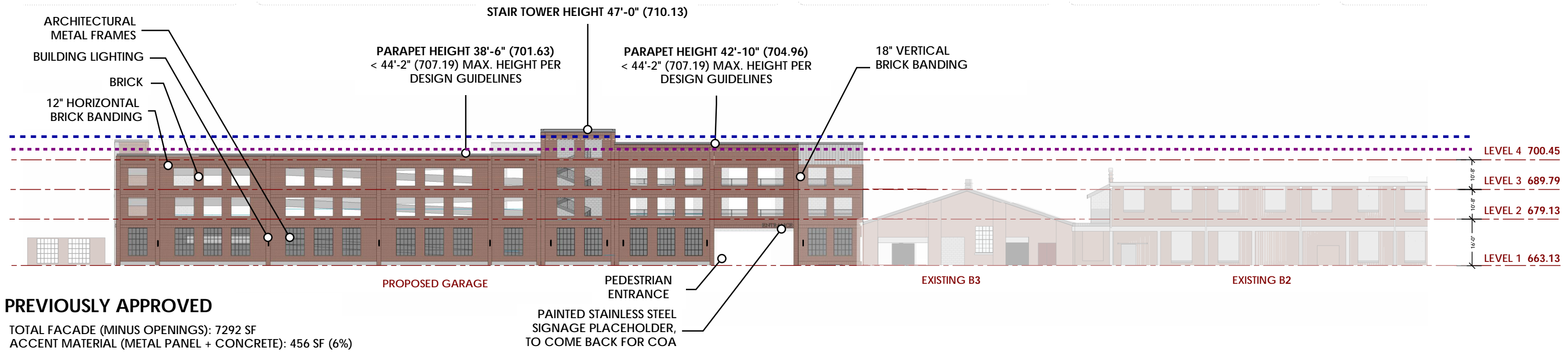
PREVIOUSLY APPROVED



**PROPOSED DESIGN
PARAPET AT GARAGE TO CONCEAL CARS AT THE
TOP LEVEL AS WAS PREVIOUSLY APPROVED**

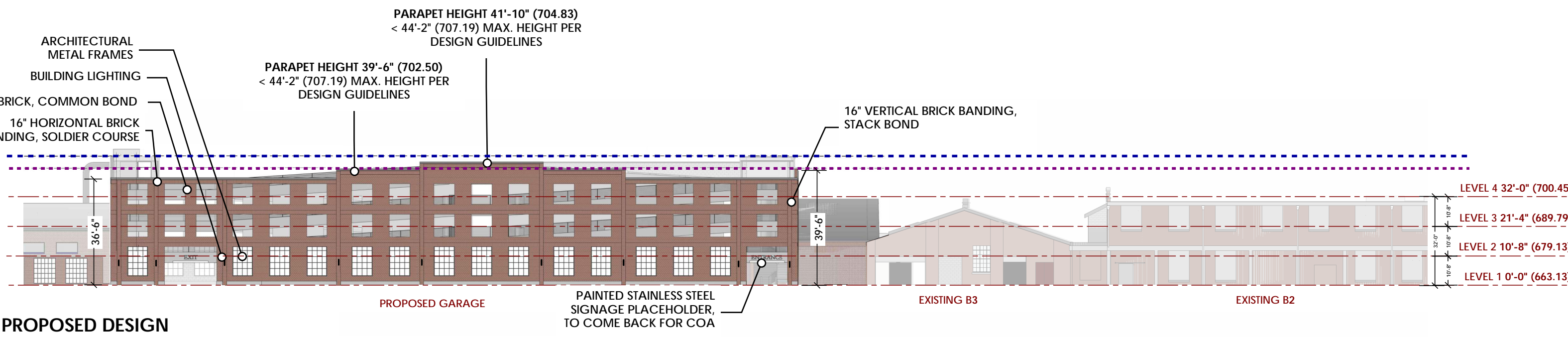
ELEVATIONS | NORTH

● 44'-2" (707.19) 10% ABOVE AVERAGE BUILDING HEIGHT
 ● 40'-2" (703.17) AVERAGE BUILDING HEIGHT



PREVIOUSLY APPROVED

TOTAL FACADE (MINUS OPENINGS): 7292 SF
 ACCENT MATERIAL (METAL PANEL + CONCRETE): 456 SF (6%)



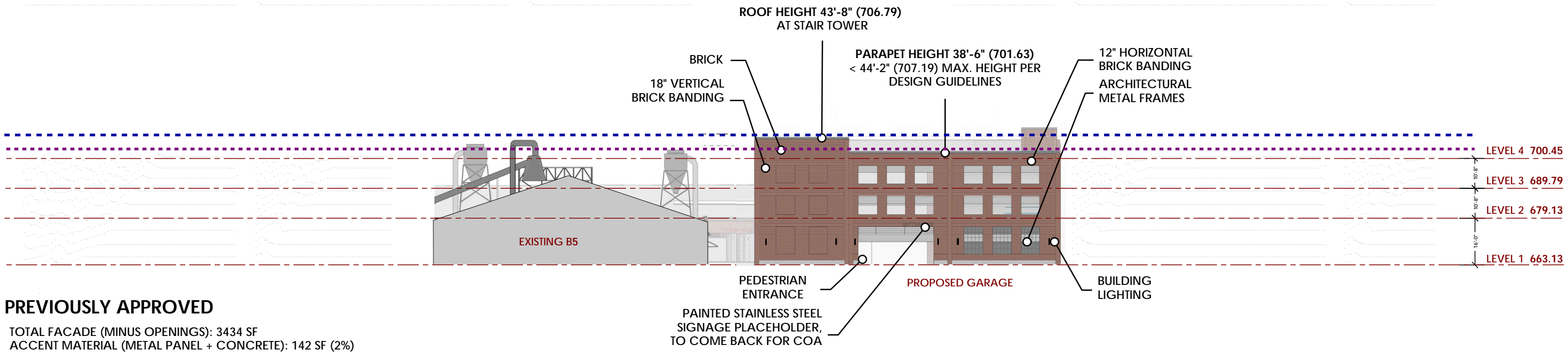
PROPOSED DESIGN

TOTAL FACADE (MINUS OPENINGS): 5,802 SF
 ACCENT MATERIAL (METAL PANEL + CONCRETE): 284 SF (5%)

FACTORY AT FRANKLIN
 PARKING GARAGE
 02/09/2026

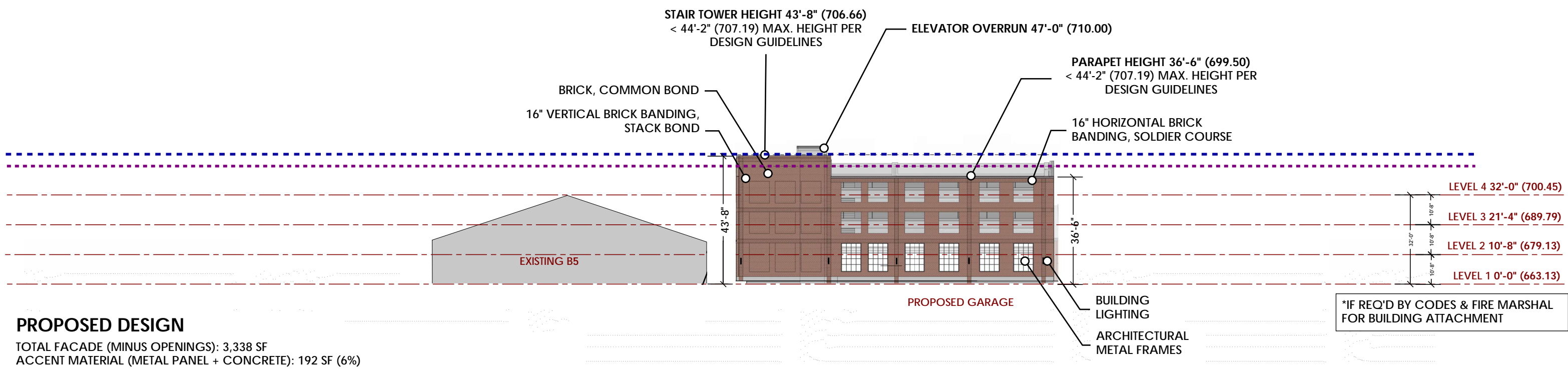
ELEVATIONS | EAST

● 44'-2" (707.19) 10% ABOVE AVERAGE BUILDING HEIGHT
 ● 40'-2" (703.17) AVERAGE BUILDING HEIGHT



PREVIOUSLY APPROVED

TOTAL FACADE (MINUS OPENINGS): 3434 SF
 ACCENT MATERIAL (METAL PANEL + CONCRETE): 142 SF (2%)



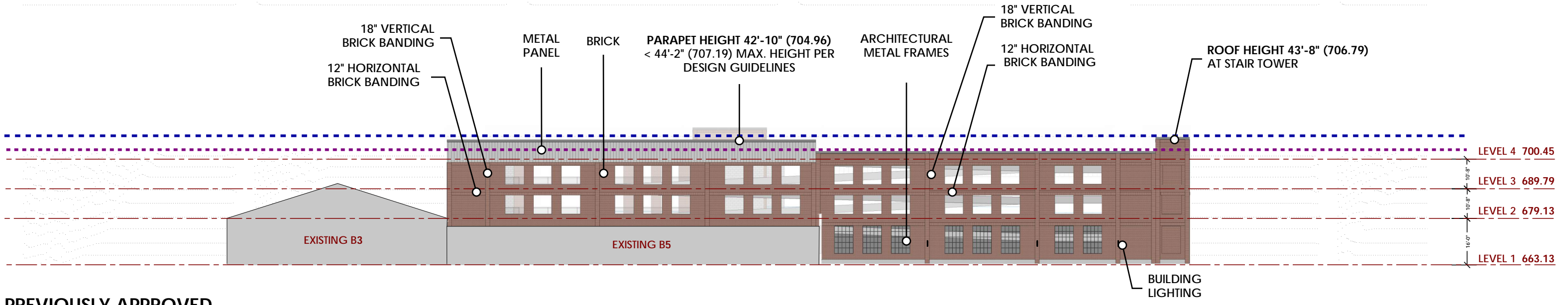
PROPOSED DESIGN

TOTAL FACADE (MINUS OPENINGS): 3,338 SF
 ACCENT MATERIAL (METAL PANEL + CONCRETE): 192 SF (6%)

*IF REQ'D BY CODES & FIRE MARSHAL FOR BUILDING ATTACHMENT

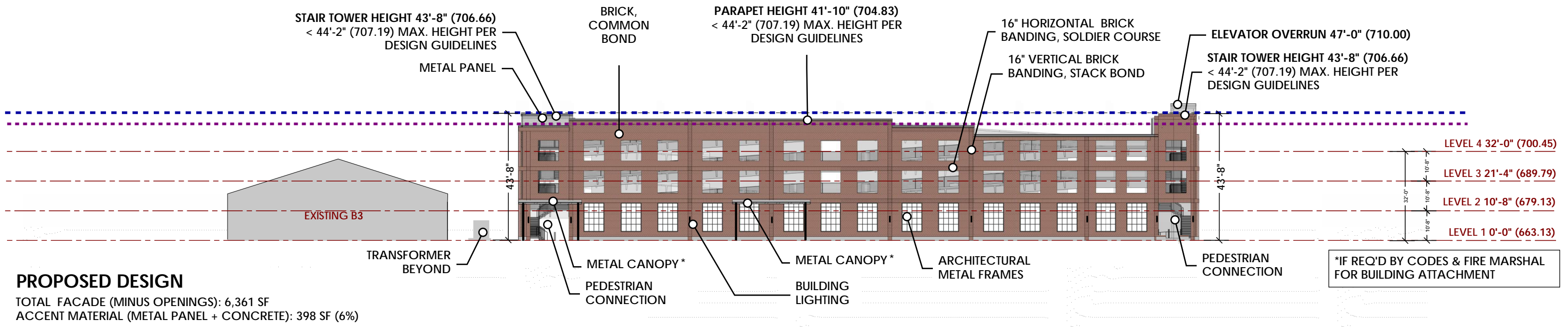
ELEVATIONS | SOUTH

● 44'-2" (707.19) 10% ABOVE AVERAGE BUILDING HEIGHT
 ● 40'-2" (703.17) AVERAGE BUILDING HEIGHT



PREVIOUSLY APPROVED

TOTAL FACADE (MINUS OPENINGS): 6947 SF
 ACCENT MATERIAL (METAL PANEL + CONCRETE): 177 SF (2%)



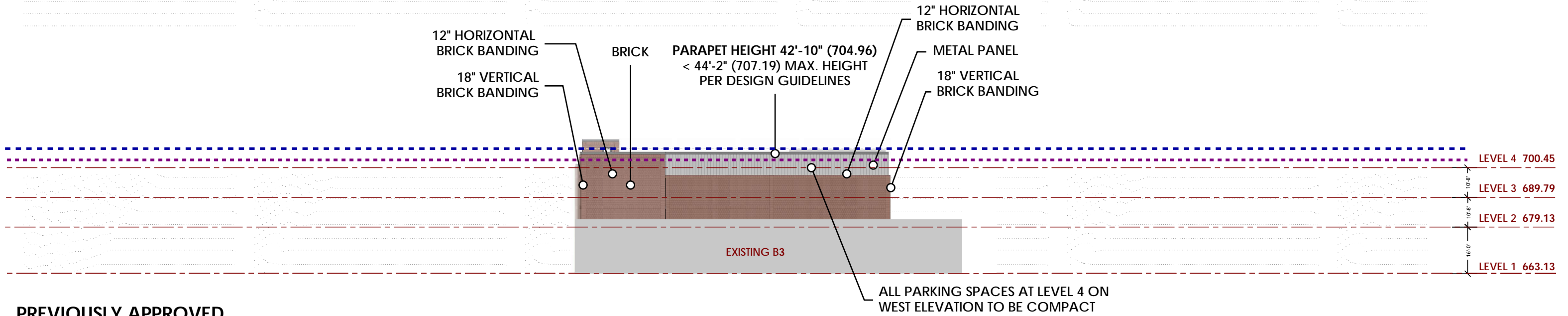
PROPOSED DESIGN

TOTAL FACADE (MINUS OPENINGS): 6,361 SF
 ACCENT MATERIAL (METAL PANEL + CONCRETE): 398 SF (6%)

*IF REQ'D BY CODES & FIRE MARSHAL FOR BUILDING ATTACHMENT

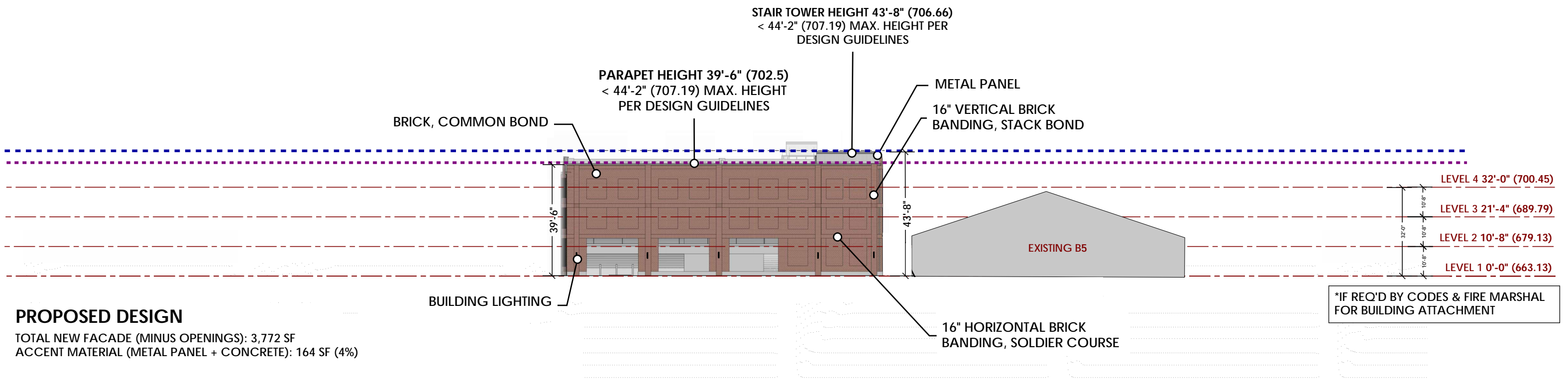
ELEVATIONS | WEST

● 44'-2" (707.19) 10% ABOVE AVERAGE BUILDING HEIGHT
 ● 40'-2" (703.17) AVERAGE BUILDING HEIGHT



PREVIOUSLY APPROVED

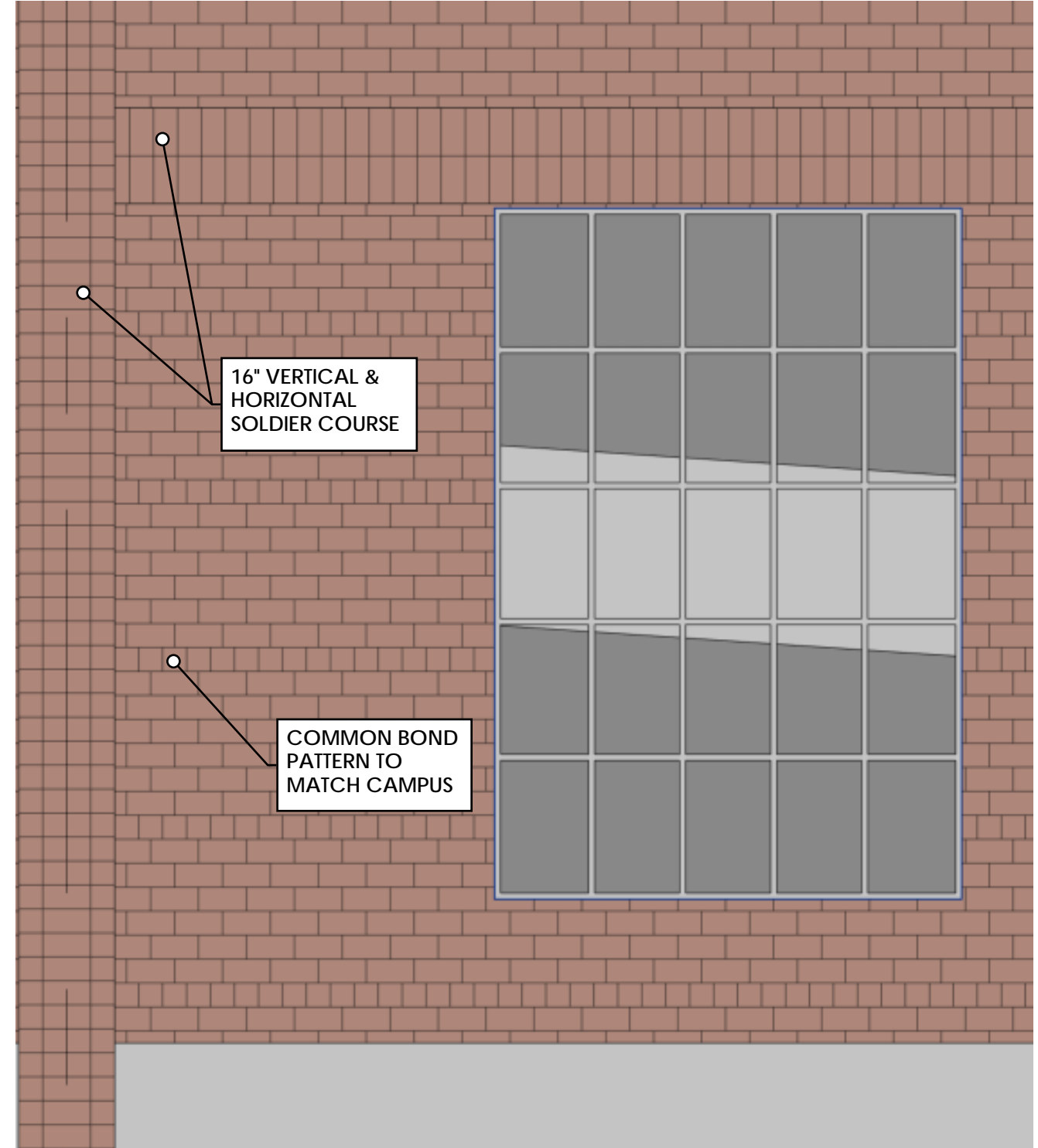
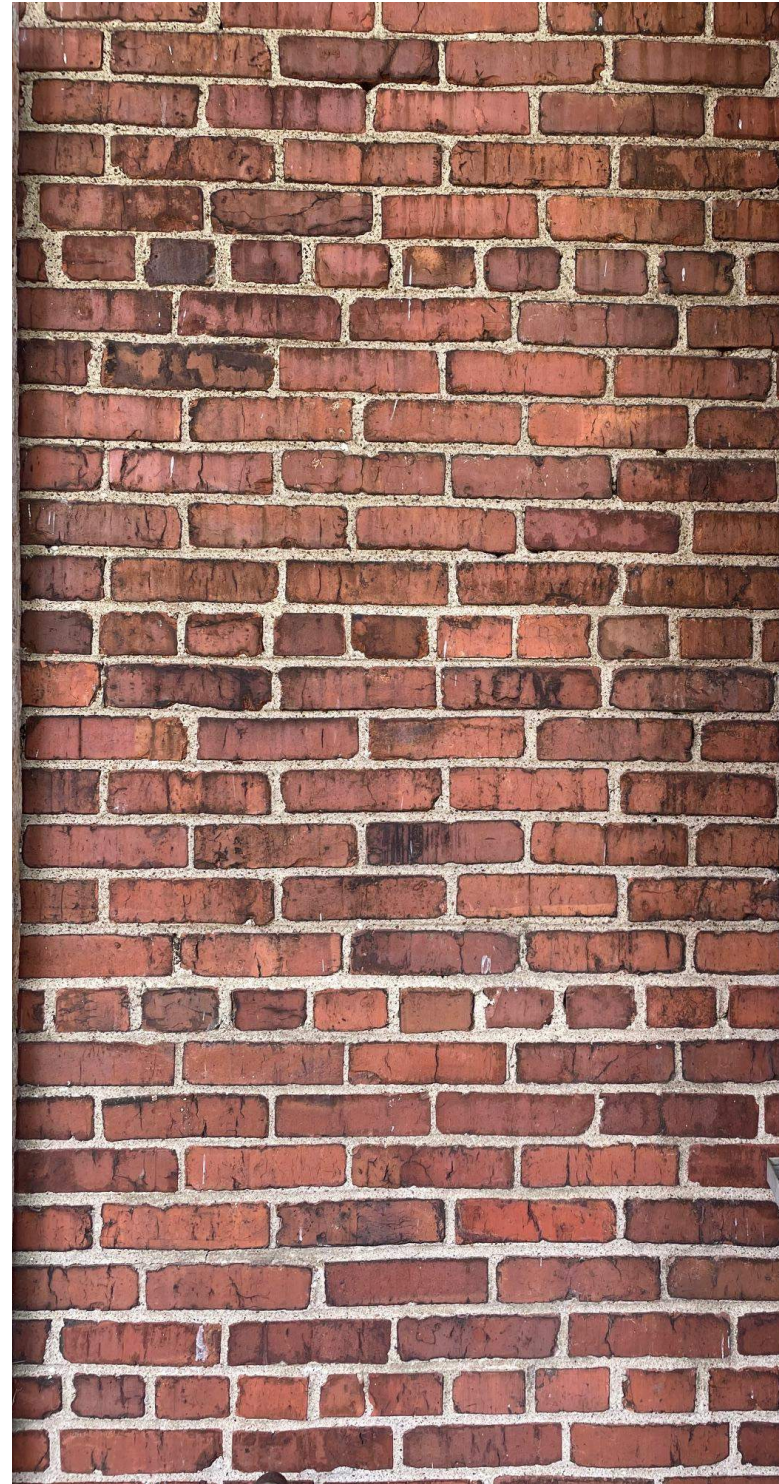
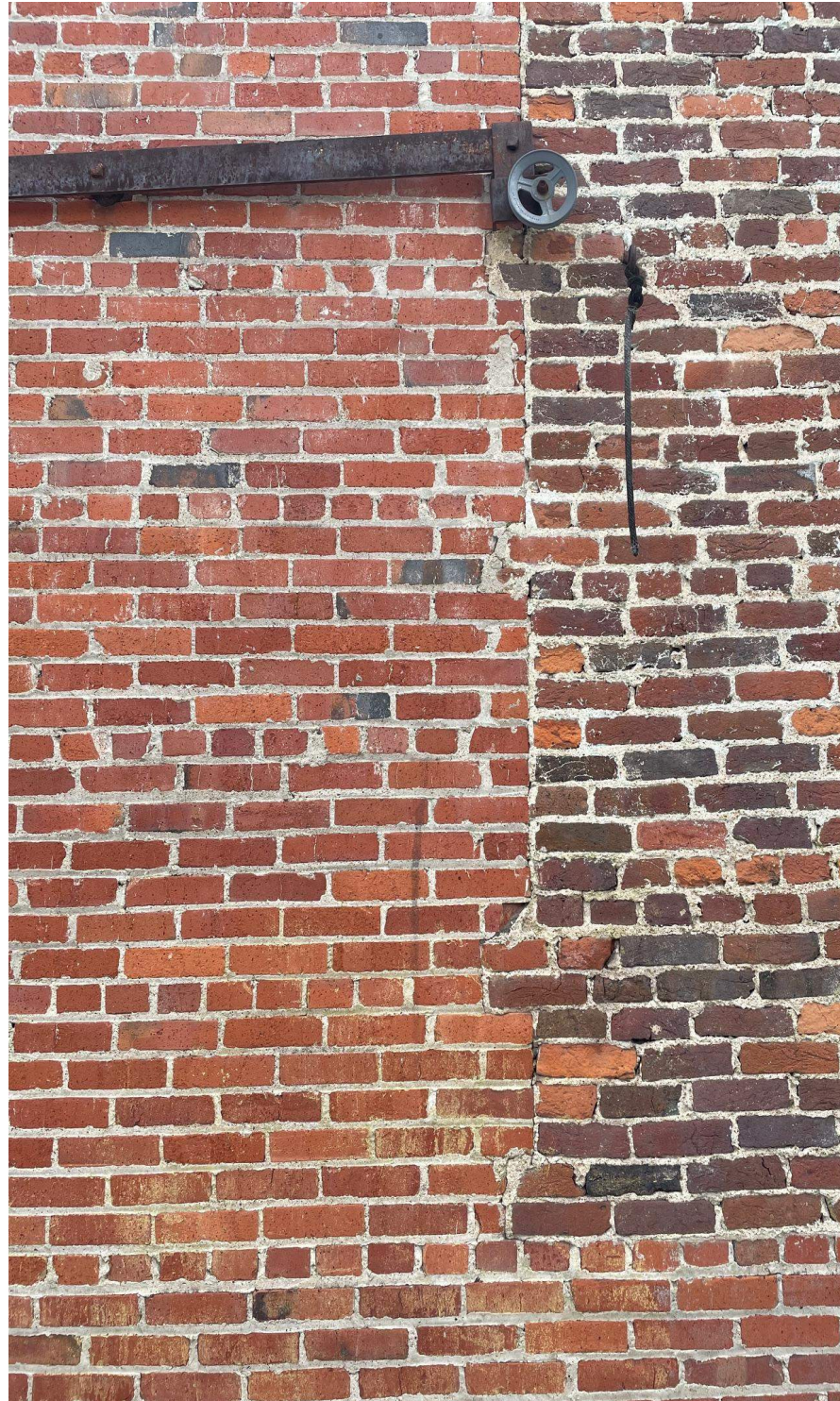
TOTAL NEW FACADE (MINUS OPENINGS): 3137 SF
 ACCENT MATERIAL (METAL PANEL): 586 SF (13% NEW + EXISTING FACADE, 18% NEW FACADE)



PROPOSED DESIGN

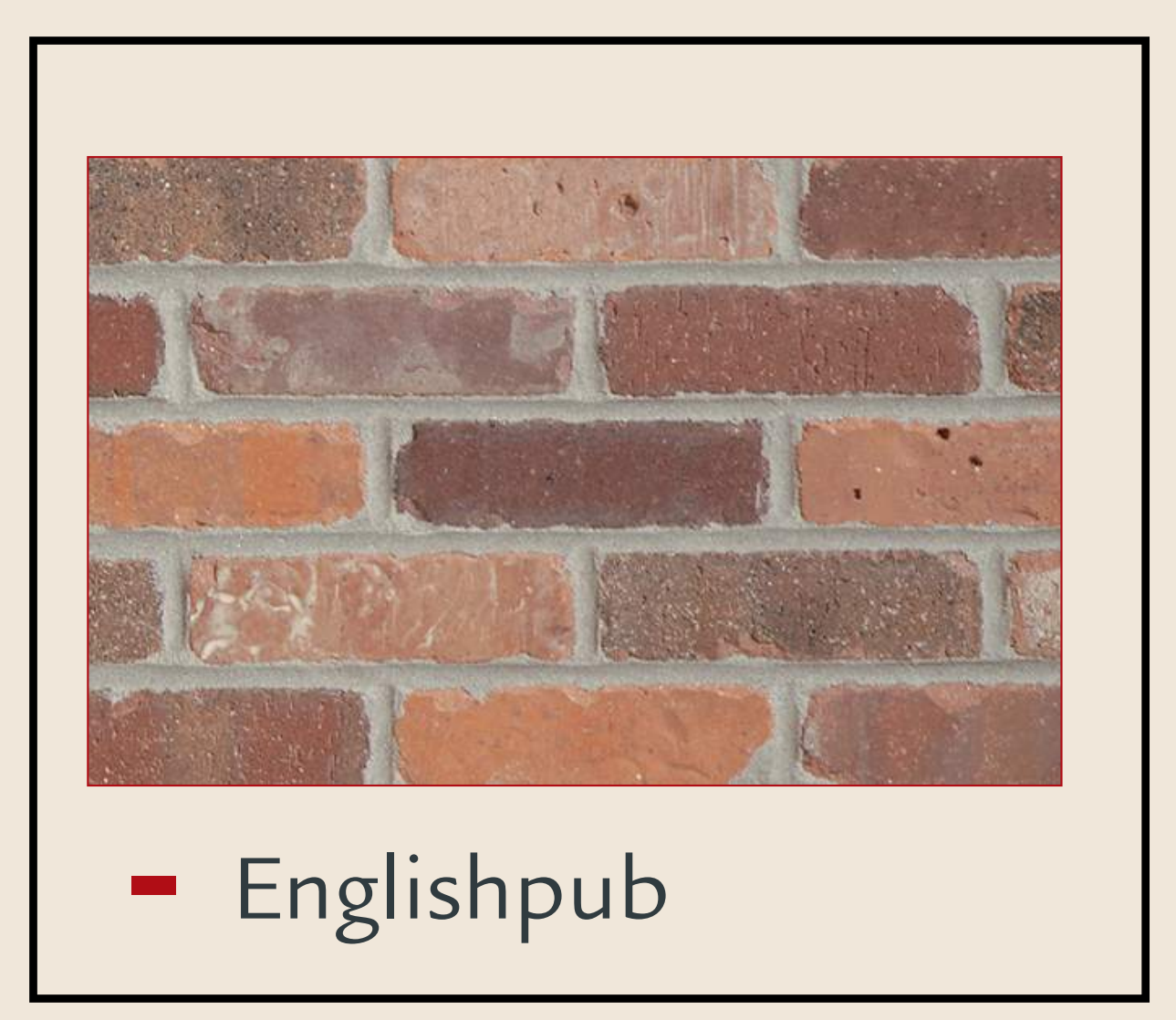
TOTAL NEW FACADE (MINUS OPENINGS): 3,772 SF
 ACCENT MATERIAL (METAL PANEL + CONCRETE): 164 SF (4%)

SITE CONTEXT | COMMON BOND

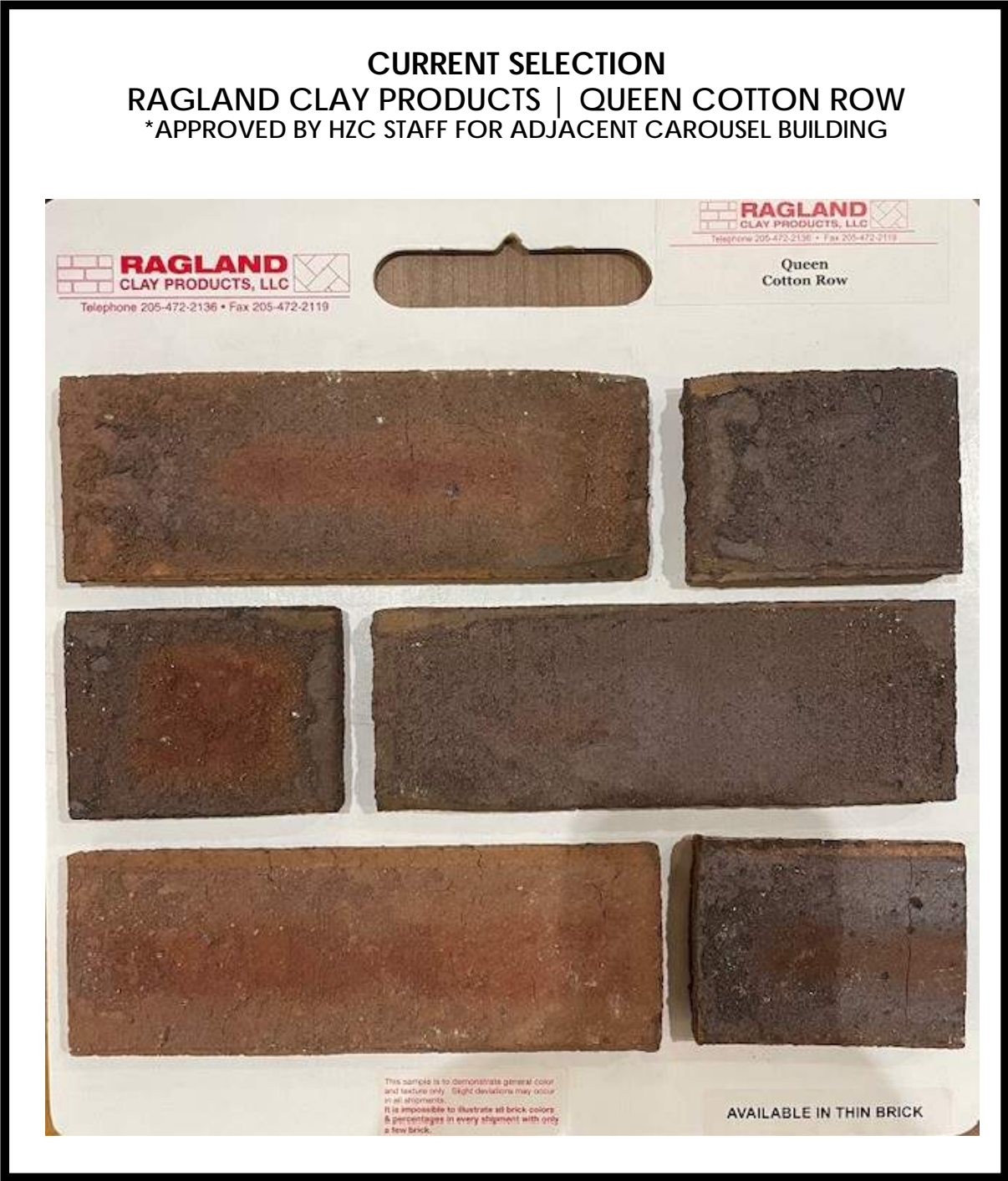


PROPOSED BRICK | SITE CONTEXT

PREVIOUSLY APPROVED
GENERAL SHALE | ENGLISH PUB
*NOT AVAILABLE IN TRADITIONAL BRICK DIMENSION

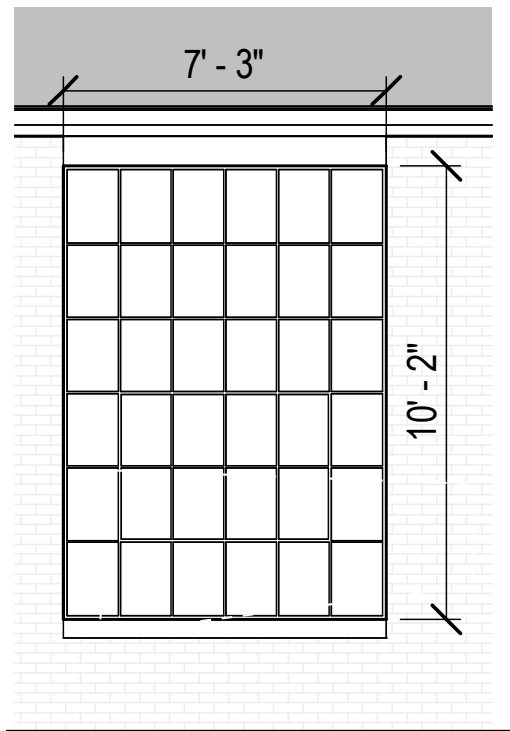


CURRENT SELECTION
RAGLAND CLAY PRODUCTS | QUEEN COTTON ROW
*APPROVED BY HZC STAFF FOR ADJACENT CAROUSEL BUILDING

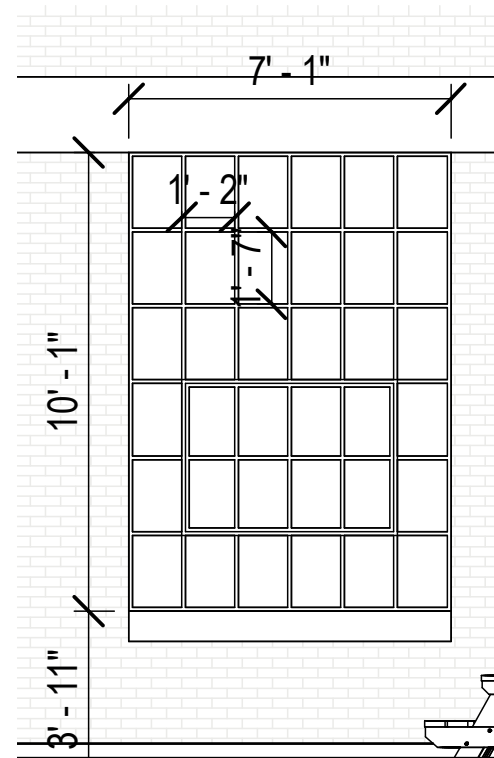


SITE CONTEXT | LEVEL 1 OPENING SIZES

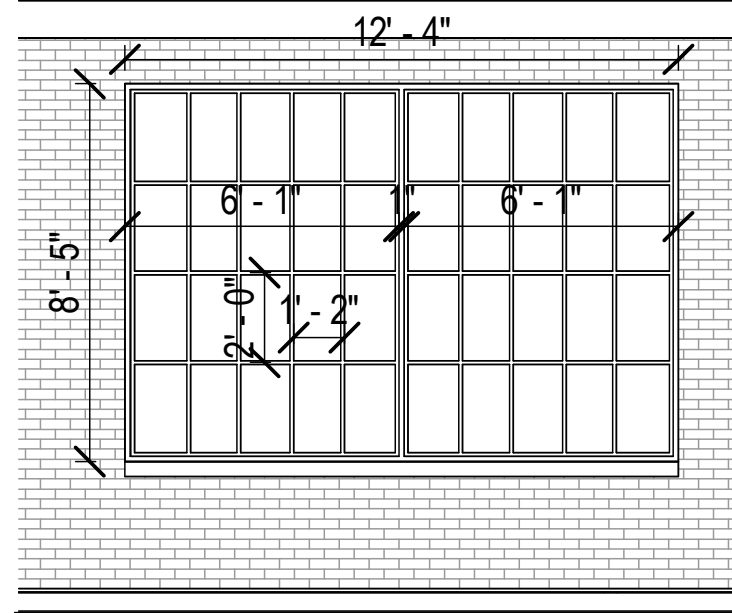
WINDOW MULLIONS FAIRLY CONSISTENT
 WINDOW OPENINGS VARY ACROSS CAMPUS



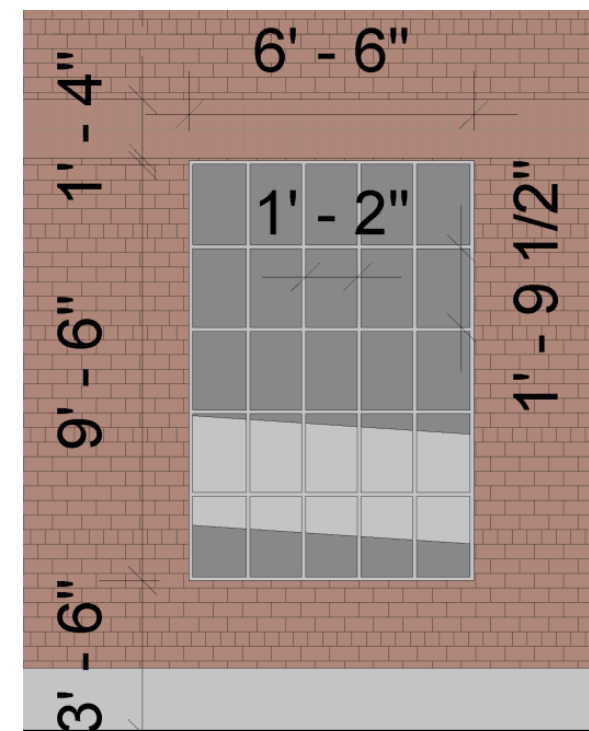
EXISTING FACTORY BUILDING 8



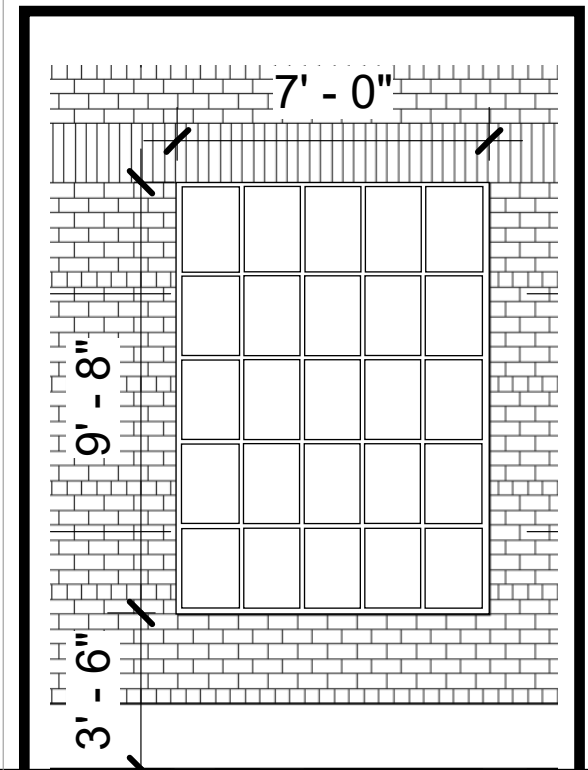
EXISTING FACTORY BUILDING 2



EXISTING FACTORY BUILDING 12



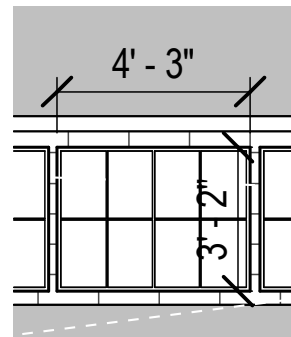
PREVIOUSLY APPROVED



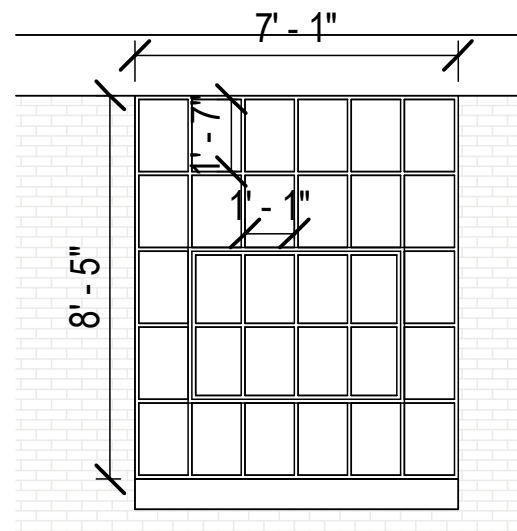
PROPOSED DESIGN

SITE CONTEXT | UPPER LEVEL OPENING SIZES

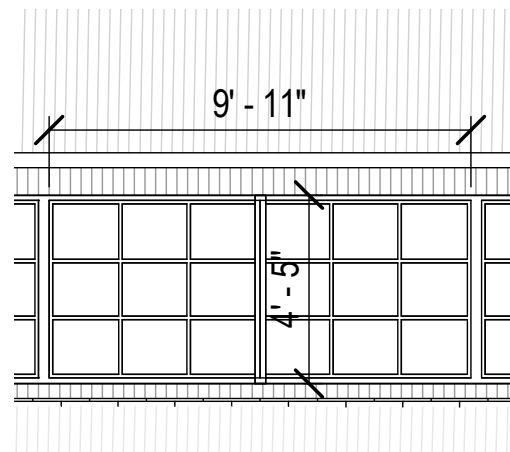
WINDOW MULLIONS FAIRLY CONSISTENT,
WINDOW OPENINGS VARY ACROSS CAMPUS



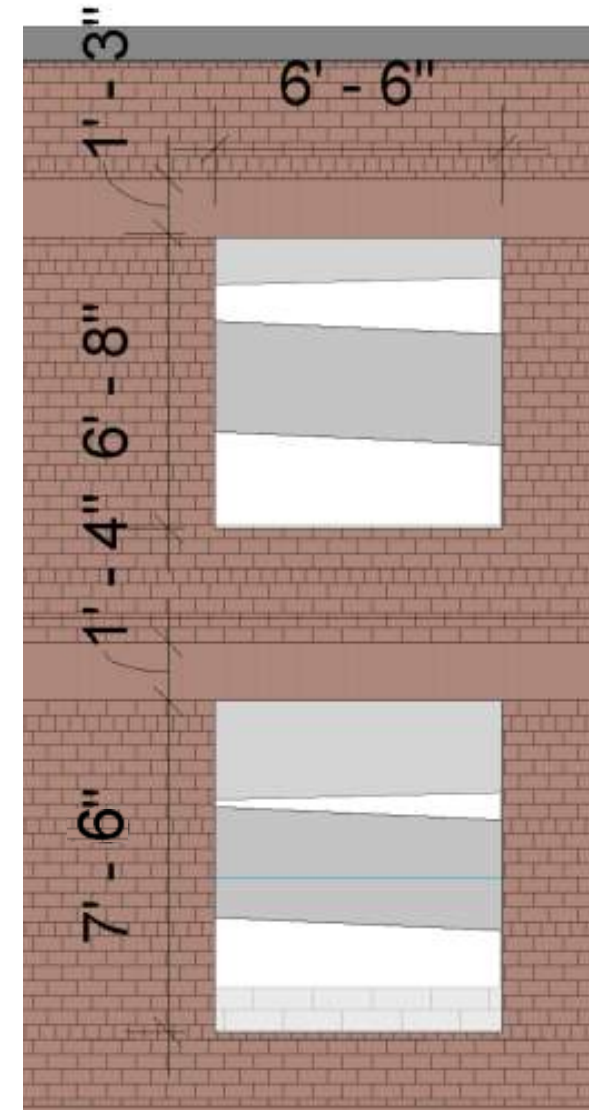
EXISTING FACTORY BUILDING 8



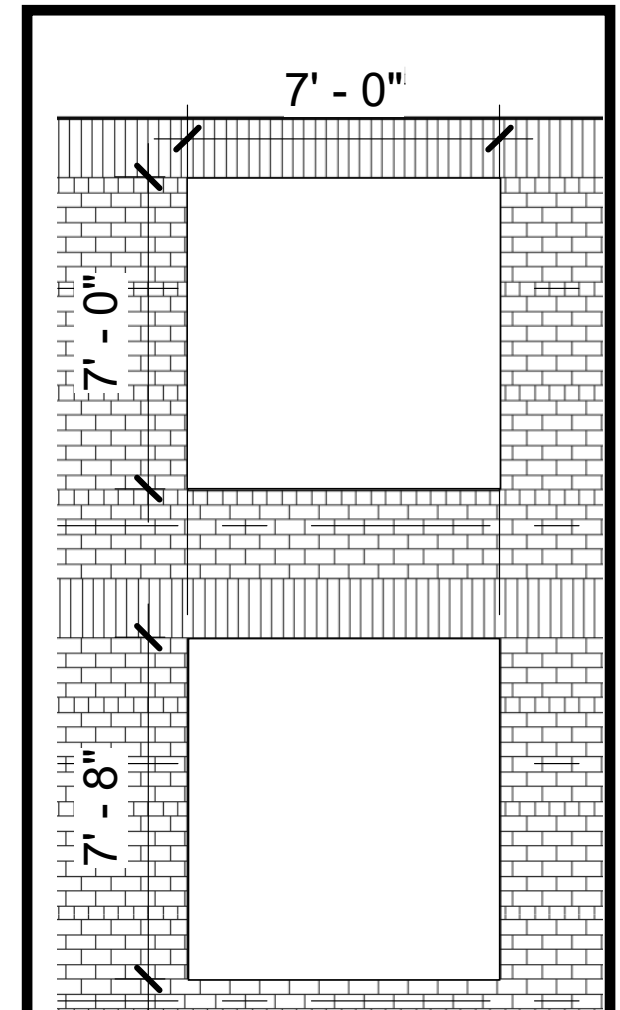
EXISTING FACTORY BUILDING 2



EXISTING FACTORY BUILDING 11



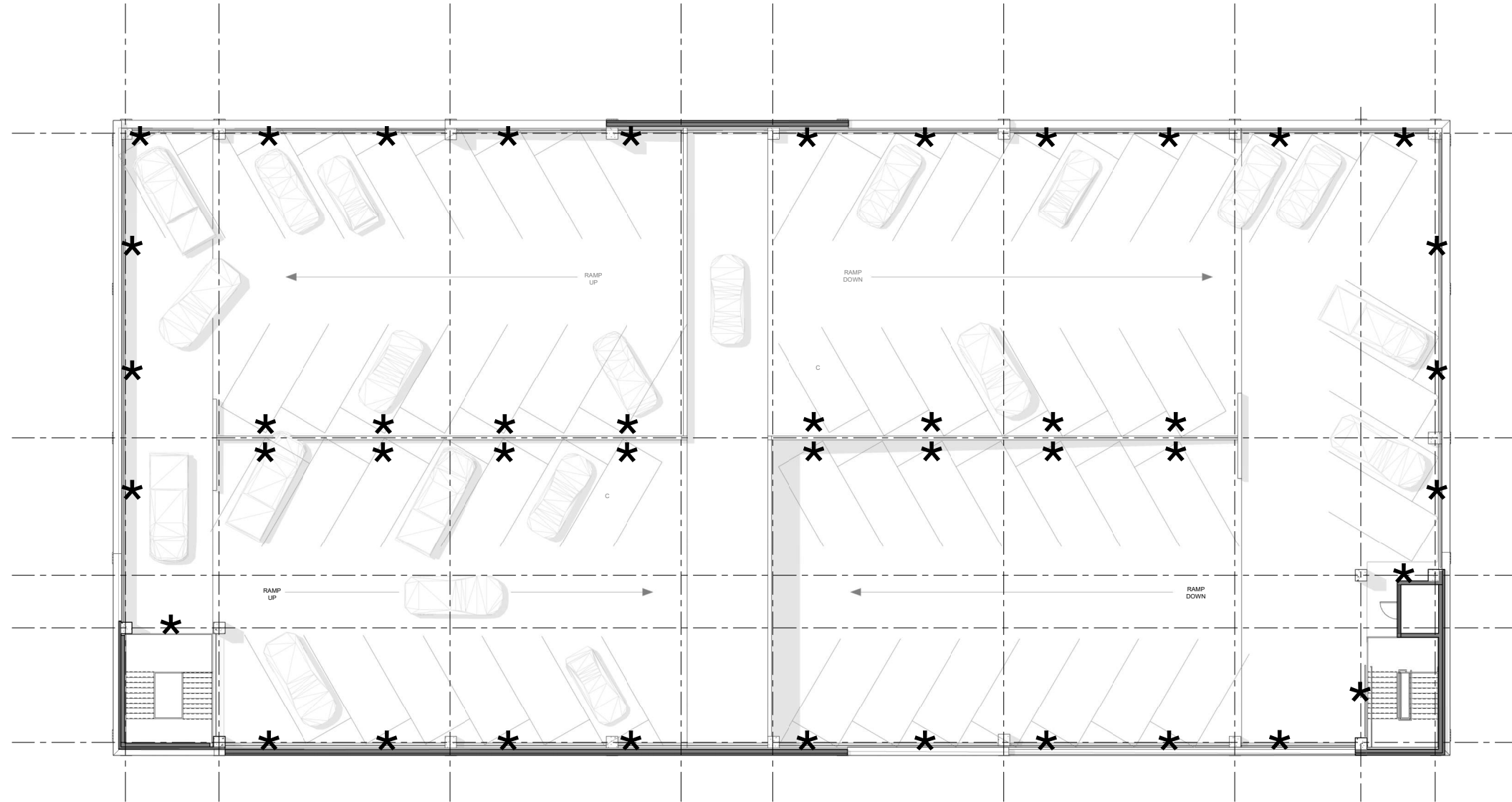
PREVIOUSLY APPROVED



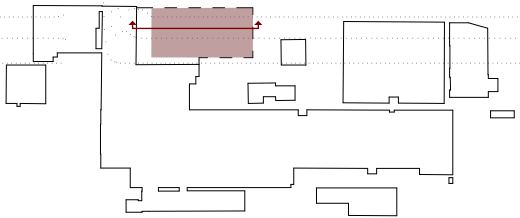
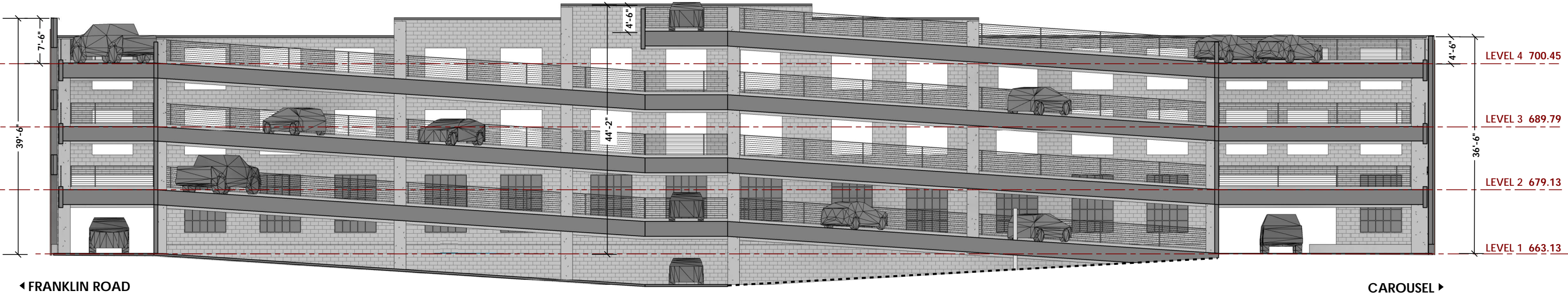
PROPOSED DESIGN

FLOOR PLAN | LEVEL 4

* DENOTES LOCATION OF PARAPET WALL SCONCE.
BOD: RBW LEDGE SQUARE

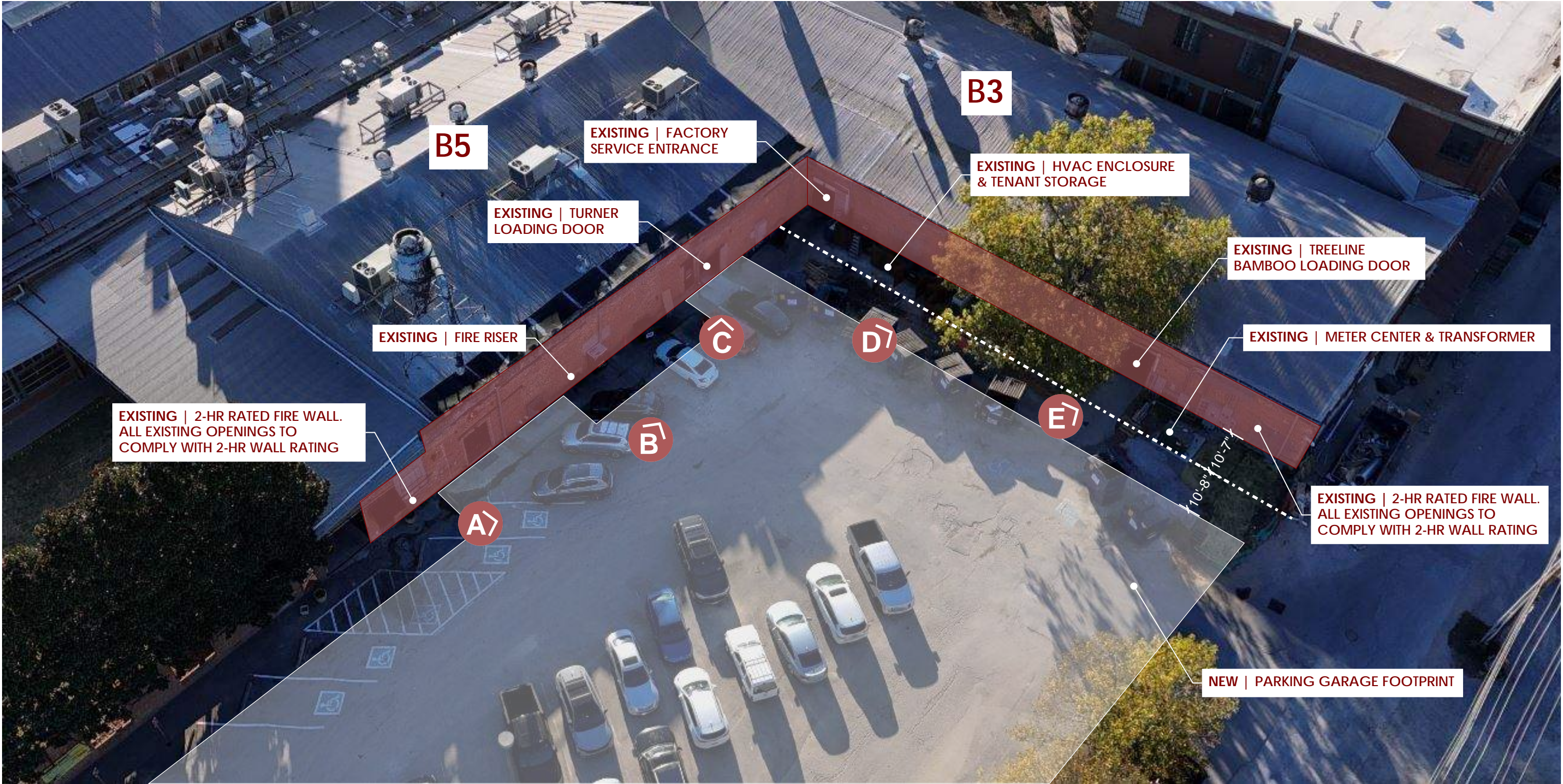


SECTION | PARAPET HEIGHTS



FACTORY AT FRANKLIN
PARKING GARAGE
02/09/2026

EXISTING CONDITIONS | ADJACENT BUILDINGS



EXISTING CONDITIONS | ADJACENT BUILDINGS



A



B

EXISTING BRICK WALLS AT BUILDING 3 ARE NOT REQUIRED TO BE RATED.
EXISTING BRICK WALLS AT BUILDING 5 TO HAVE A 2-HR RATING.

ALL EXISTING DOORS AT THE BACK OF BUILDING 5 (ADJACENT TO NEW PARKING GARAGE) TO BE UPDATED TO COMPLY WITH A 2-HR WALL RATING. REPLACED DOORS WILL BE SIMILAR IN APPEARANCE TO EXISTING.



C



D



E



File #: 26-0129

DATE: 2/9/2026
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:

Consideration Of A Preliminary Historic Zoning Commission Recommendation For A Final Plat At 208 E. Main St., 206 E. Main St., and 119 2nd Ave. N.; Daniel Wolterman, Applicant.

PURPOSE:

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning a preliminary recommendation to the FMPC for the re-subdivision of 208 E. Main Street, 206 E. Main Street, and 119 2nd Avenue North to create new lots.

APPLICABLE DESIGN GUIDELINES:

2022 Franklin Historic District Design Guidelines:
Chapter 3: Commercial Buildings
Chapter 11: Franklin's Historic Resources

PROJECT INFORMATION:

COF Project Number: 9032
Applicant: Daniel Wolterman, T Square Engineering
Owner: Gordan Inman

BACKGROUND:

The buildings located at 206 and 208 East Main Street and 119 2nd Avenue North are located in the Downtown Franklin Historic District. The building at 208 East Main Street is a ca. 1985 one-story stucco commercial building, which is non-contributing within the National Register of Historic Places (NRHP) district. The building at 119 2nd Avenue North is a ca. 1970 one-story brick commercial building that is non-contributing within the NRHP district. The parcel that features 206 E. Main Street is a corner lot that features a ca. 1900 brick gabled-ell dwelling with decorative elements and is contributing within the NRHP district. A Preliminary Historic Zoning Commission recommendation is required for Preliminary Plats and Final Plats that create new lots.

The request is for a recommendation to the Franklin Municipal Planning Commission for the subdivision of the existing two lots into three lots to create a new lot around the existing building located at 119 2nd Avenue North. Lot 68 currently features both of the buildings at 208 East Main Street and 119 2nd Avenue North. Lot 56 currently features the existing building at 206 East Main Street. The proposed subdivision of Lot 68 will create a new lot, 56A, which will encompass the

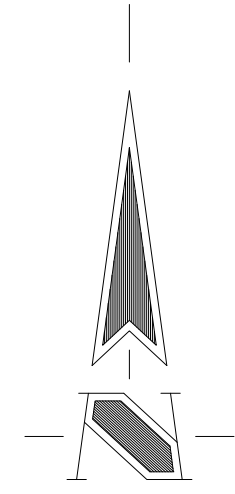
existing building at 119 2nd Avenue North. As proposed, the applicant is requesting a lot for each of the existing buildings. No new buildable lots are being proposed with this request. The request to re-subdivide the lots may require a Preliminary Plat in addition to a Final Plat. If so, this Preliminary HZC Recommendation will apply to both.

The intent of the new lots is to maintain the existing locations of the buildings, the rhythm of buildings along the streetscape, setbacks, drive aisles, and parking. Lot sizes and widths within the historic downtown commercial corridor are varied, and the proposed lots appear consistent with the lot sizes in relation to buildings seen throughout the district. The request is appropriate in light of the Guidelines and does not appear to have an impact on the existing historic resources.

RECOMMENDATION:

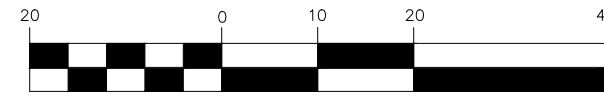
Staff recommends that the HZC make a positive preliminary recommendation for approval to the Franklin Municipal Planning Commission for the creation of new lots as proposed by Preliminary Plat and or Final Plat.

Please note that at this preliminary stage, the HZC is providing an initial recommendation to FMPC on whether this conceptual proposal, as presented today, meets the intent of the Guidelines. The HZC will further review any future proposals for consideration of a Certificate of Appropriateness.

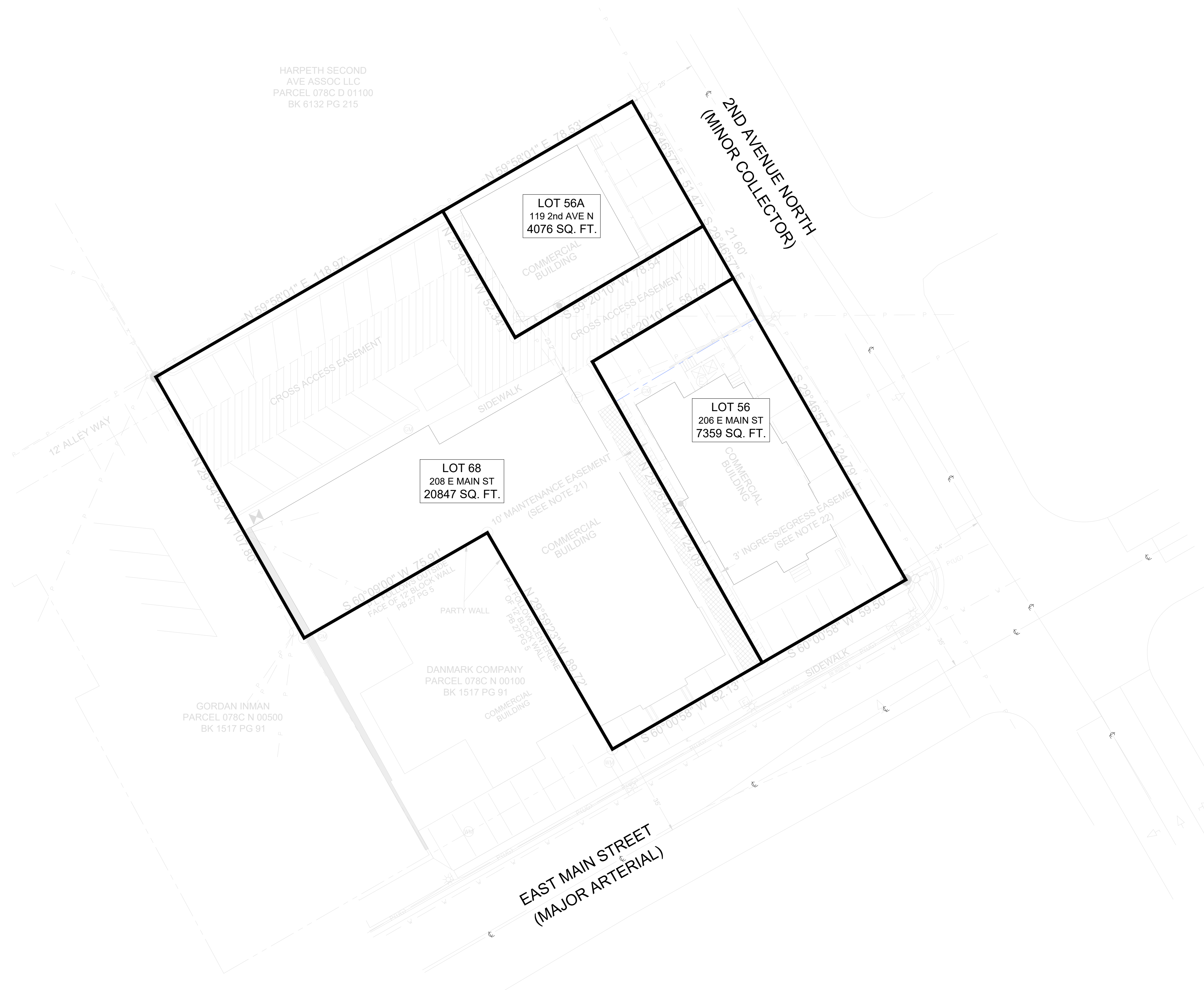


TN SPCS NAD 83

SCALE 1" = 20'



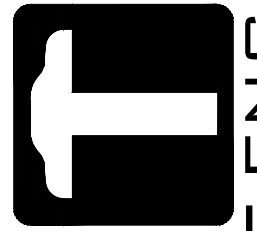
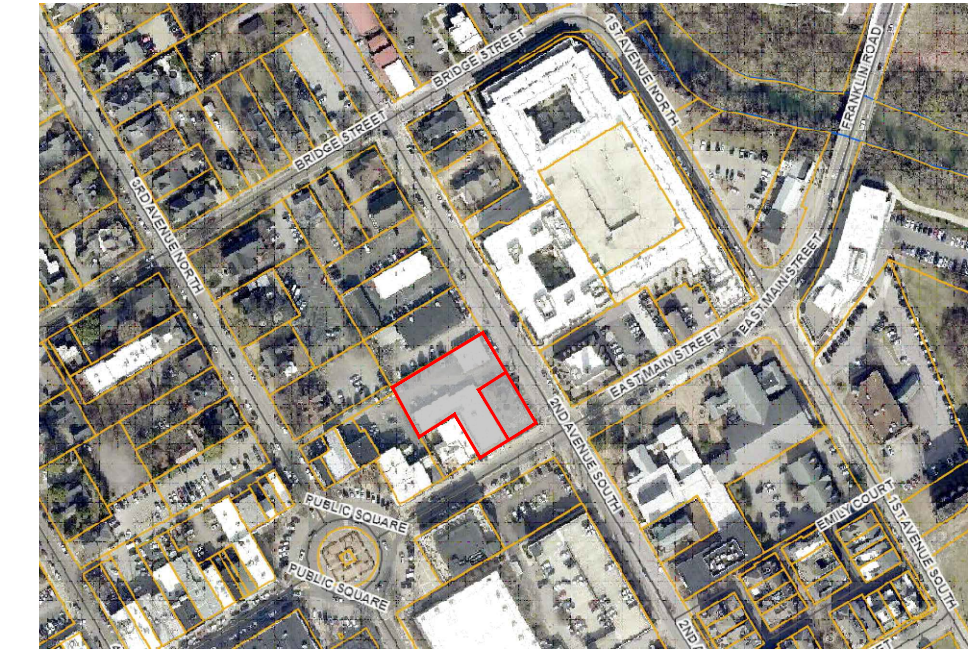
HARPETH SECOND
AVE ASSOC LLC
PARCEL 078C D 01100
BK 6132 PG 215



LOT 56A
119 2nd AVE N
4076 SQ. FT.

LOT 56
206 E MAIN ST
7359 SQ. FT.

LOT 68
208 E MAIN ST
20847 SQ. FT.



T-SQUARE ENGINEERING
SURVEY DIVISION
111 SOUTHEAST PKWY CT, FRANKLIN, TN. 37064



CONCEPT PLAN

GORDON INMAN
TAX MAP 078C D
PARCELS: 01201 & 01200
206 & 208 E MAIN STREET
CITY OF FRANKLIN
WILLIAMSON COUNTY, TENNESSEE

PROJECT:
25-0419

REVISIONS	
NO.	DATE

DATE:
23 JAN 2026
SCALE:
1" = 20'
DRAWN BY:
DSW
REVIEWER:

SHEET:
1 OF 1



1119

Dr. David S. Pence
Chiropractor
1119
115-794-3022

DAVID S. PENCE D.C.
Doctor of Chiropractic

NO PARKING
EXCEPT
LOADING UNLOADING
ONLY

NO PARKING
EXCEPT
LOADING UNLOADING
ONLY

NO PARKING
EXCEPT
LOADING UNLOADING
ONLY



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CUSTOMER PARKING ONLY

CUSTOMER PARKING ONLY

CUSTOMER PARKING ONLY

WARNING



203



208

210

NOT BLOCK SIDEWALK



T-SQUARE

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FRANKLIN, TN 37064
615-678-8212

www.T2-ENG.COM

January 23, 2026

Historic Zoning Commission

RE: COF Project #8998 – 206/208 E Main Street

The purpose of this project is to re-subdivide Parcels 012.00 & 012.01 of Map 078C, Group D from 2 lots into 3 lots. As a condition of the submittal to the Planning Commission, it is required to get recommendation for approval from the Historic Zoning Commission for the project. See attached exhibits for more detail as to the scope of the project.

Thanks,

Daniel Wolterman, Survey Drafting Technician
T-Square Engineering, Inc.
615-678-8212 | daniel.wolterman@t2-eng.com



File #: 26-0126

DATE: 2/9/2026
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:
Consideration Of Alterations (Principal Building) and Site Alterations At 234 4th Ave. N.; Daniel Kiedis, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning alterations to the principal building, site alterations, and modern features at 234 4th Avenue North.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines:
Chapter 2: Historic Residential Building and Additions to Historic Residential Buildings
Chapter 6: Site and Setting
Chapter 7: Fencing
Chapter 9: Modern Features

PROJECT INFORMATION:
COF Project Number: 9029
Applicant: Daniel Kiedis, Trinty Act Holdings, LLC.
Owner: Daniel Kiedis, Trinty Act Holdings, LLC.

BACKGROUND:
The property located at 234 4th Avenue North features is located in the Downtown Franklin National Register Historic District and features a ca. 1935 one-story, minimal traditional style building with Tudor-revival influences. The building is listed as contributing to the National Register Historic District. The request was reviewed during the January 2026 Design Review Committee Meeting and feedback has been incorporated into this application.

The proposal includes a request for a series of alterations to the principal building, alterations to the site, and modern features.

Principal Building Alterations:
The alterations proposed to the principal building include the construction of a rear dormer, alterations to the rear entrance, rear stoop alterations, new lighting, and minor alterations to install

new mechanical openings on rear and less visible facades.

Dormer: A shed dormer is proposed to be constructed on the rear of the building. The dormer will utilize a 2.5:12 pitch, will be 4'4" from the exterior wall, and is located below the main ridge of the building. The dormer will utilize 5" lap siding for sidewalls and a standing seam metal roof. The windows in the dormer are proposed to be nine-lite wood-clad casement windows with a framed surround. The existing windows on the lower floors feature eight-over-eight and six-over-six lite double-hung windows as well as 8-lite fixed or casement windows. The proposed lite pattern is compatible with the existing windows.

Rear Entrance: It is proposed to widen the rear entrance and install a new door. The entrance is proposed to be widened to 36" to accommodate an accessible entrance. The door is proposed to feature a grid lite pattern and paneling details, similar to what exists. Two lite patterns were included within the application submittal. The design in the colored renderings with the proposed 9-lite pattern is appropriate for the age and style of the building. It is recommended to save the existing door for future use if possible.

Deck: A wood deck and horizontal wood railing are proposed at the rear entrance to the building. The Guidelines recommend the following:

- Design the scale, proportion, and character of porch elements, including columns, corner brackets, and railings and pickets, to be compatible with, yet less elaborate than the historic building.
- Use wood materials and simple wood rail designs with square balusters. Brick and metal may be considered if appropriate to the historic building.

The proposed material is appropriate for the deck and railing; however, the horizontal railing design is not a traditional or common railing design. The front porches utilize a simple metal railing with vertical balusters. The design of the horizontal railing is not appropriate. The use of metal would also be appropriate for the railing, as it is seen on the site.

Lighting: New light fixtures are proposed in the covered porch and at the rear of the building. The proposed fixture at the rear of the building over the stairwell to the basement is proposed to match the existing lantern fixtures on the building. A specification has not been included at this time, but must be submitted for review to ensure the fixture is compatible with what exists. Four concealed fixtures and a ceiling fan are proposed on the front covered porch. The fixtures are simple and will have limited visibility.

Modern Features and Site Alterations:

The proposal includes a series of modern features and site alterations including the installation of a ramp on the rear of the building, an accessible walkway, and mechanical equipment and screening.

Mechanical Equipment: New mechanical equipment is proposed to be installed to the right of the building. The equipment is proposed to be screened from streetview with an existing wing wall at the front of the building. A 3' tall Cyprus wood horizontal board fence in a dark walnut stain is proposed to be installed to further screen the units. Three mechanical penetrations for vents are proposed on the left elevation, rear elevation, and one under the covered porch. The Guidelines recommend the following:

- Avoid the use of horizontal board fences.

- Use wood picket, open-weave brick designs, or cast iron in front yards and areas visible from the street with at least 25 percent transparency.
- Screen it (mechanical equipment) from street view with landscaping, fencing, or walls.
- Locate vents on rear facades, if possible.

While located within 20' of the front façade, the intent of the Guidelines and Zoning Ordinance is to fully screen equipment from off-site, and the proposed opacity is appropriate to meet the requirements of screening. The proposed horizontal board design is not appropriate. The use of an opaque fence within the front yard is not recommended by the Guidelines and is not commonly seen within the defined front yards of residential buildings. Alternative screening such as landscaping would meet the requirements for screening and better align with the Guidelines. The new proposed mechanical penetrations are located on the rear and less visible facades or elements and are appropriate.

Ramp: A wood ramp is proposed to connect to the proposed deck and the accessible entrance at the rear of the building. A concrete walkway is proposed to connect the ramp to the parking lot. Changes to the grade are proposed to accommodate the accessible walkway and ramp at the rear of the building. The guidelines recommend the following:

- Avoid significantly altering or grading the topography of a property.
- Construct ramps of concrete or wood.
- If possible, position ramps and lifts on rear or side facades where not readily visible.

The proposed location, material, and design of the ramp minimizes the impact of this feature on the historic building. The proposed alteration to the grade at the rear of the building does not appear to have a significant impact on the site.

RECOMMENDATION:

Staff recommends approval of the building alterations, site alterations, and modern features with the following conditions:

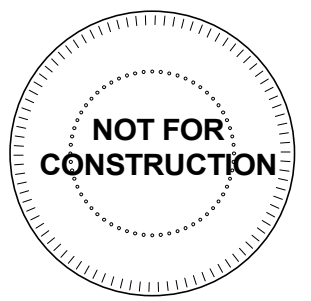
1. The new rear door must utilize the 9-lite design shown in the colored renderings.
2. The mechanical screening must utilize landscaping rather than fencing.
3. The railing on the rear deck must utilize a vertical baluster design in either wood or metal.
4. The lighting specification on the rear of the building must be submitted to Preservation Planning staff.
5. The finish of the mechanical vents must blend with the building and be submitted to Preservation Planning Staff for review.
6. The rear door should be preserved in case future use is desired.
7. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
8. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

Project Considerations from Building and Neighborhood Services:

- Provide additional details on the total square footage of the building. Based on the existing square footage of the home (taken from the County), plus the new square footage being

added upstairs, staff calculates a total square footage of 2,835. Parking is calculated at 2.85 spaces per 1,000sf. $2.85 \times 2.8 = 7.98$. Therefore, staff finds that 8 spaces are needed, not 5.

- Advisory Only: The applicant shall obtain a floodplain development permit prior to any disturbance in the FFO.



- GENERAL NOTES:
- ALL SITE INFORMATION IS BASED ON ALTA#8886 LAND TITLE SURVEY JOB NO. 25-9109 PREPARED BY TYLER REID, GOODWIN, RLB 3516, BLEWIE INC., DATED NOVEMBER 8, 2025.
 - EXCEPTION: SETBACKS ARE BASED ON CITY OF FRANKLIN ZONING ORDINANCE FOR OFFICE RESIDENTIAL DISTRICT.
- OHP --- OHP --- OVERHEAD POWER LINE PER SURVEY
 - X --- X --- FENCE PER SURVEY
 - W --- W --- WATER LINE PER SURVEY
 - ⊙ POWER POLE PER SURVEY



AN OFFICE REMODEL FOR:
TRINITY ACT HOLDINGS, LLC
 234 4TH AVE. N.
 FRANKLIN, TN 37064

DRAWING RELEASE LOG

REVISIONS:

DATE:
 December 15, 2025
 JOB NO.
 008025
 DRAWN BY:
 KSD, SG
 SHEET NO.

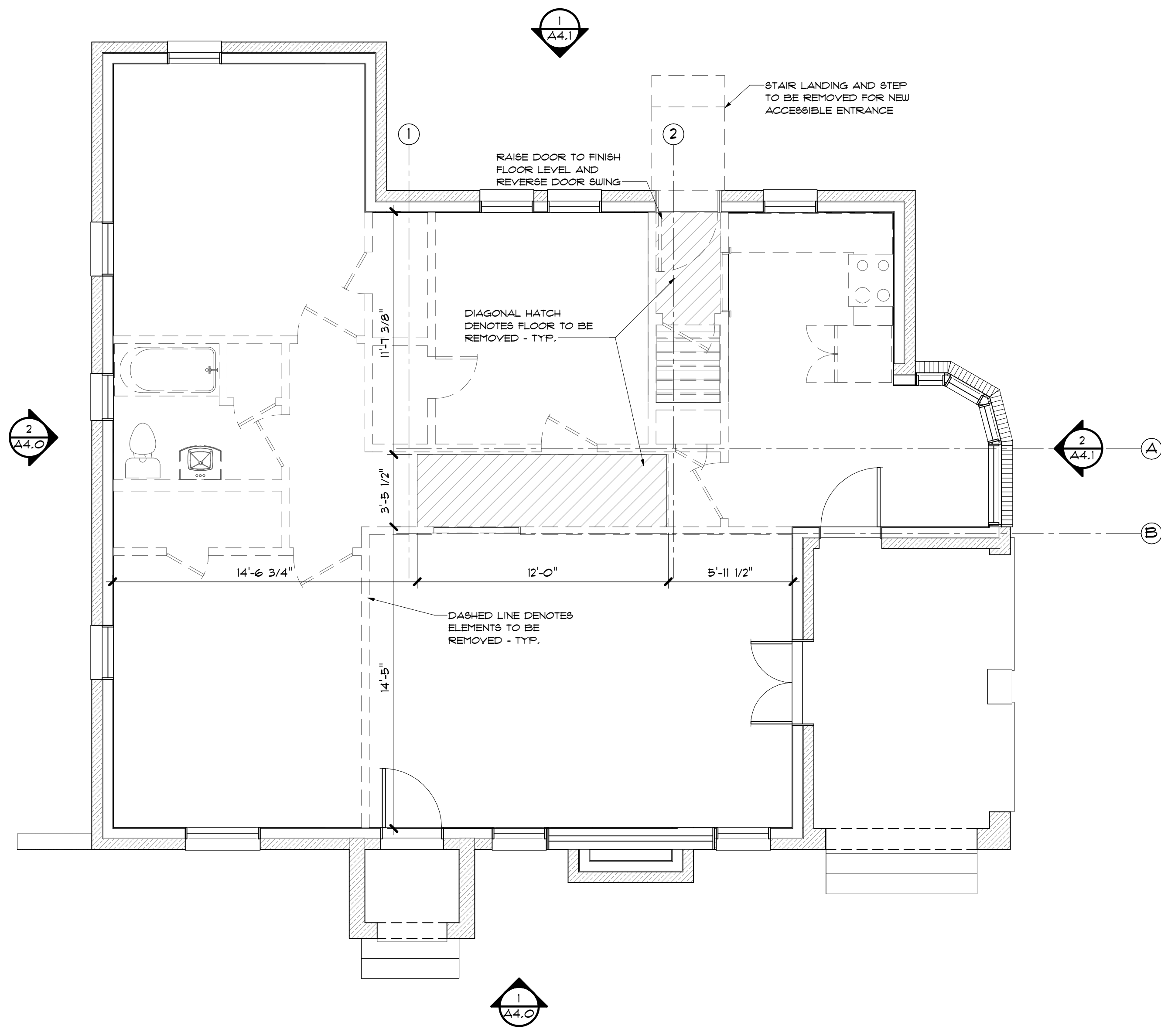
A0.0

Required Parking
 Office Use in CFO: 2.85 spaces per 1,000 SF
 Building Area / 1,000 SF * 2.85 = 4.275 = 5 Parking Spaces
 1 Accessible
 2 On Lot
 2 On Street Parking

Site Plan
 1" = 10'-0"

GENERAL NOTES
 1. EXTERIOR TO REMAIN UNDISTURBED EXCEPT FOR REAR DOOR, ACCESSIBLE ENTRANCE, GRADING FOR ACCESSIBLE ROUTE, AND ANY REQUIRED PENETRATIONS FOR MEP EQUIPMENT

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 1229 LAKEVIEW DRIVE
 FRANKLIN, TN 37067
 615.942.0404
 HARPETHARCHITECTS.COM
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NORTH
First Floor Demolition Plan
 1/4" = 1'-0"

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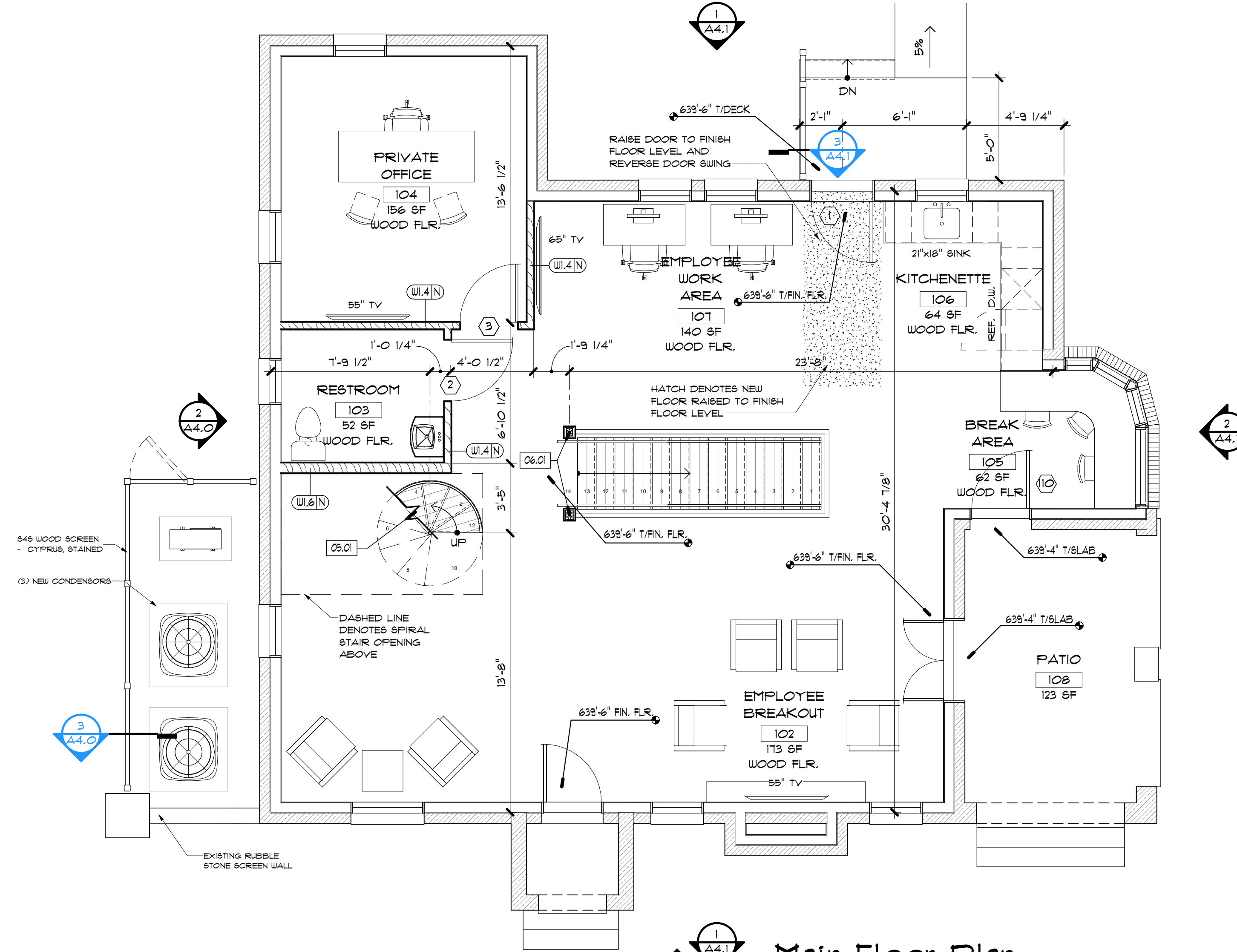
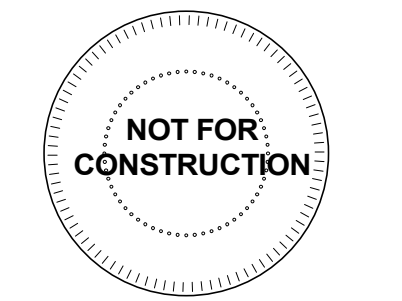
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KEYNOTES

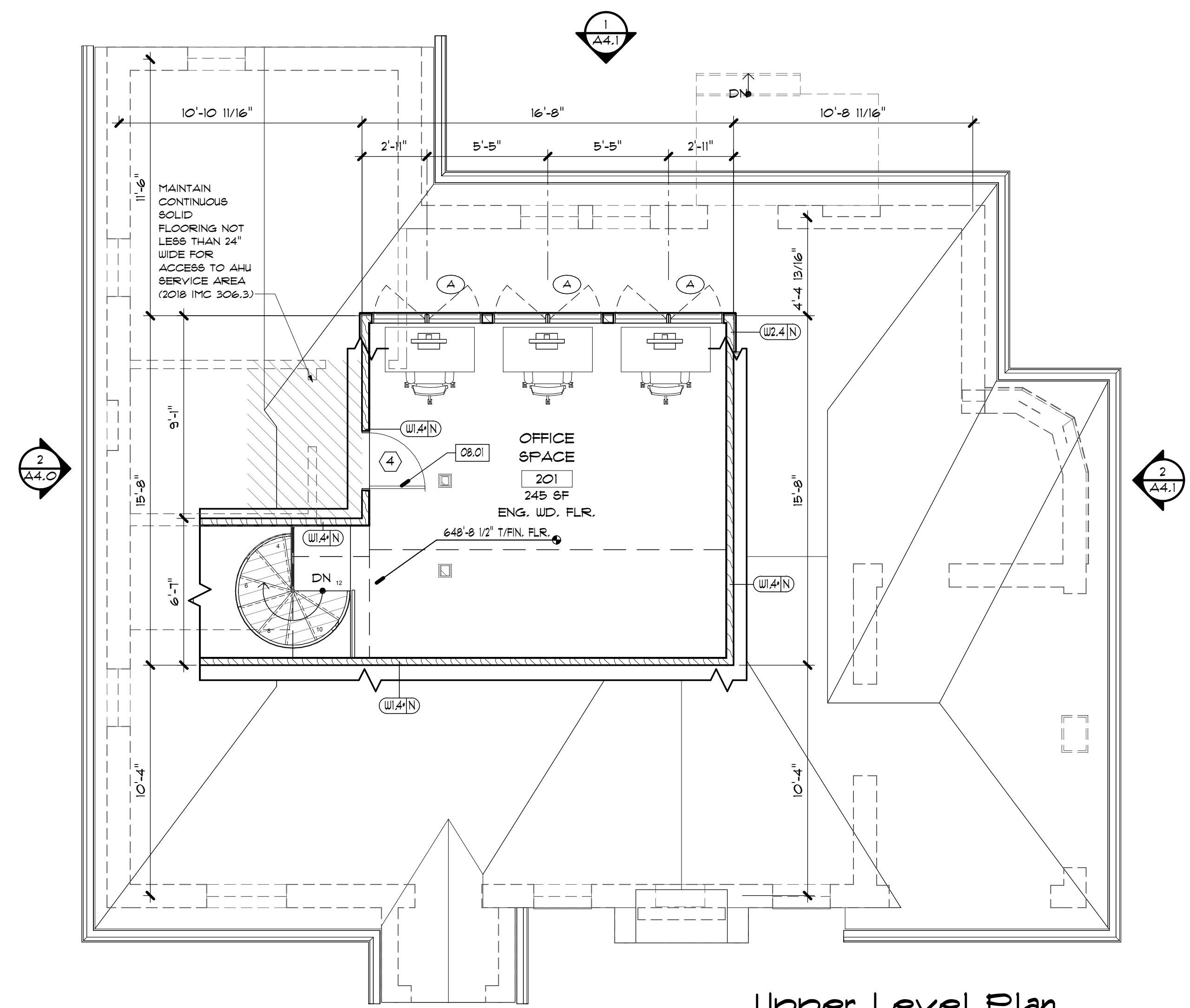
- 05.01 SPIRAL STAIR TO BE SELECTED BY OWNER. 2'-1" RADIUS. SPIRAL STAIR IS PERMITTED TO SERVE UPPER OFFICE WHICH IS LESS THAN 250 SF & NOT MORE THAN 5 OCCUPANTS PER 2018 IBC 1011.10
- 06.01 STUD PACK PER STRUCTURAL DRAWINGS. WRAP IN 1x 846 TRIM - TYP. STUD PACKS ARE ONLY SHOWN FOR COORDINATION AND NOT ALL STUD PACKS ARE REPRESENTED. FOR FULL LAYOUT AND DETAILS, SEE STRUCTURAL DRAWINGS
- 08.01 ATTIC ACCESS DOOR, MIN. 20" x 30" AND MUST BE LARGE ENOUGH FOR REMOVAL OF LARGEST APPLIANCE -- SEE MECHANICAL DRAWINGS FOR AHU SPECS. COORDINATE LOCATION WITH FRONT OR SERVICE SIDE OF AHU TO ALLOW FOR SERVICE AREA NOT LESS THAN 30" dp. x 30" w. (2018 IMC 306.3)

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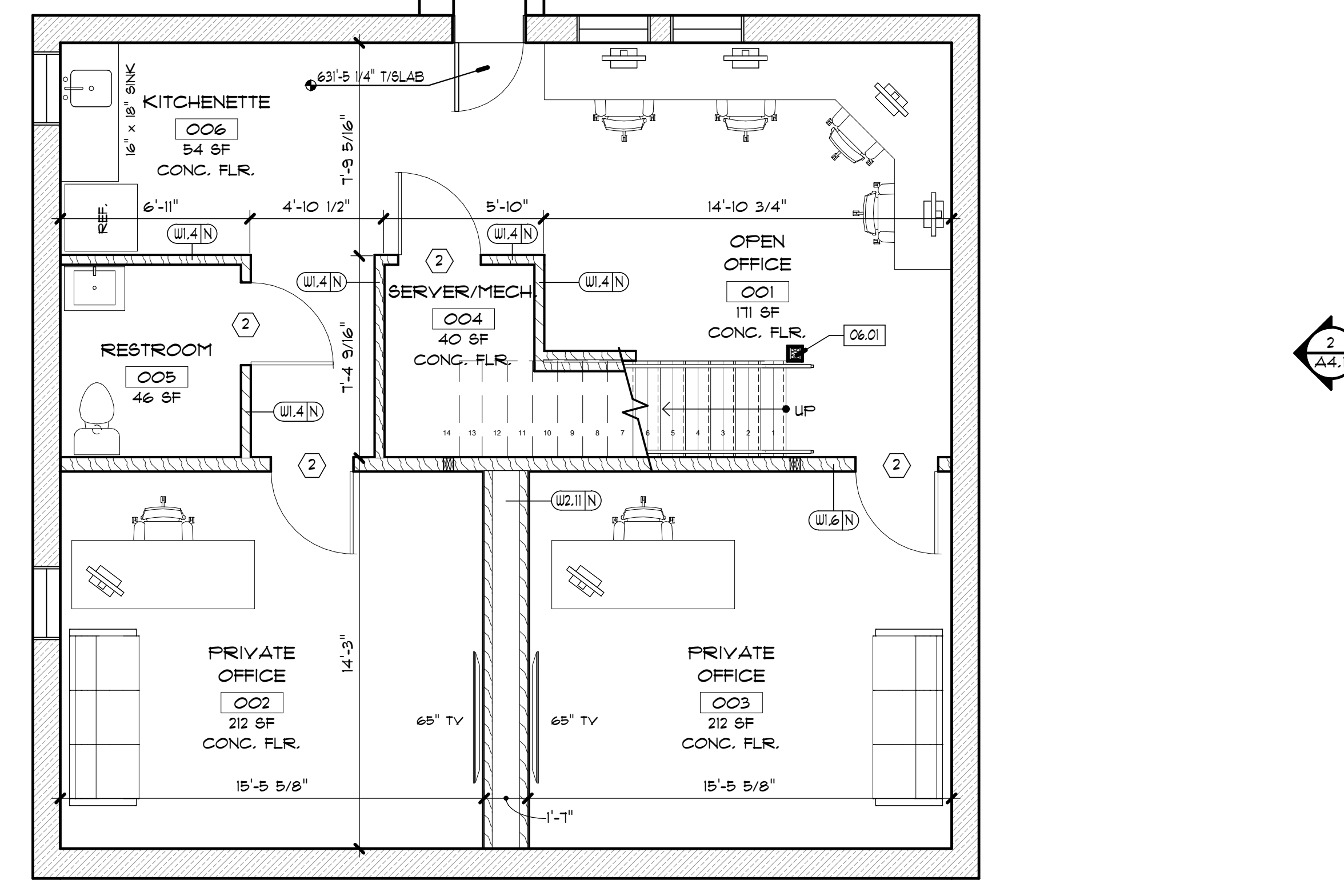
THIS ARCHITECTURAL DRAWING WAS PREPARED BY HARPEETH ARCHITECTS, INC. FOR THE PROPERTY OF TRINITY ACT HOLDINGS, LLC. ANY REVISIONS TO THIS DRAWING SHALL BE THE PROPERTY OF HARPEETH ARCHITECTS, INC. AND WILL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ARCHITECTURAL AGREEMENT. ANY REVISIONS TO THIS DRAWING SHALL BE THE PROPERTY OF HARPEETH ARCHITECTS, INC. AND WILL BE SUBJECT TO THE TERMS AND CONDITIONS OF THE ARCHITECTURAL AGREEMENT.



Main Floor Plan
 1/4" = 1'-0"



Upper Level Plan
 1/4" = 1'-0"



Lower Level Plan
 1/4" = 1'-0"

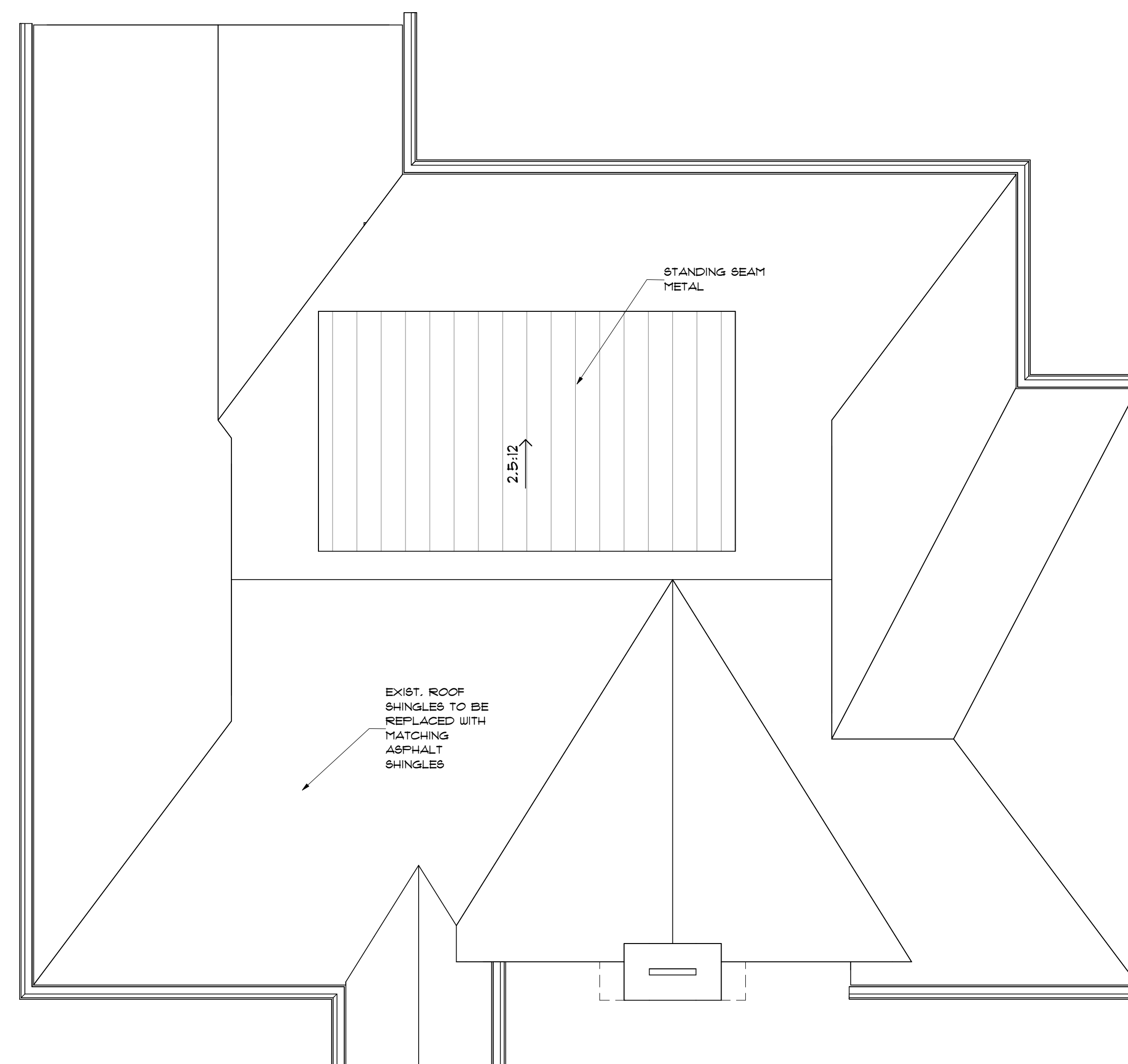
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Roof Plan
 1/4" = 1'-0"

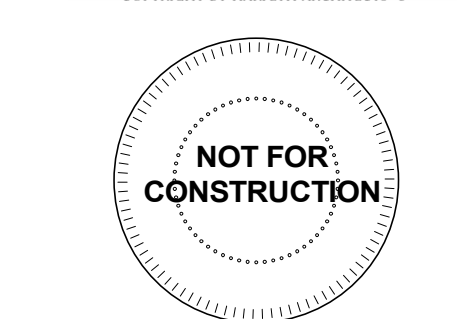
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A2.1

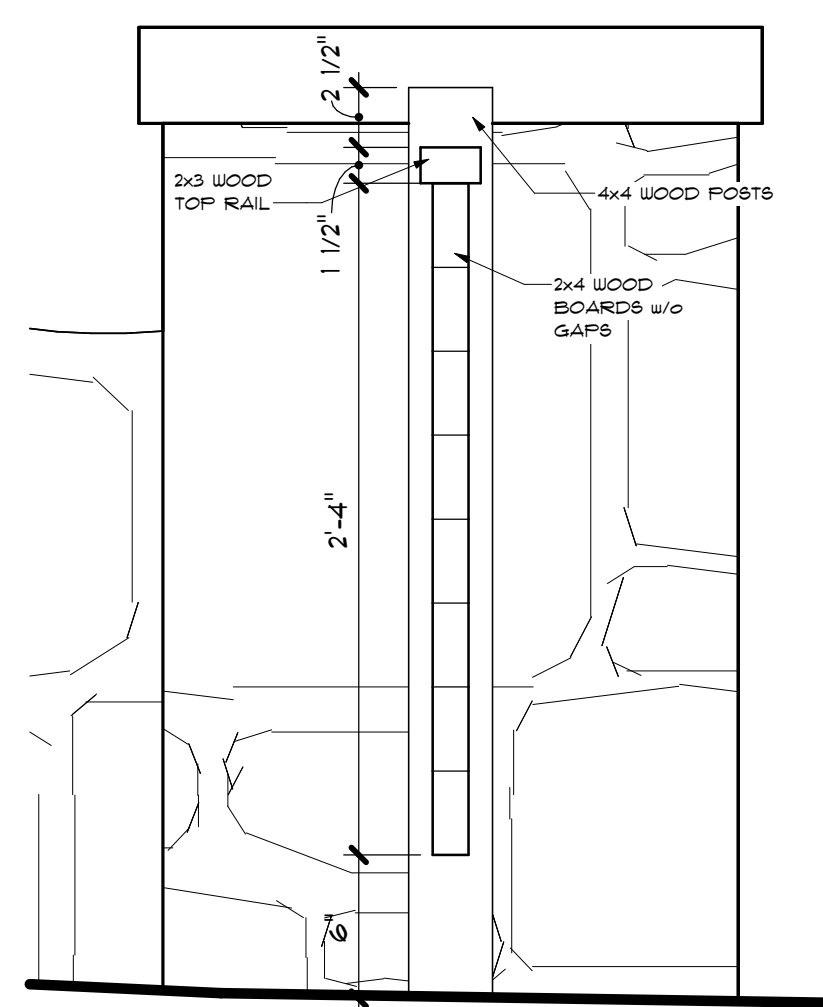


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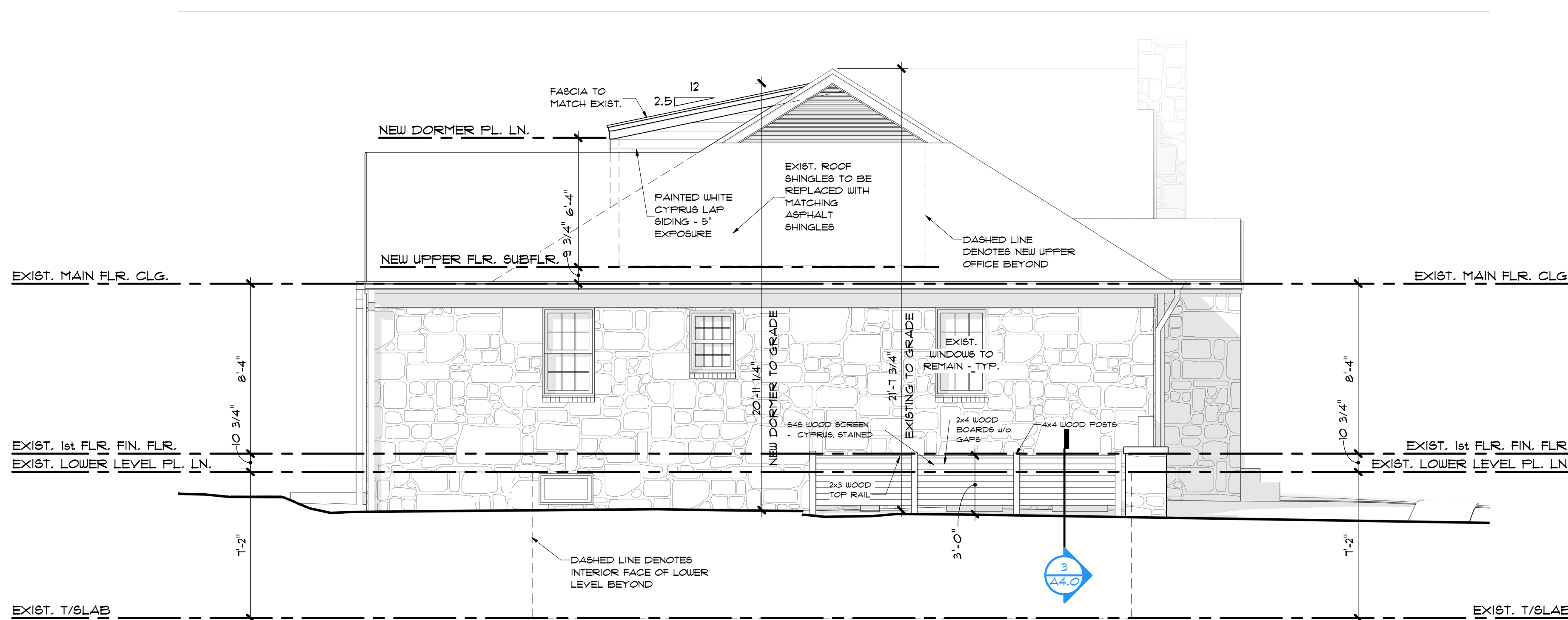
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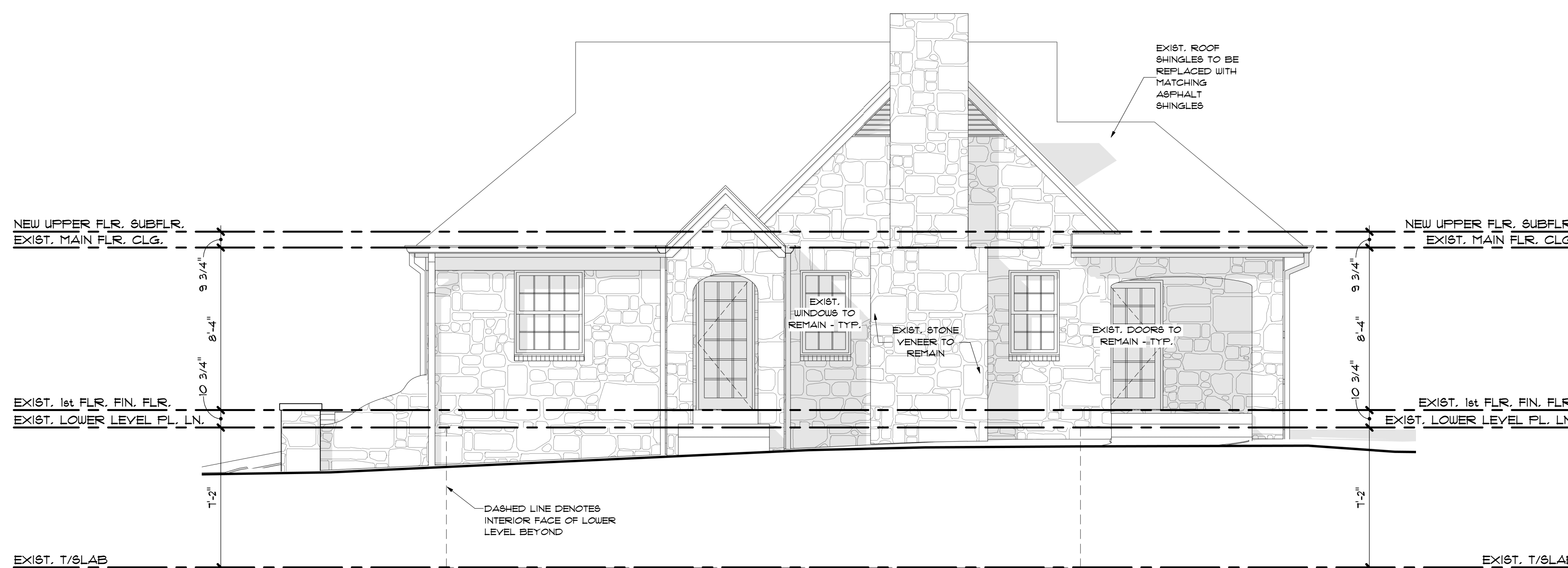
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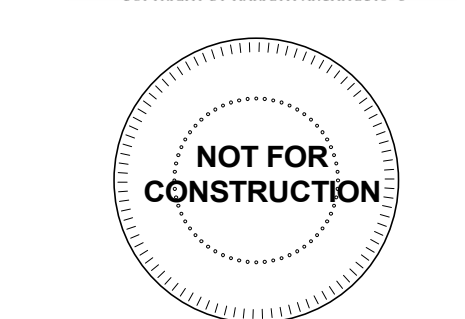
3 Detail of Mechanical Screen
 1 1/2" = 1'-0"



2 Left Elevation
 1/4" = 1'-0"



1 Front Elevation
 1/4" = 1'-0"

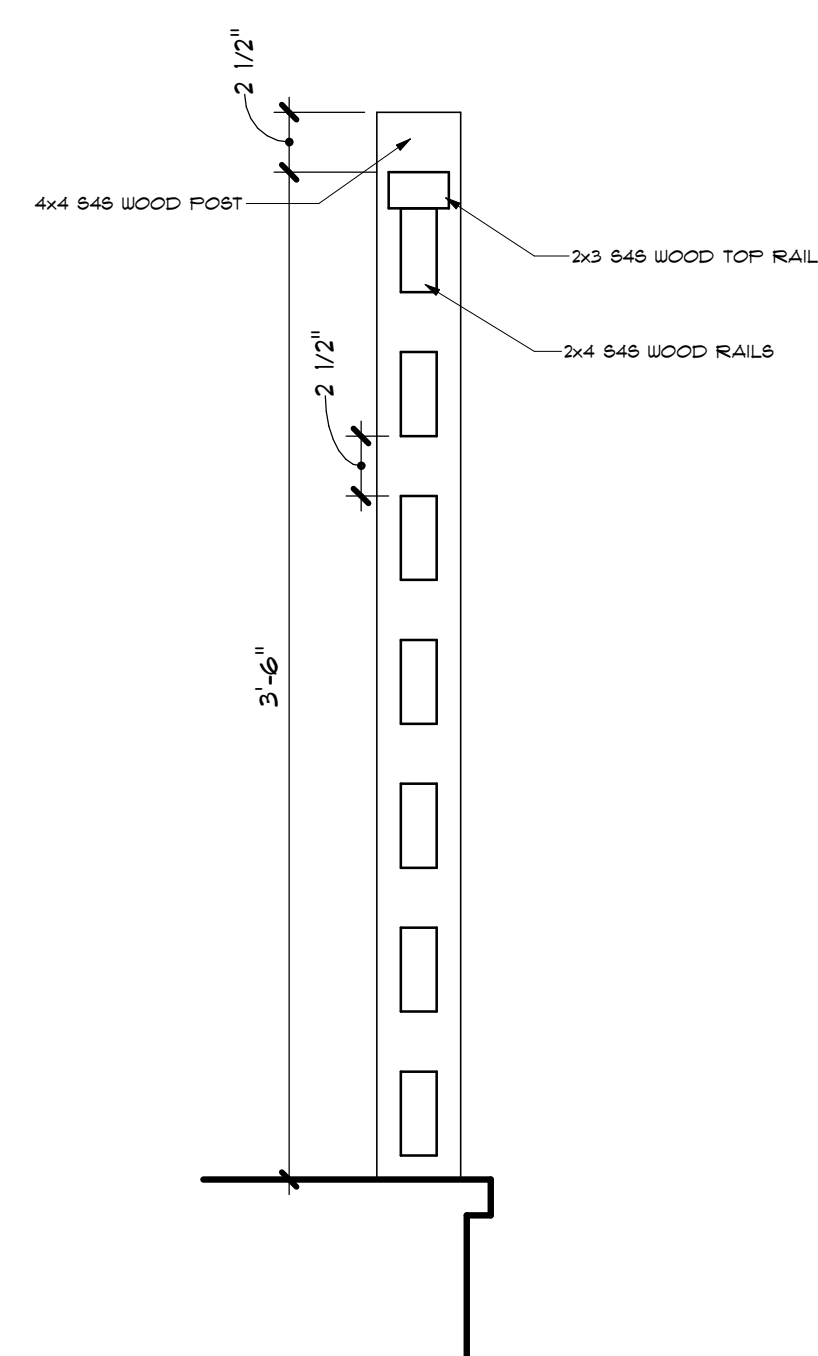


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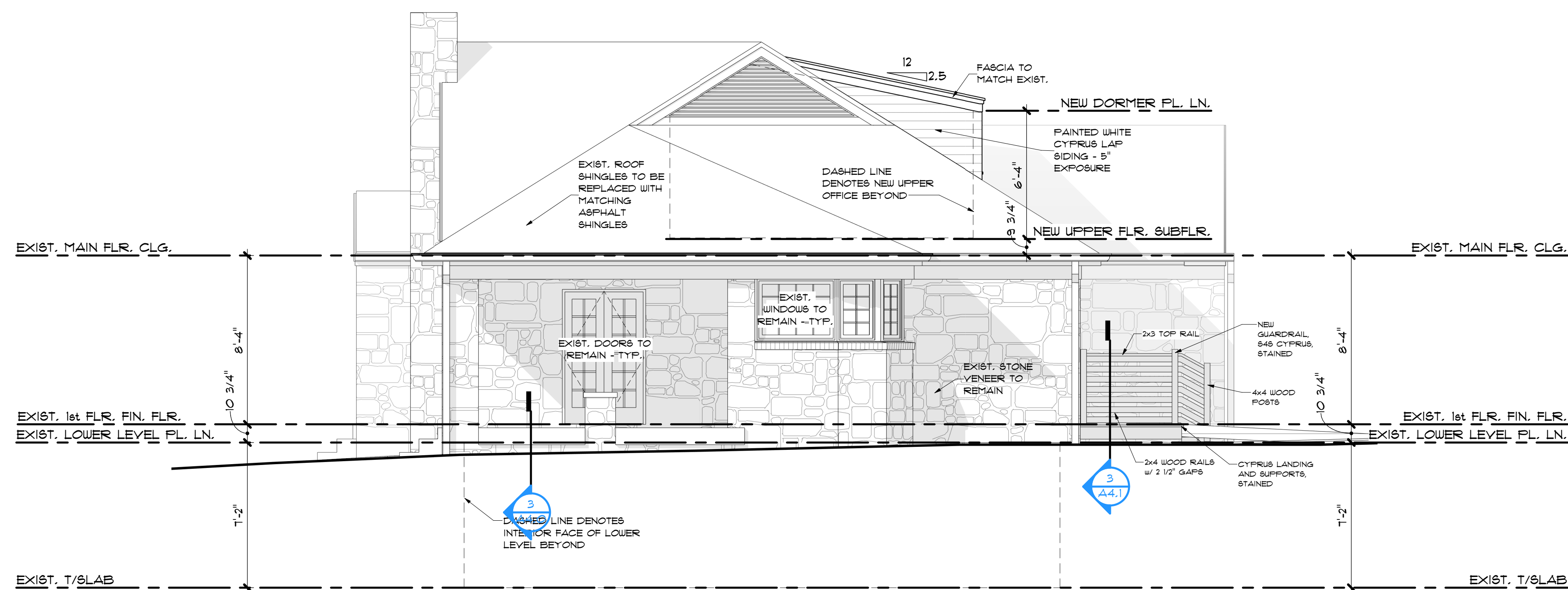
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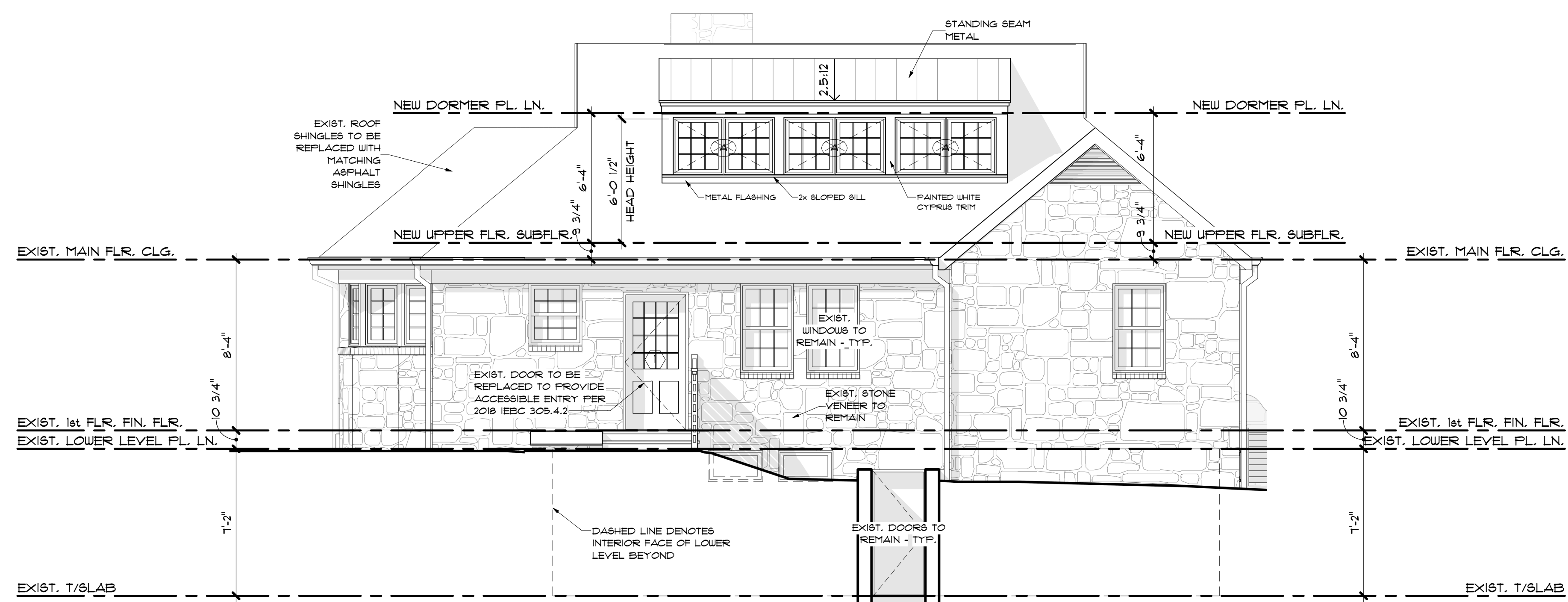
A4.1



③ Detail @ Landing Guardrail
 1 1/2" = 1'-0"



② Right Elevation
 1/4" = 1'-0"



① Rear Elevation
 1/4" = 1'-0"

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Window Schedule

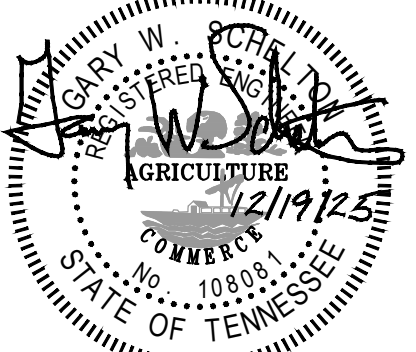
MARK	QUANTITY	OPENING				FRAME				ENERGY CODE			PRODUCT INFO		REMARKS
		FRAME		R.O.		MATERIAL	FINISH	GLAZING TYPE	OPERATION	U-FACTOR	SHGC	AIR LEAKAGE	MANUFACTURER	MODEL	
		WIDTH	HEIGHT	WIDTH	HEIGHT										
A	3	36 3/8 in	33 1/2 in	36 1/8 in	34 in	WOOD CLAD	POWDER COATED EXTERIOR / PAINTED INTERIOR	DOUBLE-PAIN, LOW-E, NO TINT	CASMENT - RIGHT HAND / LEFT HAND	0.28	0.32	0.30 CFM/6F	ANDERSEN	AND-N-03666-00001	WOOD CLAD

TOTAL NUMBER OF WINDOWS: 3

Door Schedule

MARK	QUANTITY	DOOR OPENING				ROUGH OPENING				FRAME			ENERGY CODE			REMARKS		
		FRAME		R.O.		MATERIAL	TYPE	FINISH	MATERIAL	TYPE	FINISH	U-FACTOR	SHGC	MANUFACTURER	MODEL			
		WIDTH	HEIGHT	WIDTH	HEIGHT													
1	1	3'-0"	6'-8"	3'-2"	6'-9"	3'-2"	6'-9"	WOOD CLAD	WOOD CLAD, PARTIAL GLAZED	POWDER COATED EXTERIOR / PAINTED INTERIOR	WOOD CLAD	PRE-HUNG	POWDER COATED EXTERIOR / PAINTED INTERIOR	0.28	0.22	ANDERSEN	400 SERIES HINGED PATIO HINGE DOOR	ADA COMPLIANT THRESHOLD, LESS THAN 50% GLAZE
2	5	3'-0"	6'-8"	3'-0"	6'-8"	3'-0 1/2"	6'-8 1/4"	WOOD	SOLID CORE	PAINT	WOOD	CASED						
3	1	2'-0"	6'-8"	2'-0"	6'-8"	2'-0 1/2"	6'-8 1/4"	WOOD	SOLID CORE	PAINT	WOOD	CASED						
4	1	2'-8"	5'-0"	2'-8"	5'-1"	2'-8"	5'-1 1/2"	WOOD	SOLID CORE	PAINT	WOOD	CASED						

TOTAL NUMBER OF DOORS: 8



DRAWING RELEASE LOG

REVISIONS:
 1 12.19.2025

DATE:
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 008025
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 KEC
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INTERNATIONAL MC 403.3 COMPLIANCE SCHEDULE										
UNIT NUMBER	AHU-1			AHU-2			AHU-3			TOTAL
AREA SERVED	KITCHENETTE	PRIVATE OFFICE	PRIVATE OFFICE	OPEN OFFICE	KITCHEN/BREAK	PRIVATE OFFICE	WORKSPACE	OPEN OFFICE	OFFICE SPACE	
AREA (SQ. FT)	54	221	112	309	159	156	158	549	279	
NO. PEOPLE/1000 SQ. FT. (TABLE 403.3)	5	5	5	5	5	5	5	5	5	
PEOPLE QUANTITY	1	1	1	2	2	1	1	3	2	
AIRFLOW PER PERSON (TABLE 403.3)	5	5	5	5	5	5	5	5	5	
CFM / SQ. FT.	.06	.06	.06	.06	.06	.06	.06	.06	.06	
TOTAL O.A. REQUIRED (CFM)	10	20	20	30	20	15	15	50	NAT. VENTILATION*	180
WITH VENTILATION EFFICIENCY = .8	15	25	25	40	25	20	20	65	NAT. VENTILATION*	235
TOTAL O.A. PROVIDED (CFM)	15	25	25	40	25	20	20	65	NAT. VENTILATION*	235

NOTES:
 * OPERABLE OPENING AREAS IN ASSEMBLY EXCEEDS 4% OF FLOOR SPACE PER IMC SECTION 402.2.

MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	NEW SUPPLY AIR DUCTWORK
	NEW RETURN AIR DUCTWORK
	NEW EXHAUST DUCTWORK
	NEW OUTSIDE AIR DUCTWORK
	MANUAL VOLUME DAMPER
	NEW CEILING DIFFUSER
	NEW CEILING GRILLE
	CEILING EXHAUST FAN
	EQUIPMENT LABEL (SEE MECH. SCHEDULE FOR INFO.)
	THERMOSTAT
	AIR FLOWS
	UNDERCUT DOOR 3/4"

HVAC Design Conditions	
IN ACCORDANCE WITH INTERNATIONAL ENERGY CONSERVATION CODE, SECTION 302, THE HVAC SYSTEMS REPRESENTED HEREIN HAVE BEEN DESIGNED TO THE FOLLOWING CONDITIONS AND CRITERIA:	
EXTERIOR CONDITIONS (FRANKLIN, TN):	
WINTER DESIGN:	DRY-BULB 18°F
SUMMER DESIGN:	DRY-BULB 92°F / WET-BULB 75°F
DEGREE DAYS:	3542 HEATING / 1683 COOLING
CLIMATE ZONE:	4A
BUILDING INTERIOR ROOM TEMPERATURES:	
HEATING (MAXIMUM):	72°F
COOLING (MINIMUM):	75°F

MECHANICAL DRAWING NOTES

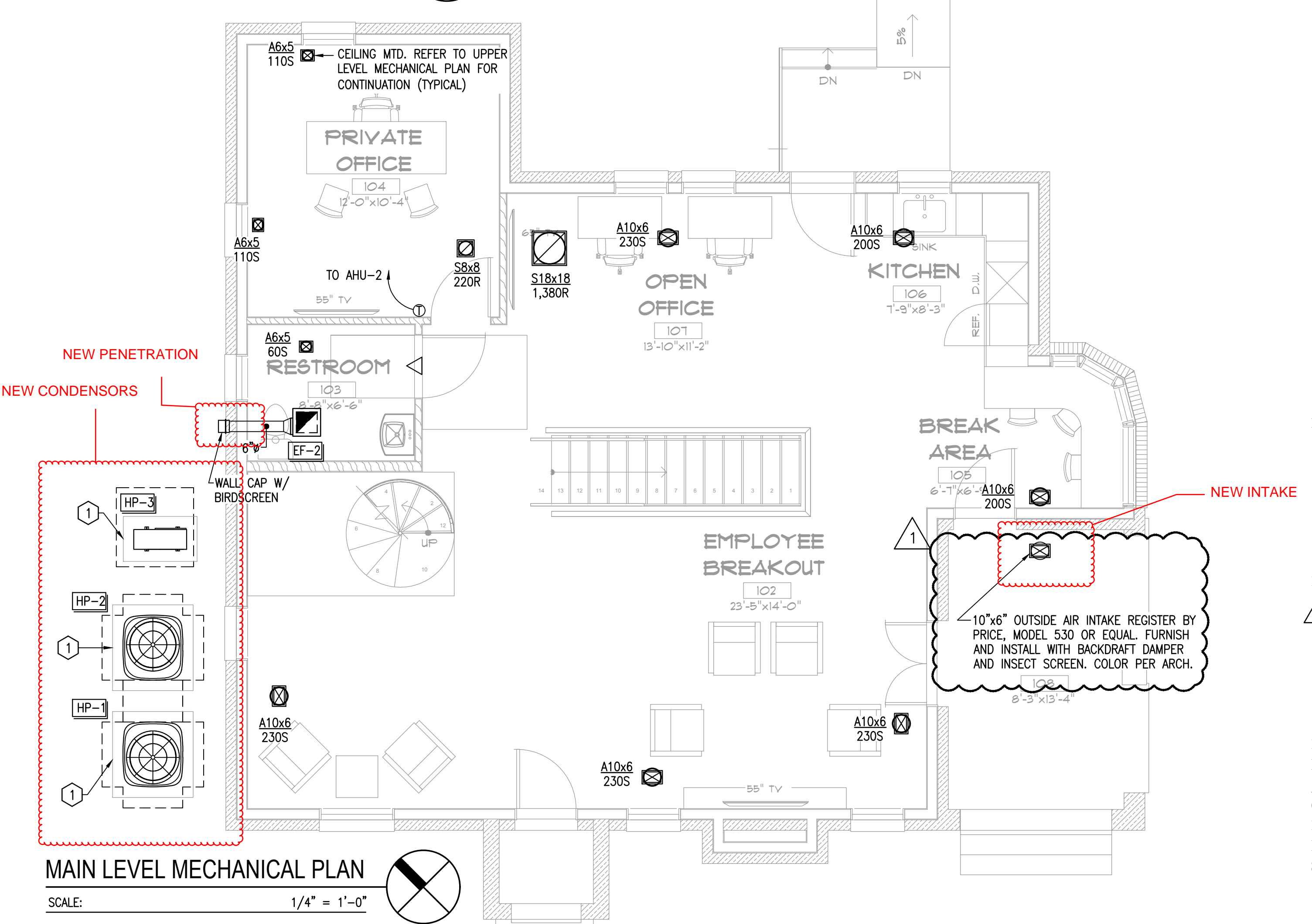
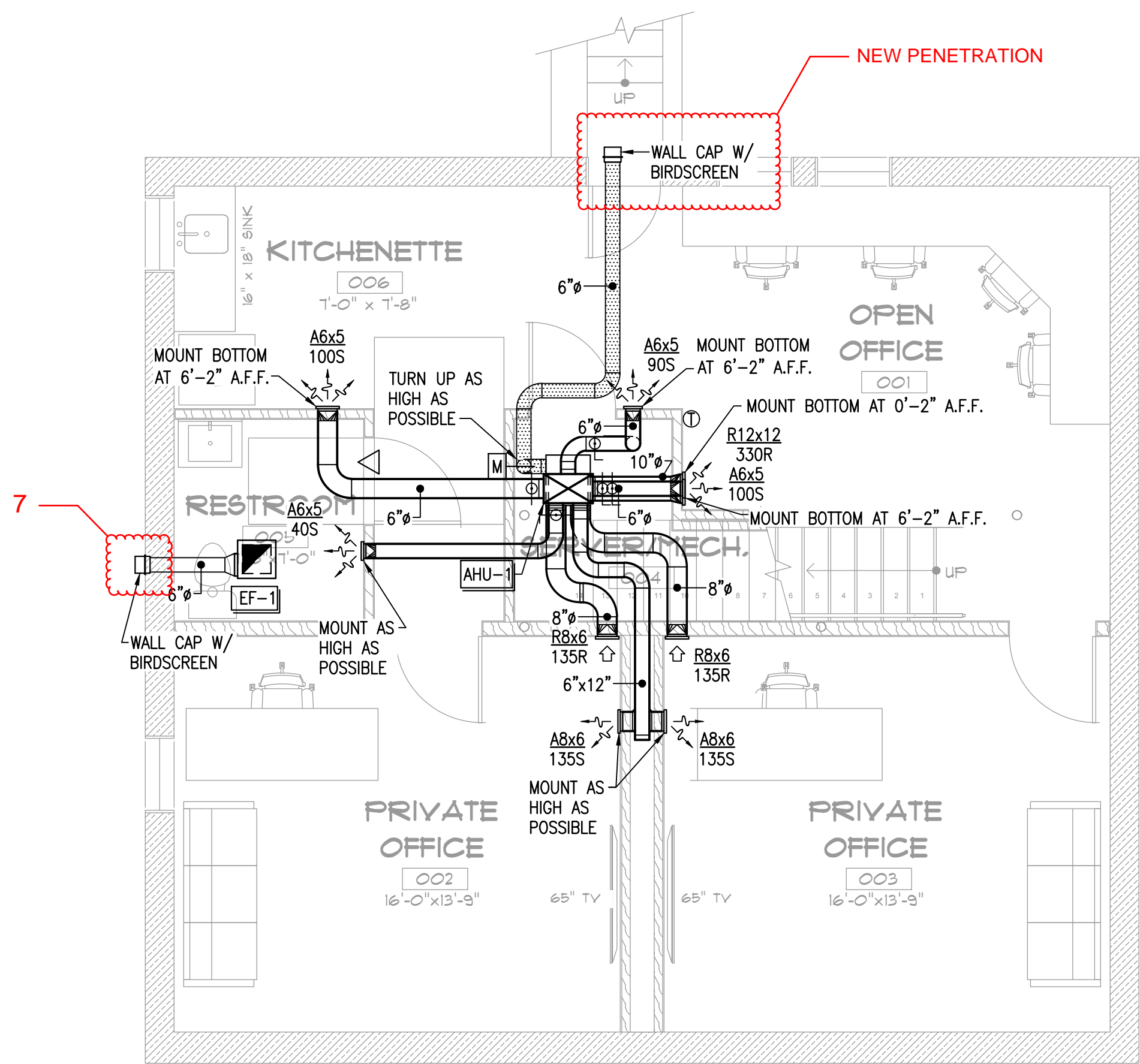
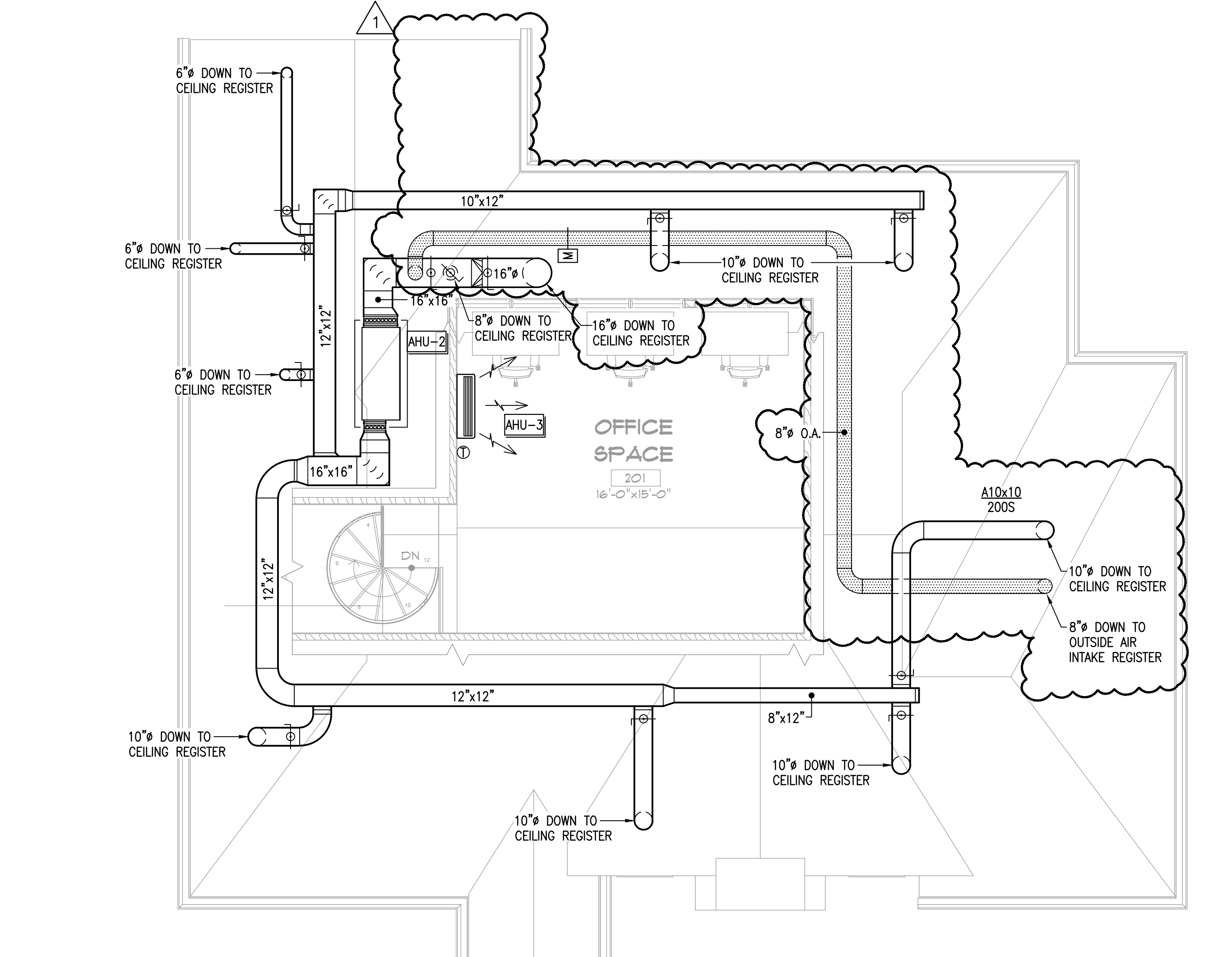
1 FURNISH AND INSTALL 4" REINFORCED CONCRETE PAD FOR HEAT PUMP CONDENSING UNITS. PAD SHALL EXTEND FROM BUILDING A MIN. OF 6" BEYOND UNIT ON ALL SIDES. MAINTAIN ALL MANUFACTURER RECOMMENDED OPERATION AND SERVICE CLEARANCES.

GENERAL NOTES

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL LABOR AND INSTALL ALL MATERIAL CALLED FOR IN THE CONTRACT DOCUMENTS PER LOCAL CODE REQUIREMENT AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- THE CONTRACTOR'S INSTALLATION SHALL INCLUDE ALL REQUIRED ROUGH-INS, DUCTWORK, PIPING OR ELECTRICAL WIRING INCLUDING DEVICES (GAGES, VALVES, DISCONNECTS, STARTERS, ETC.) NEEDED FOR ALL SYSTEMS TO BE COMPLETE AND FULLY OPERATIONAL WHETHER OR NOT SHOWN OR NOTED ON THE CONTRACT DOCUMENTS.
- THE CONTRACTOR'S BID SHALL INCLUDE ALL SUCH ITEMS REASONABLY INFERRED OR REQUIRED FOR COMPLETE SYSTEMS. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER PROMPTLY OF ANY CONFLICT BETWEEN BUILDING CODES AND/OR THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND THE CONTRACT DOCUMENTS.
- NO DEVIATIONS OR ADJUSTMENTS SHALL BE MADE TO THE CONTRACT DOCUMENTS WITHOUT COORDINATION AND THE APPROVAL OF THE DESIGN ENGINEER. ANY SUCH APPROVED DEVIATIONS OR ADJUSTMENTS TO THE CONTRACT DOCUMENTS SHALL BE MARKED ON A SET OF RECORD DRAWINGS BY THE CONTRACTOR. THE RECORD AS-BUILT DRAWINGS SHALL BE TURNED OVER TO THE DESIGN ENGINEER AT THE COMPLETION OF CONSTRUCTION.
- AIR DEVICE LISTED AIRFLOWS ARE APPLICABLE TO NIGHTTIME SET BACK MODE WITH O.A. DAMPER CLOSED, EXHAUST FANS OFF, AND 100% RETURN AIR.
- DRYER VENT SHALL BE 4" ROUND RIGID-METAL, GALVANIZED STEEL OR ALUMINUM, DUCT WITH SMOOTH INTERIOR FINISH, ROUTED TO DRYER/JACK MODEL DW4W DRYER WALL VENT. SCREENS SHALL NOT BE INSTALLED AT DUCT TERMINATION. DUCT SECTIONS SHALL JOIN WITH MALE/FEMALE CONNECTION. THE MALE END OF THE DUCT AT OVERLAPPED DUCT JOINTS SHALL EXTEND IN THE DIRECTION OF AIRFLOW. SECURE JOINTS WITH FOIL FACED TAPE. DUCTS SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT AIRFLOW. VENT PIPE SHALL TERMINATE INDOORS WITH A MINIMUM 3" LENGTH EXTENSION INTO ROOM FOR CONNECTION TO DRYER

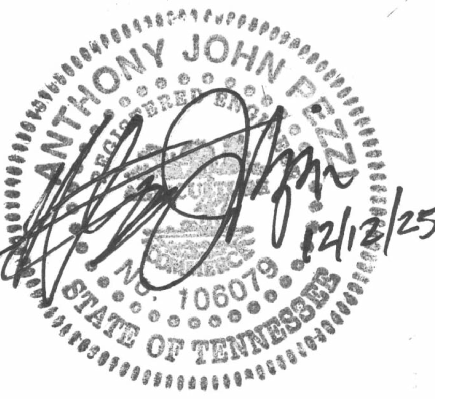
GENERAL DEMOLITION NOTE

- REMOVE ALL EXISTING PACKAGED UNITS, CONDENSING UNITS, AIR HANDLERS, UNIT HEATERS, FANS AND OTHER EQUIPMENT, NOT SHOWN AS BEING REUSED, AS REQUIRED FOR NEW EQUIPMENT INSTALLATION, ALONG WITH ALL ASSOCIATED MOUNTING HARDWARE AND ACCESSORIES. PATCH REMAINING WALL AND ROOF PENETRATIONS TO MATCH EXISTING. EXISTING EQUIPMENT AND DUCTWORK MAY BE ABANDONED IN PLACE PENDING APPROVAL OF OWNER AND LOCAL AUTHORITY HAVING JURISDICTION.



LOWER LEVEL MECHANICAL PLAN
 SCALE: 1/4" = 1'-0"

MAIN LEVEL MECHANICAL PLAN
 SCALE: 1/4" = 1'-0"



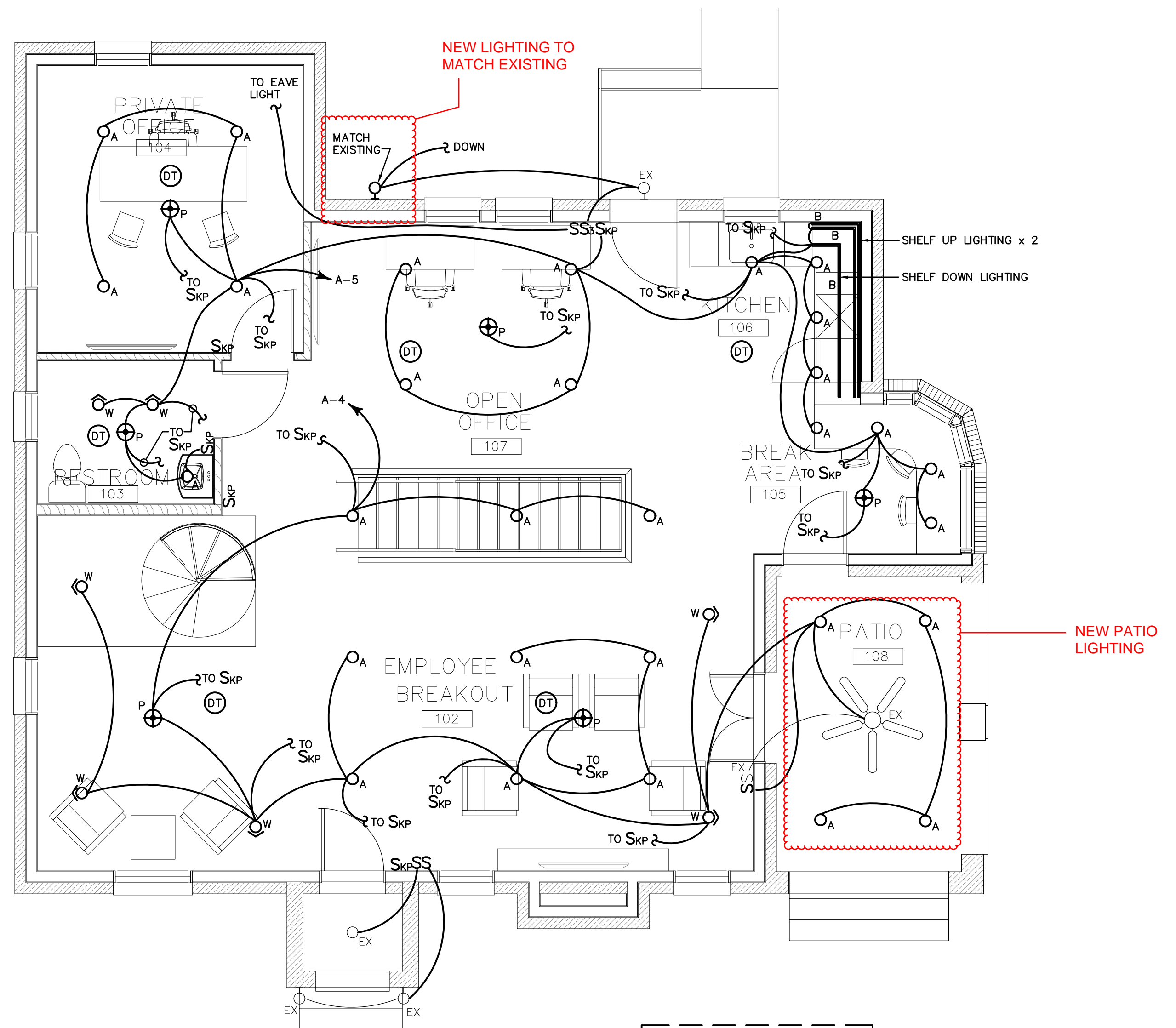
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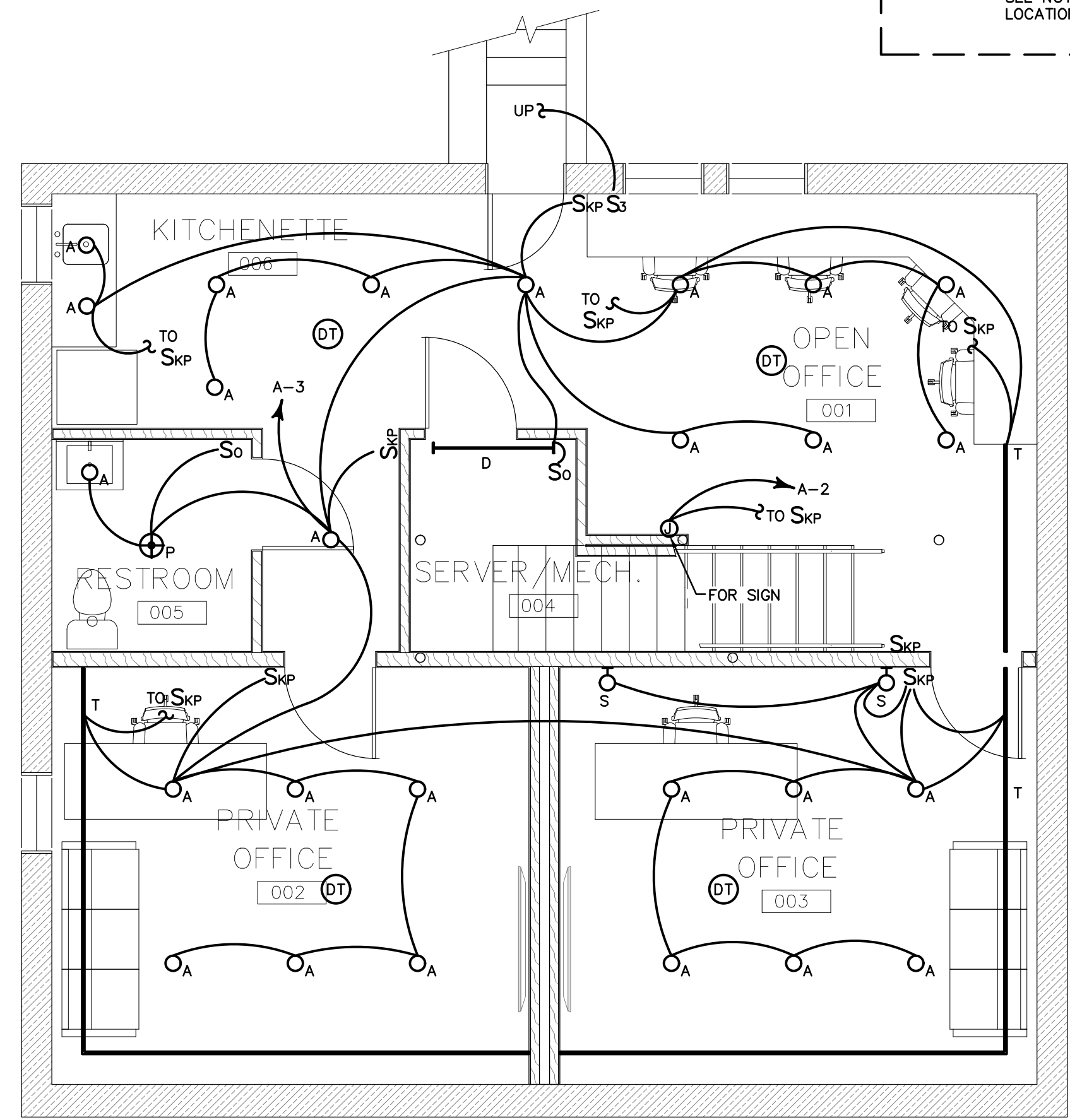
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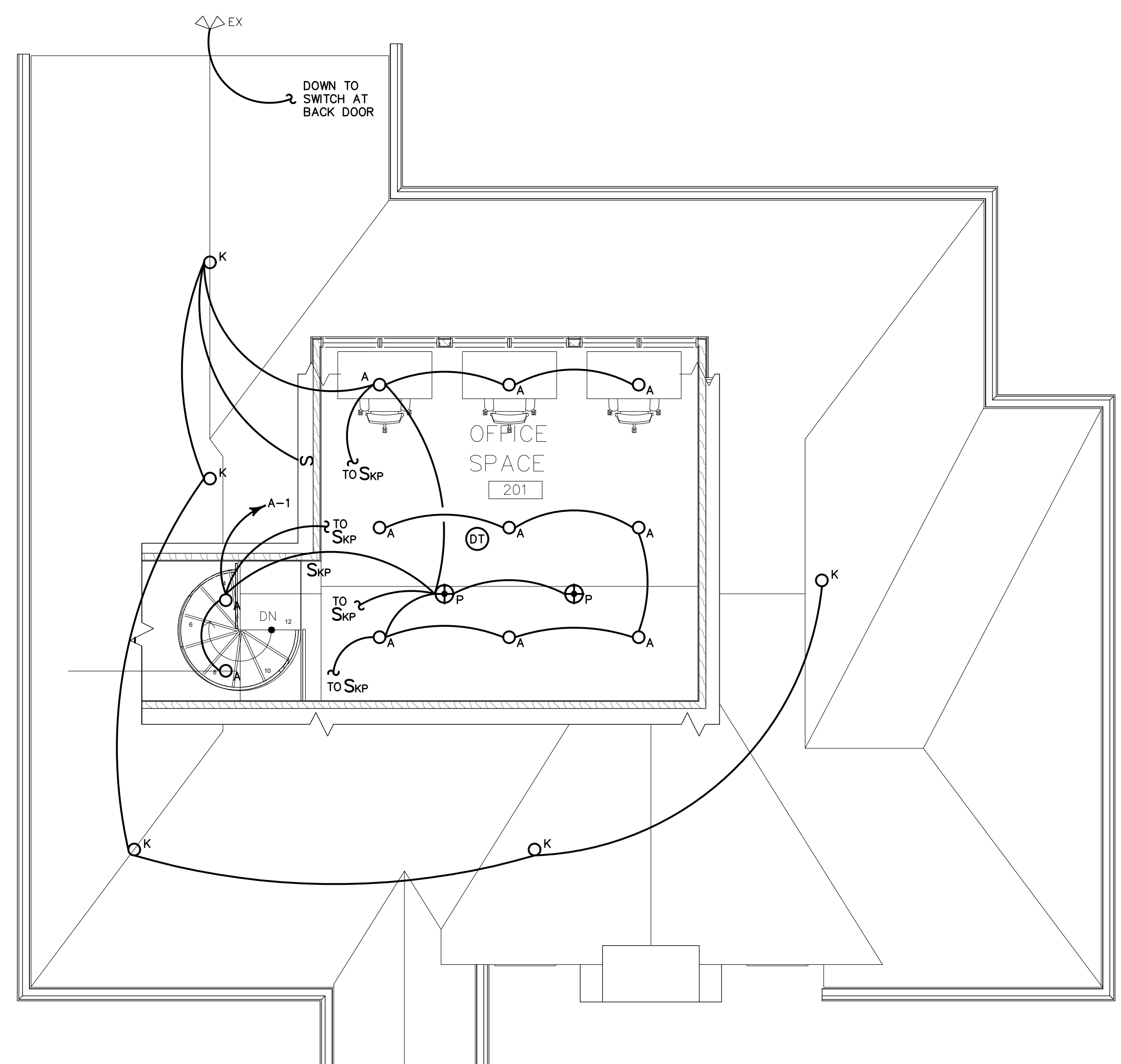


Main Floor Lighting Plan
 1/4"=1'-0"

(2) #12, #120, 1" C TO A-2 VIA TIME SWITCH. SEE NOTE 17. VERIFY LOCATION.



Lower Level Lighting Plan
 1/4"=1'-0"



Upper Level Lighting Plan
 1/4"=1'-0"



COMMUNICATIONS SYSTEMS NOTES

1. ALL DATA JACKS SHALL BE COLORED AND LABELED USING THE OWNERS NAMING CONVENTION. EACH WALL MOUNTED JACK SHALL TERMINATE AT A JACK IN THE PATCH PANEL LABELED THE SAME.
2. ALL TERMINATIONS SHALL BE ON AN INSULATION DISPLACEMENT CONNECTOR (IDC).
3. EACH FOUR-PAIR CABLE SHALL HAVE ALL PAIRS TERMINATED AT ALL LOCATIONS.
4. TERMINATION SHALL BE MADE PER TIA/EIA STANDARDS FOR CATEGORY 6 TERMINATIONS.
5. LEAVE 1 METER (3 FEET) OF SLACK AT EACH END OF ALL CABLES FOR FUTURE USE.
6. BEND RADIUS OF CABLE MUST BE NO LESS THAN FOUR TIMES (4X) THE CABLE'S OUTSIDE DIAMETER.
7. PULLING TENSION SHALL NOT EXCEED 25-LB ON A FOUR-PAIR, CABLE.
8. DO NOT CHAFE OR DAMAGE THE OUTER JACKET OF THE CABLE.
9. PROVIDE A CAT 6 COMPLIANT PATCH CORD FOR EACH JACK AT THE CROSS CONNECT, THE LENGTH SHALL BE SUFFICIENT TO REACH BETWEEN THE TWO FURTHEST JACKS.
10. EACH LINK SHALL BE TESTED FOR CATEGORY 6 COMPLIANCE AS DEFINED BY THE TIA STANDARDS. AFTER INSTALLATION OF ALL EQUIPMENT, AND AS REQUESTED BY THE OWNER, EACH CHANNEL SHALL BE TESTED FOR CATEGORY 6 COMPLIANCE. PROVIDE OWNER WITH COPY OF TESTING RESULTS.
11. THE TOTAL LENGTH OF EQUIPMENT CORDS AND PATCH CORDS CANNOT EXCEED 7 METERS (21 FEET), WITH NO INDIVIDUAL CORD BEING LONGER THAN 6 METERS (18 FEET).
12. ELECTRICAL CONTRACTOR WILL COORDINATE WITH OWNER AND OWNER'S PHONE SYSTEM, COMPUTER, AND SECURITY SYSTEM PROVIDER AND INSTALLER PRIOR TO WORK.
13. PROVIDE (2) CATEGORY 6 CABLES TO EACH DATA OUTLET AND (1) CATEGORY 6 CABLE TO EACH TV OUTLET. COORDINATE WITH OWNER FOR ADDITIONAL REQUIREMENTS.
14. DAISY CHAIN SURFACE MOUNTED DATA OUTLETS. DO NOT EXCEED RACEWAY FILL CAPACITY. 3/4" IS SUITABLE FOR (4) CATEGORY 6 CABLES. 1" IS SUITABLE FOR (7) CATEGORY 6 CABLES. VERIFY CAPACITY OF SURFACE MOUNTED RACEWAYS.

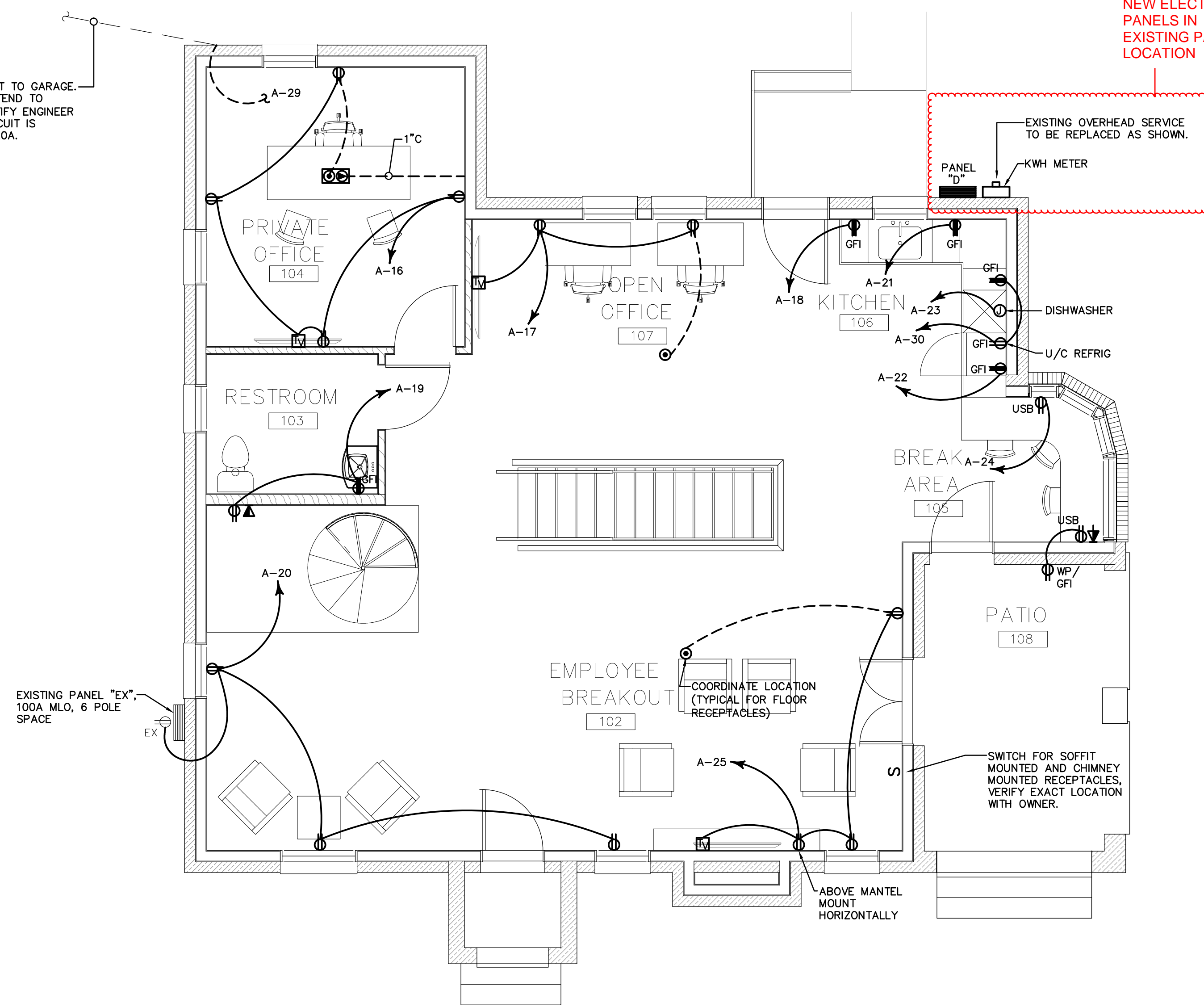
KEY NOTES:

1. PROVIDE RACEWAY FOR HDMI CABLE FROM DESK TO TV. COORDINATE WITH OWNER. PROVIDE SOUND PROOFING, SEE KEY NOTE 2.
2. SOUND PROOFING NOTE: DEVICE BOXES IN THIS WALL SHALL BE VAPOR/AIR-SEALED TYPE. LOCATE BACK TO BACK DEVICE BOXES AT LEAST 12" APART. INSTALL PUTTY PADS ON THESE BOXES, COVERING ALL OPENINGS. PROVIDE ROCK WOOL INSULATION IN STUD SPACE BEHIND DEVICE BOXES.

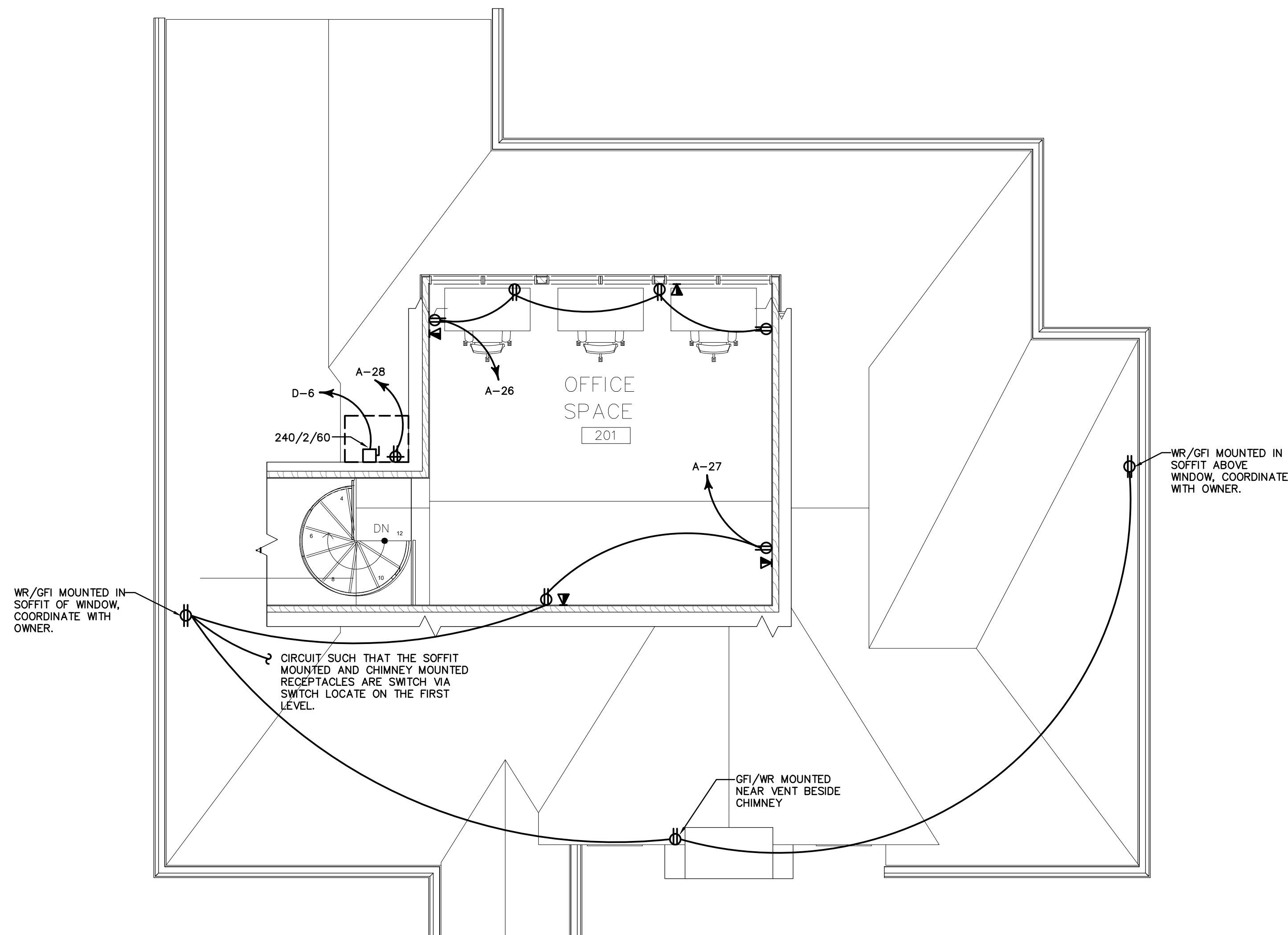
EXISTING CIRCUIT TO GARAGE. SPICE AND EXTEND TO PANEL "A". NOTIFY ENGINEER IF EXISTING CIRCUIT IS LARGER THAN 20A.

EXISTING PANEL "EX". 100A MLO, 6 POLE SPACE

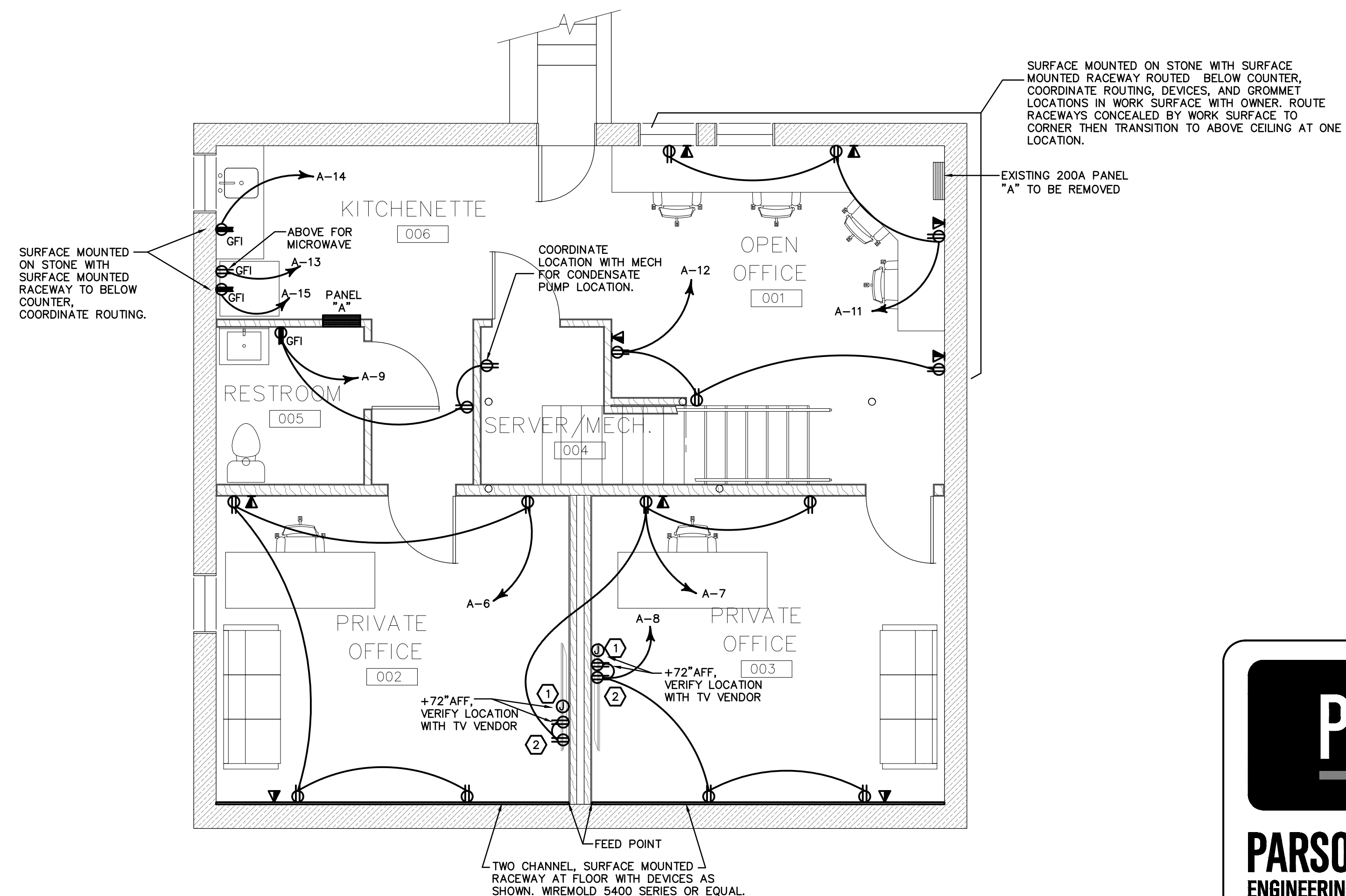
NEW ELECTRICAL PANELS IN EXISTING PANEL LOCATION



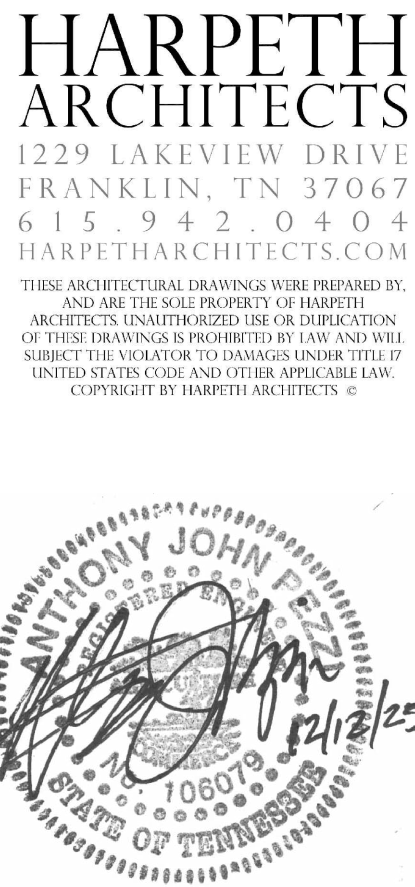
Main Floor Power Plan
1/4"=1'-0"



Upper Level Power Plan
1/4"=1'-0"



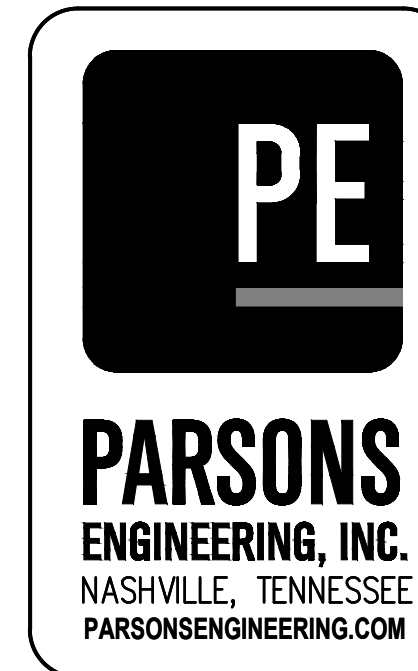
Lower Level Power Plan
1/4"=1'-0"



AN OFFICE REMODEL FOR:
TRINITY ACT HOLDINGS, LLC
234 4TH AVE. N.
FRANKLIN, TN 37064

DRAWING RELEASE LOG

REVISIONS:



DATE: December 12, 2025
JOB NO. 008025
DRAWN BY: LH
SHEET NO. **E2.0**

SITE INFORMATION

N/F: TWOFOUR LLC
234 4TH AVENUE NORTH
FRANKLIN, TENNESSEE 37064
APN: 078C A 02100 00009063N
20,182 ± SQUARE FEET, OR 0.463 ± ACRES

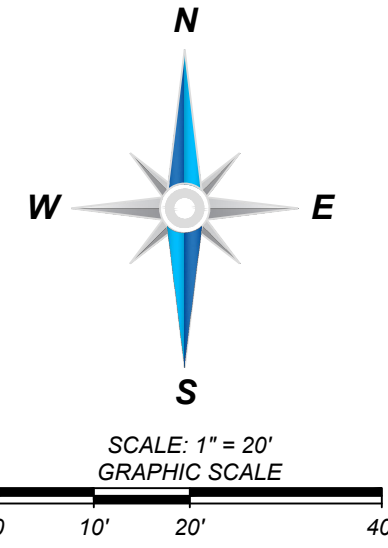
TITLE COMMITMENT INFORMATION

THE PROPERTY HEREON DESCRIBED IS THE SAME AS THE PERTINENT PROPERTY AS DESCRIBED IN CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO. 25-002715-524, DATED OCTOBER 10, 2025 AT 09:00 AM.

SCHEDULE A DESCRIPTION

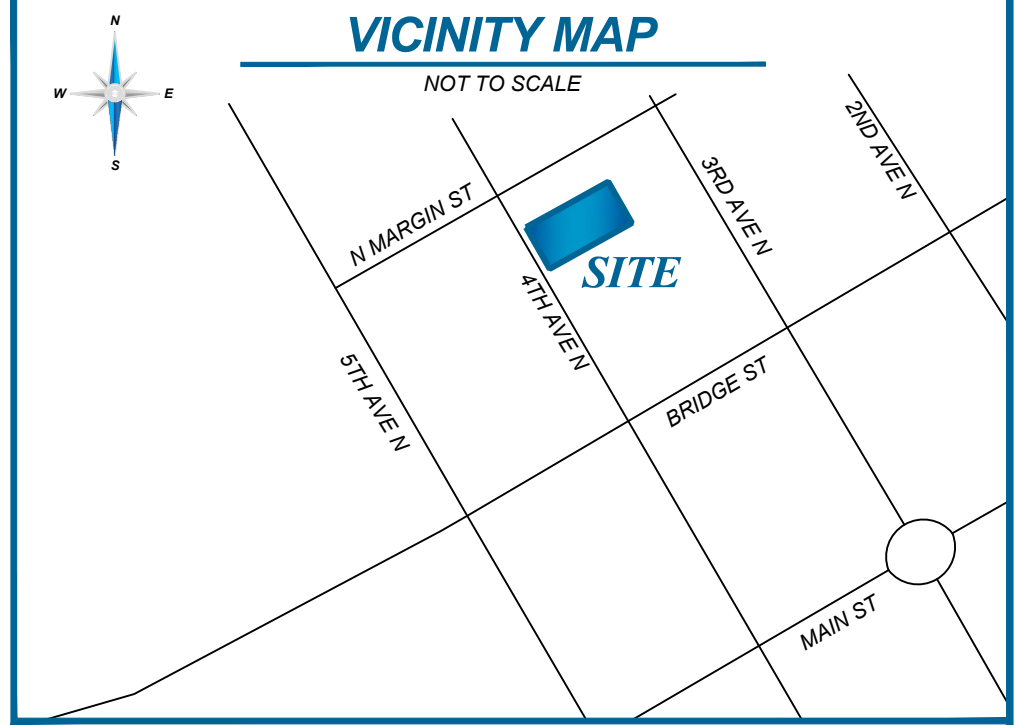
A TRACT OF LAND IN WILLIAMSON COUNTY, TENNESSEE, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON PIN SET ON THE EASTERLY RIGHT-OF-WAY OF FOURTH AVENUE NORTH (30-FEET FROM CENTERLINE) THAT IS SOUTHEASTERLY A DISTANCE OF 98.00 FEET FROM THE INTERSECTING RIGHT-OF-WAYS OF FOURTH AVENUE NORTH AND NORTH MARGIN STREET, SAID PIN BEING THE SOUTHWEST CORNER OF PARCEL 22 AS SHOWN ON WILLIAMSON COUNTY TAX MAP 78-C, GROUP A, AND THE NORTHWEST CORNER OF THE HEREIN DESCRIBED LAND; THENCE, LEAVING FOURTH AVENUE NORTH WITH THE SOUTHERLY BOUNDARY OF THE AFOREMENTIONED PARCEL 22, NORTH 54 DEGREES 40 MINUTES 35 SECONDS EAST, A DISTANCE OF 97.48 FEET TO AN IRON PIPE FOUND AT THE BASE OF A CHAIN LINK FENCE CORNER, SAID PIN BEING A COMMON CORNER TO THE BOYD RIDLEY HODGE PROPERTY AS OF RECORD IN BOOK 843, PAGE 477, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE; THENCE, WITH THE SOUTHERLY BOUNDARY OF THE HODGE PROPERTY, NORTH 54 DEGREES 31 MINUTES 11 SECONDS EAST, A DISTANCE OF 49.02 FEET TO AN IRON PIPE FOUND AT THE BASE OF A TWENTY-SIX INCH HACKBERRY TREE, SAID PIPE BEING A COMMON CORNER TO THE ROSEANNE COLEMAN PROPERTY AS OF RECORD IN BOOK 1536, PAGE 681, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE; THENCE, WITH THE NORTHERLY BOUNDARY OF THE COLEMAN PROPERTY, NORTH 54 DEGREES 31 MINUTES 33 SECONDS EAST, A DISTANCE OF 53.17 FEET TO AN IRON PIPE FOUND AT THE BASE OF AN OLD FENCE POST, SAID PIPE BEING A COMMON CORNER TO THE DORA E. POYNOR PROPERTY AS OF RECORD IN BOOK 1342, PAGE 203, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE; THENCE, WITH THE WESTERLY BOUNDARY OF THE POYNOR PROPERTY, SOUTH 36 DEGREES 04 MINUTES 48 SECONDS EAST, A DISTANCE OF 100.83 FEET TO AN IRON PIPE FOUND AT THE NORTHEAST CORNER OF THE HERITAGE CHASE CONDOS AS OF RECORD IN BOOK 837, PAGE 334, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE; THENCE, WITH THE NORTHERLY BOUNDARY OF THE HERITAGE CHASE CONDOS, SOUTH 54 DEGREES 24 MINUTES 20 SECONDS WEST, A DISTANCE OF 199.59 FEET TO A P.K. NAIL SET IN THE CITY SIDEWALK ON THE RIGHT-OF-WAY OF FOURTH AVENUE NORTH; THENCE, WITH THE RIGHT-OF-WAY OF FOURTH AVENUE NORTH, NORTH 36 DEGREES 07 MINUTES 11 SECONDS WEST, A DISTANCE OF 101.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.463 ACRE (20,181 SQUARE FEET) MORE OR LESS ACCORDING TO A SURVEY DATED JULY 25, 2003 AND PREPARED BY BILLY CARL TOMLIN & ASSOCIATES, R.L.S. NO. 383, 1931 LEWISBURG PIKE, FRANKLIN, TENNESSEE 37064; BEING PART OF THE SAME PROPERTY CONVEYED TO DAN H. PARSONS AND WIFE, CHARLENE K. PARSONS, A ONE-HALF (1/2) UNDIVIDED INTEREST EACH AS TENANTS IN COMMON BY WARRANTY DEED FROM STEVE SULLIVAN, DON R. CAMERON III, TIM L. CAMERON AND TIM L. CAMERON, TRUSTEE U/W TOMMIE SULLIVAN CAMERON, DECEASED, OF RECORD IN BOOK 2948, PAGE 445, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE, DATED AUGUST 04, 2003 AND RECORDED ON AUGUST 04, 2003; BEING THE SAME PROPERTY CONVEYED TO DAN H. PARSONS AND CHARLENE K. PARSONS, CO-TRUSTEES OF THE PARSONS COMMUNITY PROPERTY TRUST DATED DECEMBER 09, 2021 BY QUITCLAIM DEED FROM DAN H. PARSONS AND WIFE, CHARLENE K. PARSONS, INDIVIDUALLY AS EQUAL TENANTS IN COMMON OF RECORD IN BOOK 8840, PAGE 539, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE, DATED DECEMBER 09, 2021 AND RECORDED ON DECEMBER 10, 2021, AS CORRECTED BY AFFIDAVIT OF SCRIVER'S ERROR OF RECORD AT BOOK 8843, PAGE 617, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE; BEING THE SAME PROPERTY CONVEYED TO DAN H. PARSONS AND CHARLENE K. PARSONS, CO-TRUSTEES OF THE PARSONS COMMUNITY PROPERTY TRUST DATED DECEMBER 09, 2021 BY QUITCLAIM DEED FROM DAN H. PARSONS AND WIFE, CHARLENE K. PARSONS, INDIVIDUALLY AS EQUAL TENANTS IN COMMON OF RECORD IN BOOK 8849, PAGE 627, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE, DATED DECEMBER 16, 2021 AND RECORDED ON DECEMBER 17, 2021, SAID DEED IS INTENDED TO CONFIRM AND CLARIFY THE PRIOR CONVEYANCE; BEING THE SAME PROPERTY CONVEYED TO TWOFOUR LLC, A WYOMING LIMITED LIABILITY COMPANY BY SPECIAL WARRANTY DEED FROM DAN H. PARSONS, TRUSTEE OF PARSONS COMMUNITY PROPERTY TRUST OF RECORD IN BOOK 9609, PAGE 508, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE, DATED NOVEMBER 18, 2024 AND RECORDED ON NOVEMBER 18, 2024.



ALTA/NSPS LAND TITLE SURVEY

234 4TH AVENUE NORTH
FRANKLIN, WILLIAMSON COUNTY, TENNESSEE 37064



GENERAL NOTES

- 1. SOME FEATURES SHOWN ON THIS PLAT MAY BE SHOWN OUT OF SCALE FOR CLARITY.
- 2. DIMENSIONS ON THIS PLAT ARE EXPRESSED IN FEET AND DECIMAL PARTS THEREOF UNLESS OTHERWISE NOTED. MONUMENTS WERE FOUND AT POINTS WHERE INDICATED.
- 3. IN REGARD TO ALTA/NSPS TABLE ITEM 16, THERE WAS NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS.
- 4. IN REGARD TO ALTA/NSPS TABLE ITEM 17, THERE WERE NO KNOWN PROPOSED CHANGES IN RIGHT OF WAY LINES, RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- 5. AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
- 6. AT THE TIME OF THE ALTA/NSPS SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITE USE AS A CEMETERY, ISOLATED GRAVE SITE OR BURIAL GROUNDS.
- 7. COMPLETED FIELD WORK WAS NOVEMBER 4, 2025.
- 8. THE DISTANCES SHOWN HEREON ARE UNITS OF GROUND MEASUREMENT.
- 9. THE NEAREST INTERSECTING STREET IS THE INTERSECTION OF 4TH AVENUE NORTH AND NORTH MARGIN STREET, WHICH IS APPROXIMATELY 98' FROM THE NORTHWEST CORNER OF THE SUBJECT PROPERTY.
- 10. THE SUBJECT PROPERTY HAS DIRECT PHYSICAL ACCESS TO 4TH AVENUE NORTH, BEING A PUBLICLY DEDICATED RIGHT-OF-WAY.
- 11. NO SURVEYOR OR ANY OTHER PERSON OTHER THAN A LICENSED TENNESSEE ATTORNEY MAY PROVIDE LEGAL ADVICE CONCERNING THE STATUS OF TITLE TO THE PROPERTY DESCRIBED IN THIS SURVEY (THE SUBJECT PROPERTY), THE PURPOSE OF THIS SURVEY, AND THE COMMENTS RELATED TO THE SCHEDULE B-II EXCEPTIONS. IS ONLY TO SHOW THE LOCATION OF BOUNDARIES AND PHYSICAL OBSTRUCTIONS IN RELATION THERETO. TO THE EXTENT THAT THE SURVEY INDICATES THAT THE LEGAL INSTRUMENT "AFFECTS" THE SUBJECT PROPERTY, SUCH STATEMENT IS ONLY INTENDED TO INDICATE THAT PROPERTY BOUNDARIES INCLUDED IN SUCH INSTRUMENT INCLUDE SOME OR ALL OF THE SUBJECT PROPERTY. THE SURVEYOR DOES NOT PURPORT TO DESCRIBE HOW SUCH INSTRUMENT AFFECTS THE SUBJECT PROPERTY OR THE ENFORCEABILITY OR LEGAL CONSEQUENCES OF SUCH INSTRUMENT.
- 12. NAMES AND ADDRESSES OF ADJOINING PROPERTY OWNERS WERE TAKEN FROM WILLIAMSON COUNTY GIS.
- 13. THE SUBJECT PROPERTY SHOWN HEREON FORMS A MATHEMATICALLY CLOSED FIGURE AND IS CONTIGUOUS WITH THE ADJOINING PUBLIC RIGHT-OF-WAY AND/OR ADJOINING PARCELS WITH NO GAPS OR OVERLAPS.
- 14. IN REGARD TO ALTA/NSPS TABLE ITEM 10, NO VISIBLE DIVISION OR PARTY WALLS WITH RESPECT TO ADJOINING PROPERTIES WERE OBSERVED AT THE TIME THE FIELD SURVEY WAS PERFORMED, NOR WERE ANY DESIGNATED BY THE CLIENT.
- 15. BOUNDARY AND LOCATION IMPROVEMENTS ON THIS SURVEY WERE PERFORMED USING GPS EQUIPMENT. GPS EQUIPMENT USED: CARLSON BRX7 DUAL FREQUENCY BASE AND ROVER USING REAL TIME KINEMATIC (RTK) METHODS. LOCATIONS GENERATED USING RTK VECTORS HAD A ROOT MEAN SQUARE (RMS) OF NO MORE THAN 0.06 HORIZONTAL. GEOID = 18. COMBINED SCALE FACTOR (GRID TO GROUND) = 1.00008072131832.

NOTES CORRESPONDING TO SCHEDULE B

ALL SCHEDULE B ITEMS LISTED WITHIN ARE STANDARD TITLE EXCEPTIONS AND/OR ARE NOT MATTERS THAT PERTAIN TO THIS SURVEY.

PARKING INFORMATION

NO STRIPED PARKING OBSERVED AT THE TIME OF SURVEY.

FLOOD ZONE INFORMATION

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS PARTIALLY IN ZONE "X-SHADED" AND "AE" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47190211H, WHICH BEARS AN EFFECTIVE DATE OF 12/20/2024 AND IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA.

ZONE "X-SHADED" - AREA OF MODERATE FLOOD HAZARD, USUALLY THE AREA BETWEEN THE LIMITS OF THE 100-YEAR AND 500-YEAR FLOODS.

ZONE "AE" - THE BASE FLOODPLAIN WHERE BASE FLOOD ELEVATIONS ARE PROVIDED. "AE" ZONES ARE NOW USED ON NEW FORMAT FIRMS INSTEAD OF A1-A30 ZONES.

BASIS OF BEARING

THE BASIS OF BEARING OF THIS SURVEY IS GRID NORTH BASED ON THE SOUTHEAST LINE OF THE SUBJECT PROPERTY. THE BEARING IS DENOTED AS S 60°50'41" W PER GPS COORDINATE OBSERVATIONS TENNESSEE STATE PLANE, SINGLE ZONE NAD83. LATITUDE = 35°58'38.2423" LONGITUDE = -86°52'19.6188" CONVERGENCE ANGLE = 00°30'38.0576"

SIGNIFICANT OBSERVATIONS

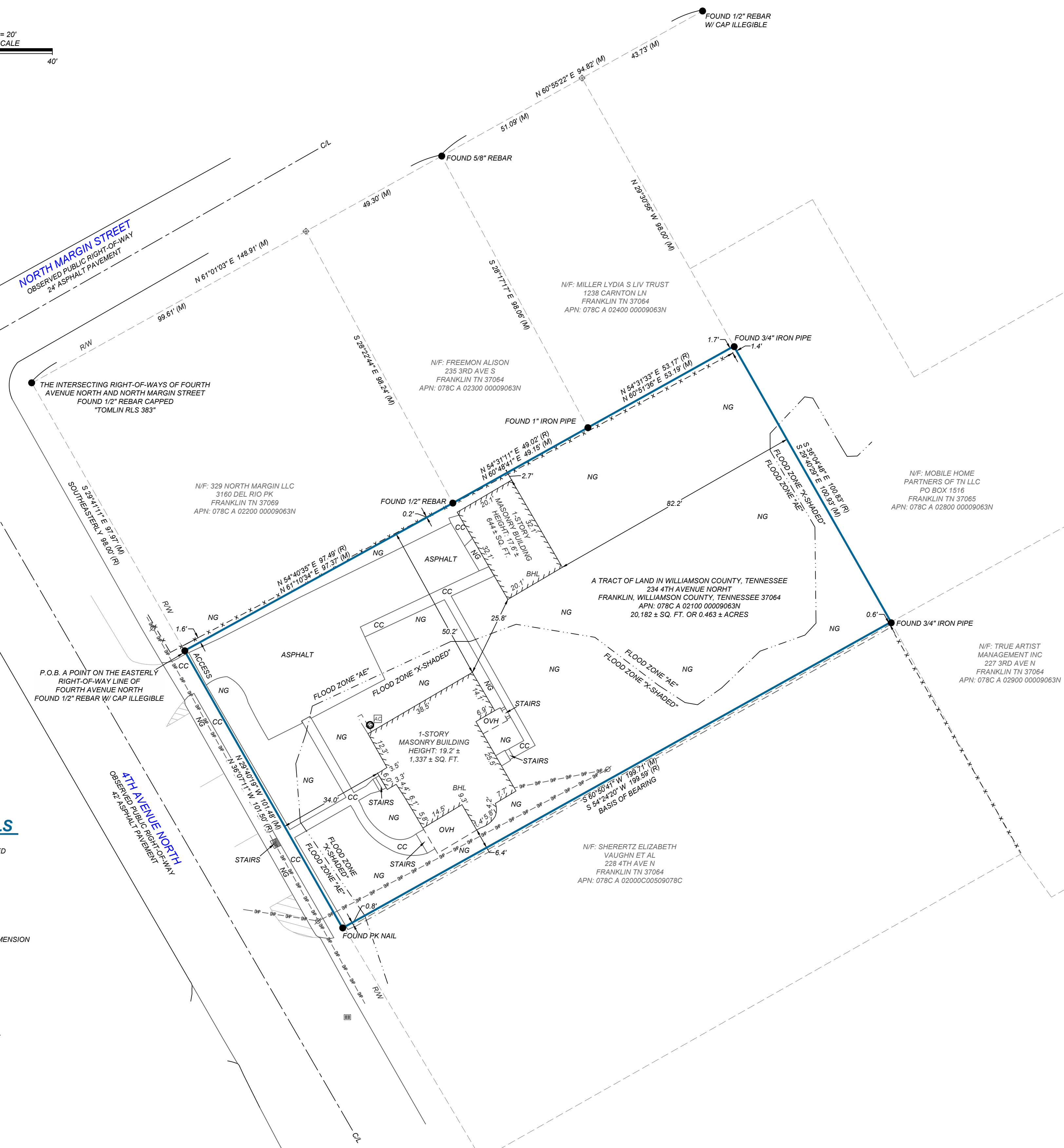
NONE OBSERVED AT THE TIME OF THE ALTA/NSPS SURVEY.

UTILITY INFORMATION

THE LOCATION OF UTILITIES SHOWN HEREON ARE FROM OBSERVED EVIDENCE OF ABOVE GROUND APPURTENANCES ONLY. THE SURVEYOR WAS NOT PROVIDED WITH UNDERGROUND PLANS OR SURFACE GROUND MARKINGS TO DETERMINE THE LOCATION OF ANY SUBTERRANEAN USES.

LEGEND & SYMBOLS

- FOUND MONUMENT AS NOTED
- COMPUTED POINT
- ⊗ POWER POLE
- ⊘ DRAIN GRATE
- ⊙ GAS METER
- ⊚ HYAC UNIT
- ⊛ OVERHANG
- CC CONCRETE
- NG NATURAL GROUND
- (M) MEASURED/CALCULATED DIMENSION
- (R) RECORD DIMENSION
- N/F NOW OR FORMERLY
- BHL BUILDING HEIGHT LOCATION
- P.O.B. POINT OF BEGINNING
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- x-x-x- FENCE LINE
- OVERHEAD POWER LINE
- UNDERGROUND WATER LINE
- FLOOD ZONE LIMIT LINE
- NO PARKING AREA



TYLER REID GOODWIN
REGISTERED LAND SURVEYOR #318
STATE OF TENNESSEE



3825 N. SHILOH DRIVE - FAYETTEVILLE, AR 72703
EMAIL: SURVEY@BLEWINC.COM
OFFICE: 479.443.4506 FAX: 479.582.1883
WWW.BLEWINC.COM

DATE	REVISION HISTORY	BY
11/10/2025	CERT UPDATE	BLR
SURVEYOR JOB NUMBER: 25-9708		SURVEY DRAWN BY: CAC - 11/05/2025
SURVEY REVIEWED BY: JL		SHEET: 1 OF 1
SURVEY PREPARED FOR: EVOLVE STUDIOS		



AN OFFICE REMODEL FOR

Trinity Act Holdings, LLC

REQUEST FOR COA

Project Description

The project consists of the adaptive reuse and modest expansion of an existing 1947 two-story masonry residence located within the City of Franklin Historic Preservation Overlay District. The building will have commercial use as a professional office for film production/post-production (Group B occupancy). We are also exploring the potential of leveling the non contributing accessory building that is currently located within the set back and flood plane but do not plan to move forward with that request at this time as we are still considering suggestions from the DRC meeting. This project respectfully transforms a mid-century contributing structure into a vibrant creative office while protecting the historic character and streetscape that make downtown Franklin unique. All upgrades to comply with Franklin's Historic Guidelines. All proposed exterior alterations are confined to the rear and side elevations in order to preserve the historic 4th Avenue North street-facing façade unchanged. All alterations are required by building codes for a Change of Occupancy from Residential to Business. The only voluntary alteration to the exterior is the addition of the rear dormer serving the new upper office space. The following also incorporates notes from the latest DRC meeting.

Alterations Requesting COA

1 - Accessible Entry

Widening door to 36", raising door opening to finish floor level and adding accessible deck and route to meet accessible entry code requirements. (The request to raise door to finished floor height was recently approved).

2 - New Rear Dormer

New rear dormer being proposed with 2 1/2" metal roof slope. (3) Double Casement Windows with Cyprus sill and trim painted white to match house

3 - New Accessible Parking Spot in Existing Parking Lot

Required due to change of occupancy from accessible parking to accessible entry

4 - New Site Accessible Route

Provided from accessible parking spot to rear accessible entry as required by code

5 - 3 New Condensers and Screening

Three new condensers at existing condenser location using existing rubble stone screen wall and adding additional wood screening to screen from side views

6 - New Mechanical Penetrations

7 - New Exterior Lighting

8 - Replacement of Existing Electrical Panels



Accessible Entry

Description

Widening door to 36", raising door opening to finish floor level and adding accessible deck and route to meet accessible entry code requirements. (The request to raise door to finished floor height was recently approved).

Materials

Door must be widened to 36" from 32" to meet building codes for an accessible entry. The new door will match the character and style of the existing door. A landing must also be provided in front of the door to replace the existing concrete landing and steps. The landing would slope down at 5% slope down to the concrete sidewalk to meet accessibility code for an accessible route. The landing and steps are proposed to be constructed of Cyprus with a Walnut Stain. A wood of guardrail of the same stain is proposed on the right side because the drop to the grade below is greater than 30" per building codes. The design is intended to be as minimal as possible while complying with accessibility codes.

Proposed Design



Existing Condition





New Rear Dormer

Description

New rear dormer being proposed with 2 1/2" metal roof slope. (3) Double Casement Windows with Cyprus sill and trim painted white to match house. We were advised in the DRC to go with a 2 1/2" standing seam metal roof slope to lower the dormer below the ridge. The dormer is proposed to have three sets of casement windows.

Materials

The dormer roof is to be standing seam metal with Cyprus trim and sills painted white. White painted wood lap siding with 5" exposure is proposed for the wall siding.

Proposed Design



Existing Condition





New Accessible Route

Description

The change of occupancy requires an accessible route to be provided from the new accessible parking to the new rear accessible entry. It is designed to be achieved primarily through subtle regrading of the site to maintain a 5% or less slope per accessible building codes, and to avoid any regrading in the nearby flood plain.

Materials

The path is proposed to be a concrete sidewalk.

Proposed Design



Existing Condition





New Condensers & Screening

Description

Three new condensers are proposed to replace existing single condenser at existing location using existing rubble stone screen wall and adding additional wood screening to screen from side views

Materials

The additional screening is proposed to be achieved with a new opaque Cyprus wood screen with a Walnut stain. The new screen is to be constructed 4x4 posts and 2x4 horizontal boards with no gaps, so it is fully opaque.

Proposed Design



Existing Condition





Minor Alterations

*Mechanical
Penetrations*

See Plans in following sheets

*Exterior
Lighting*

See Plans in following sheets

*Replacing
Electrical
Panels*

See Plans in following sheets



Renderings





Renderings



234 4TH AVE NORTH

SUBJECT PHOTOS



AN OFFICE REMODEL FOR:
TRINITY ACT HOLDINGS, LLC
234 4TH AVE. N.
FRANKLIN, TN 37064

STREET VIEWS



VIEW FROM 4TH AVE



VIEW FROM 4TH AVE



VIEW FROM 4TH AVE



VIEW FROM MARGIN ST



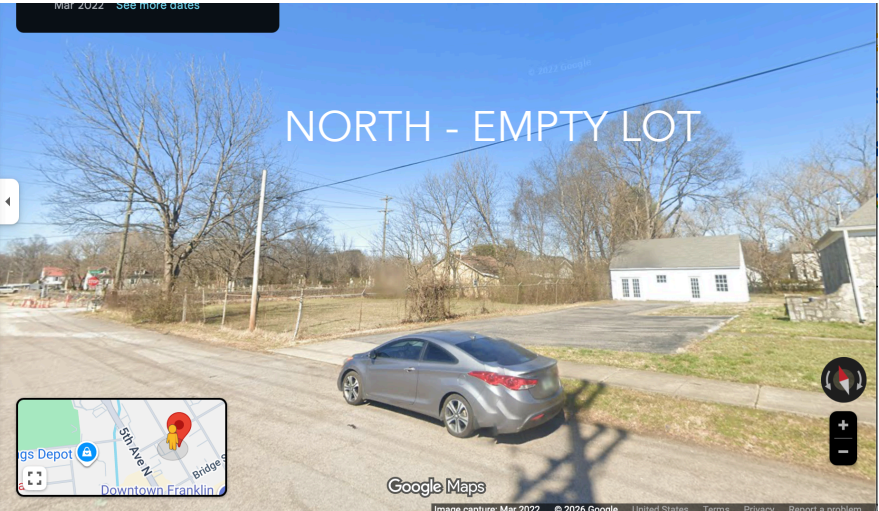
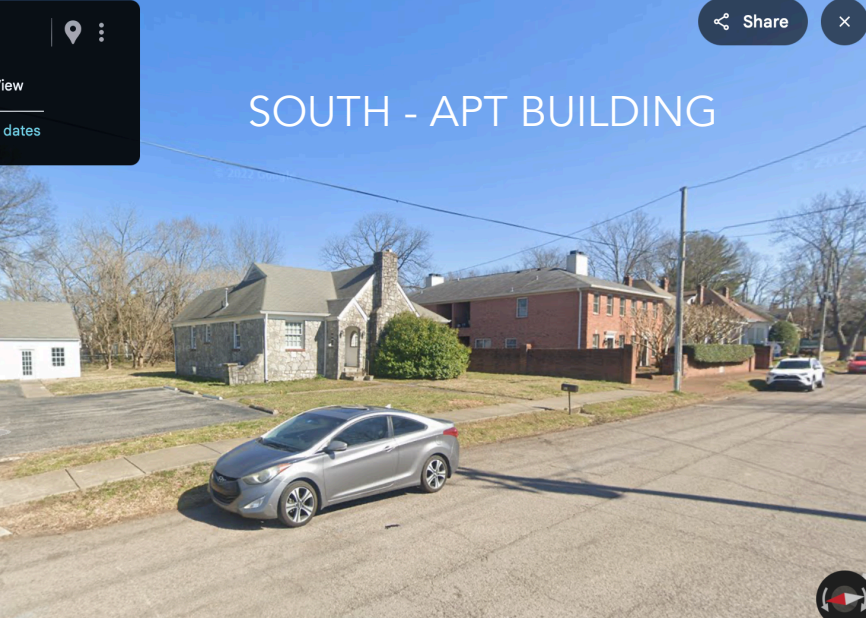
VIEW FROM MARGIN ST



VIEW FROM MARGIN ST

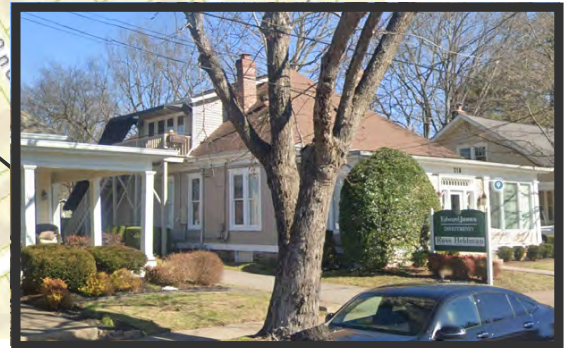
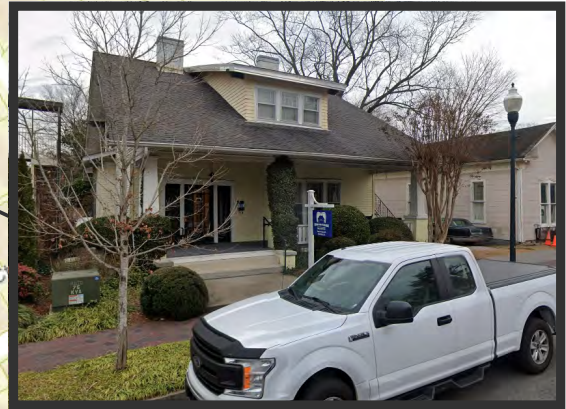
AN OFFICE REMODEL FOR:
TRINITY ACT HOLDINGS, LLC
234 4TH AVE. N.
FRANKLIN, TN 37064

NEIGHBORS



AN OFFICE REMODEL FOR:
TRINITY ACT HOLDINGS, LLC
234 4TH AVE N.
FRANKLIN, TN 37064

DORMER COMPS



AN OFFICE REMODEL FOR:
TRINITY ACT HOLDINGS, LLC
234 4TH AVE N.
FRANKLIN, TN 37064

EXISTING AC SCREENING



AN OFFICE REMODEL FOR:
TRINITY ACT HOLDINGS, LLC
234 4TH AVE. N.
FRANKLIN, TN 37064

REAR ELEVATION - ADA RAMP & ENTRANCE



AN OFFICE REMODEL FOR:
TRINITY ACT HOLDINGS, LLC
234 4TH AVE. N.
FRANKLIN, TN 37064



PROPOSED LOCATION FOR
ACCESSIBLE PARKING SPOT

AN OFFICE REMODEL FOR:
TRINITY ACT HOLDINGS, LLC
234 4TH AVE N.
FRANKLIN, TN 37064



File #: 26-0135

DATE: 2/9/2026
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration of Alterations (Principal Building) At 1010 Fair St.; Amanda McCreary, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning alterations to the principal building at 1010 Fair Street.

APPLICABLE DESIGN GUIDELINES:
2022 Historic District Guidelines:
Chapter 2: Historic Residential Buildings

PROJECT INFORMATION:
COF Project Number: 9034
Applicant: Chisel Workshop, Amanda McCreary, Rep.
Owner: Simpson Roseanne Liv Trust

BACKGROUND:
The property at 1010 Fair Street is located in the Hincheyville National Register Historic District. The NRHP listing notes the building as a contributing circa 1920s 1.5-story bungalow. The application was discussed at the January Design Review meeting and feedback has been incorporated within the application. The proposal includes the following:

- Infilling the side porch on the left elevation,
- Constructing a dormer on the left elevation,
- Alterations to the rear of the building, and
- Altering the attached "garden shed" addition on the rear.

Side Porch Infilling

On the left elevation, there is an existing porch that is proposed to be partially infilled. The existing side door on the porch will maintain the inset of the covered porch. The infill appears to match the lap siding reveal and the existing material, and will align the two new wood double-hung windows with the window on the building. The Guidelines recommend:

- Use lap, weatherboard, or clapboard siding for frame additions.

- Design new windows to be compatible with the size, detailing, placement, rhythm, and relationship of solids to voids of those on the historic building.
- Use windows with historic profiles and dimensions with a double-hung appearance.
- Design windows to match the historic materials found on the building, but composite materials that have the appearance of wood are appropriate for windows, stops, jambs, and trim.

The proposed porch infilling aligns with the Guidelines.

Dormer Construction

On the left elevation, above the proposed infilled porch, a new dormer is proposed. The dormer is proposed to have a shed roof, a double-hung window, and detailing similar to that on the building. The Guidelines recommend:

- Place dormers on additions in locations with obscured visibility from the front facade or street.
- Appropriately size and locate dormers on the addition. Dormers should be designed to be similar yet subordinate in detailing, scale, width, and massing to dormers on the historic building.
- Relate the style, scale, and proportion of dormer windows to windows on lower floors.
- Dormer roof pitch should be at least 3:12 and no less than half the main roof pitch
- Dormer should be located below the main ridge of the addition.
- Dormer should be recessed at least 1 foot from the exterior building wall.
- Dormer sidewalls should be at least 30 inches from the exterior building wall.

As proposed, the dormer aligns with the Guidelines.

Rear Building Alterations

On the rear of the building, it is proposed to remove the non-historic windows and replace them with French doors and with what appears to be a Dutch-style door. The Guidelines recommend:

- Design doors and doorways to an addition to read as secondary in appearance and detailing to the historic building.
- Use traditional materials with appearances similar to the doors on the historic building.

While the use of this design of French doors received mixed feedback at the DRC meeting, the design of the doors does relate to the design of the other doors on the building and appears to align with the Guidelines.

Garden Shed Roof Alteration

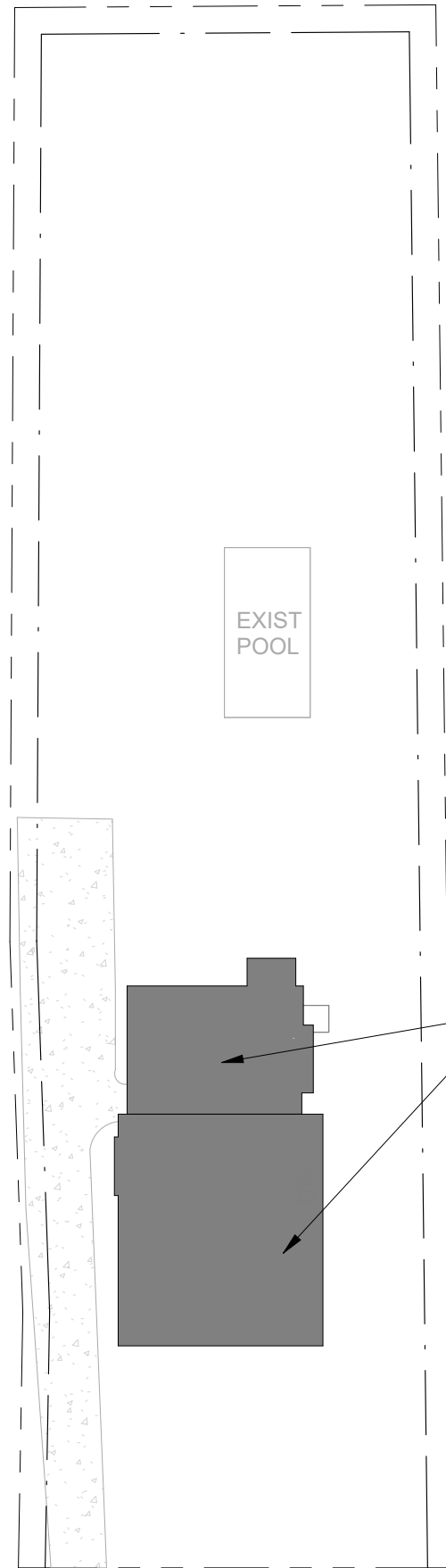
It is proposed to alter the roof shape of the 2010 garden shed addition on the rear of the building. The existing roof shape is pyramidal, and it will be altered to an open gable. The Guidelines recommend designing roof shapes, pitch, and level of complexity to be similar to but subordinate to the historic building. The proposed roof change aligns with the Guidelines.

RECOMMENDATION:

Staff recommends approval of the proposal with the following conditions:

1. The windows must have a historic profile and dimension and consist of either wood or a composite material with the appearance of wood. The window and door specifications must be approved by the Preservation Planner or the HZC prior to issuance of a building permit.

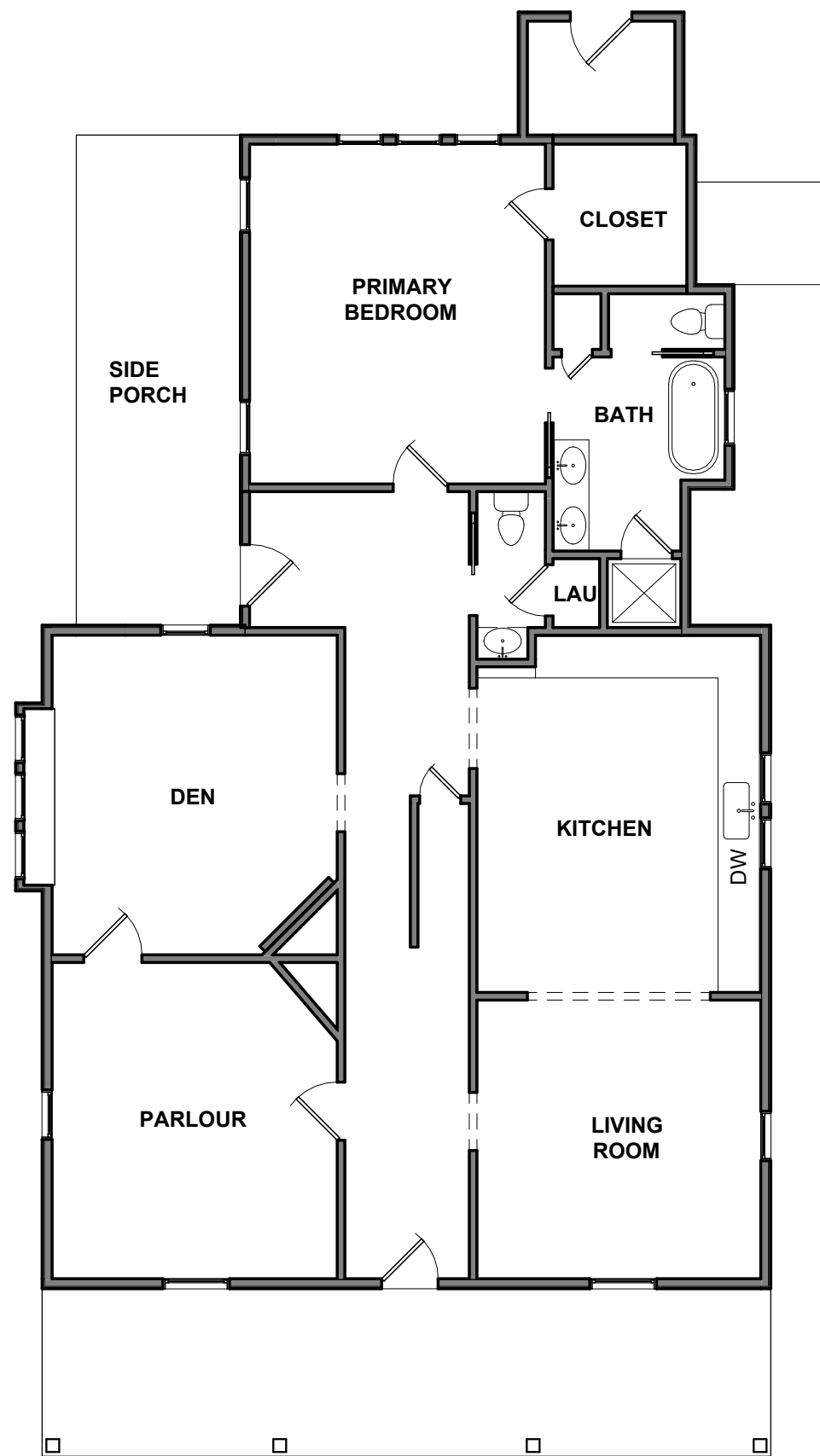
2. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
3. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



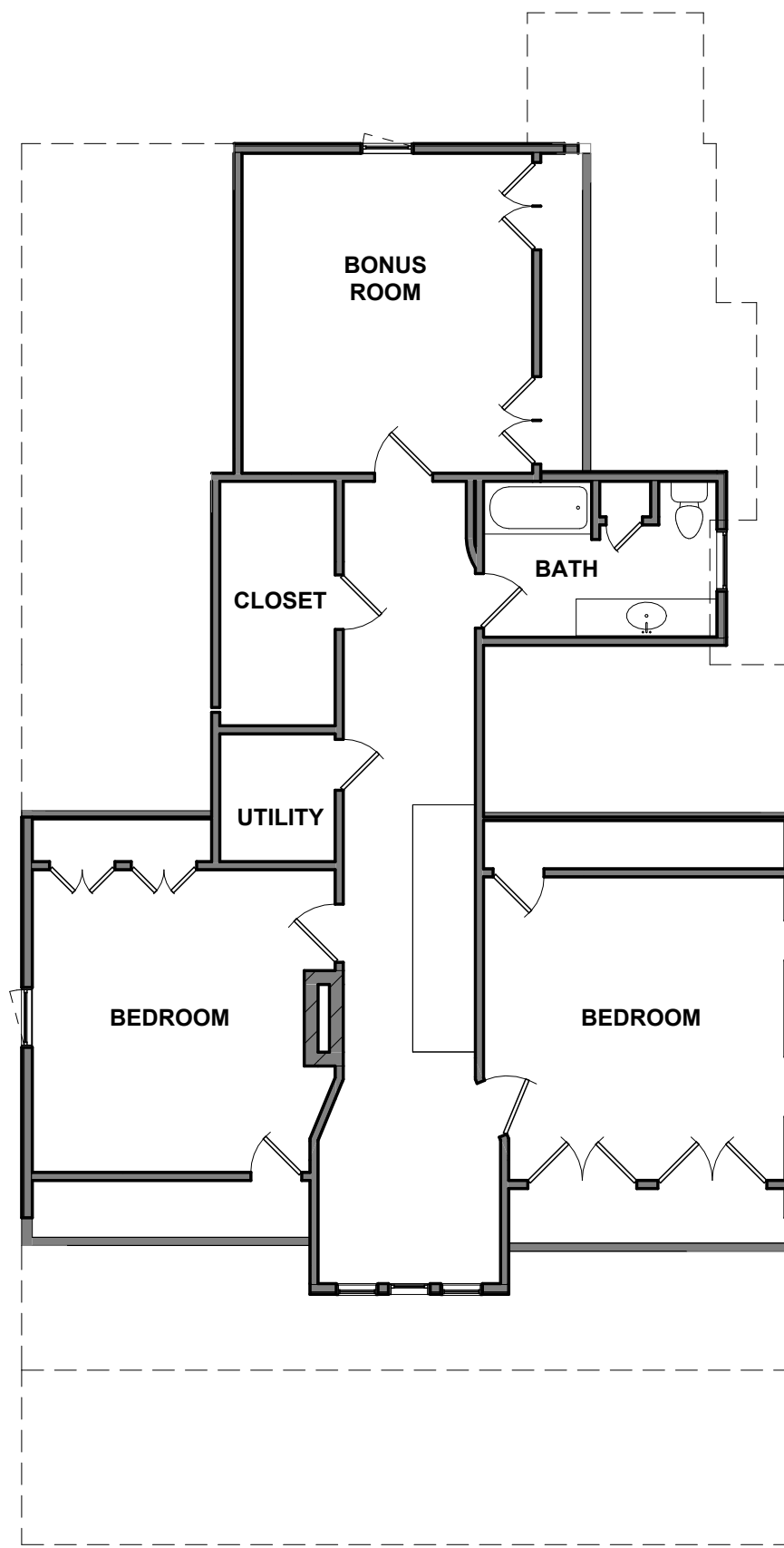
PROPERTY SIZE (PER SURVEY):	23,955 SF
TOTAL EXIST BUILDING FOOTPRINT: 10.5% OF LOT SIZE	2,512 SF
NO CHANGE TO EXISTING BUILDING FOOTPRINT	
HISTORIC BUILDING FOOTPRINT	1,657 SF
CIRCA 2005 -2010 ADDITION	<u>855 SF (51.6%)</u>
TOTAL BUILDING FOOTPRINT	2,512 SF

SITE PLAN

EXISTING BUILDING
FOOTPRINT TO REMAIN



EXISTING FIRST FLOOR PLAN



EXISTING SECOND FLOOR PLAN

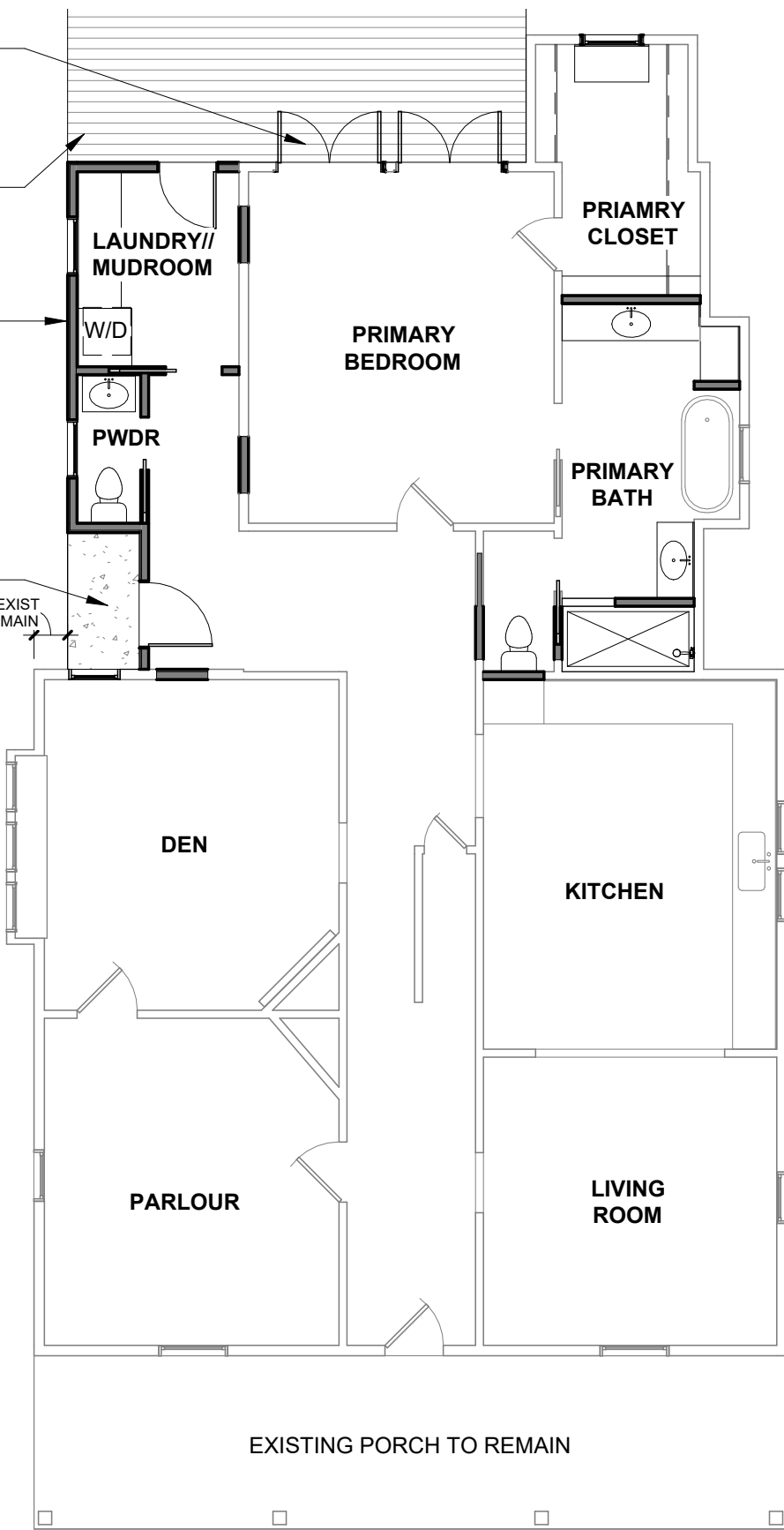
NEW DOORS AT REAR
OF NON-HISTORIC
ADDITION

DECK TBD TO BE
SUBMITTED WITH FUTURE
HARDSCAPING AND
GARAGE PLAN.

NEW ADDITION UNDER
EXISTING ROOF

VANDERBILT CONCRETE
SIDE ENTRANCE

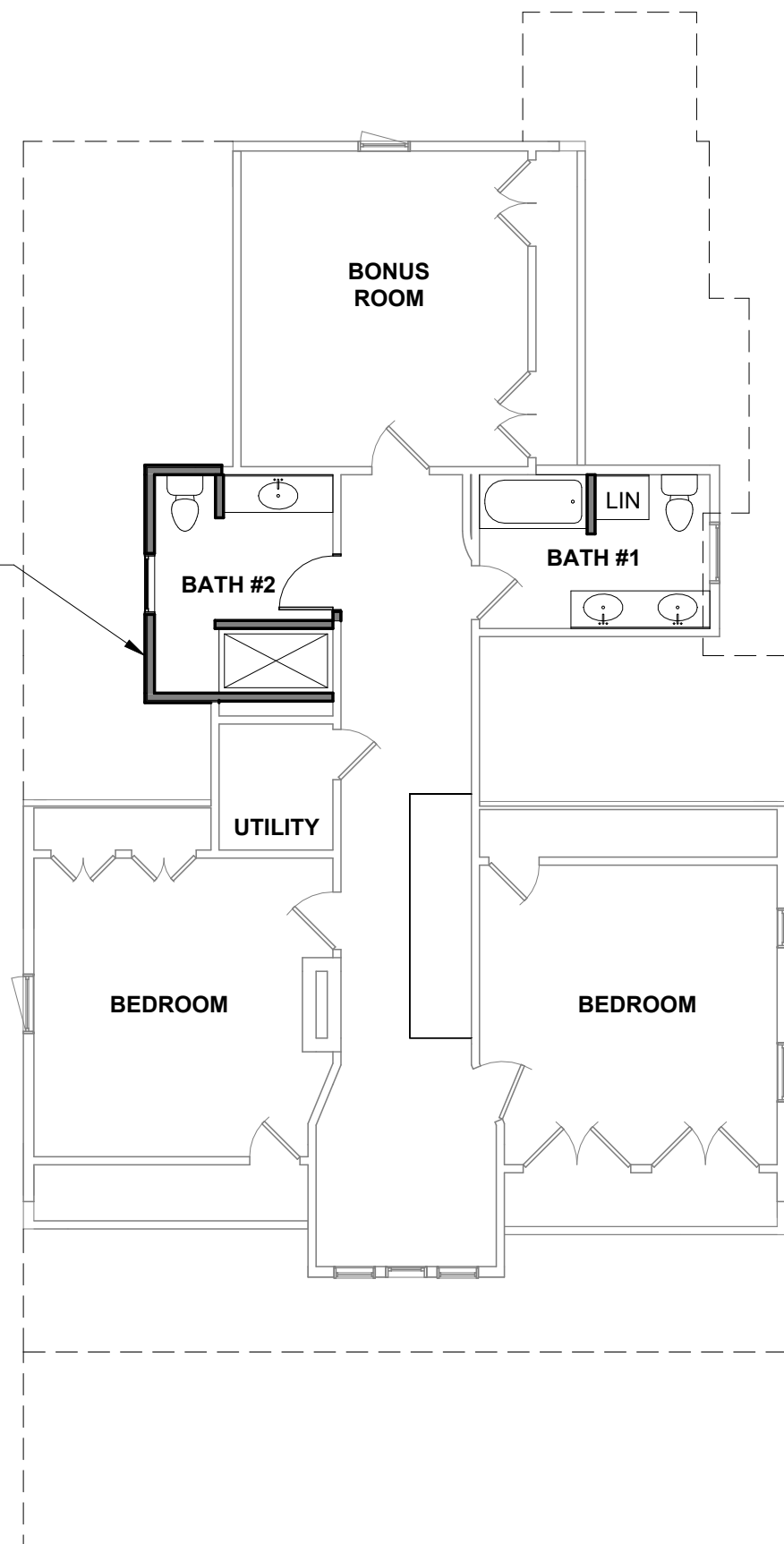
1' - 7" EXIST
TO REMAIN



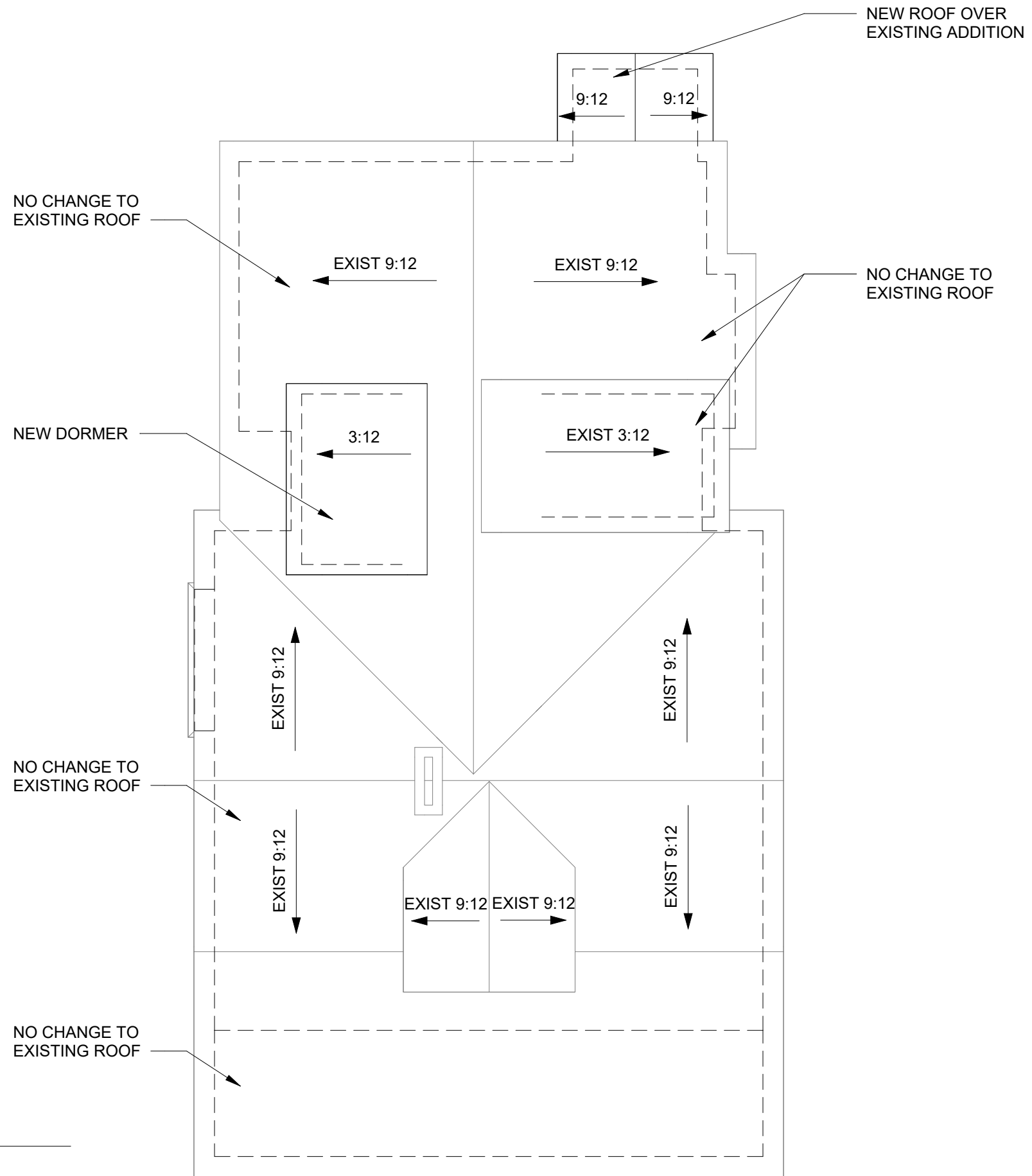
FIRST FLOOR PLAN

EXISTING PORCH TO REMAIN

NEW SIDE
DORMER



SECOND FLOOR PLAN



ROOF PLAN

GENERAL NOTES

1. ALL DETAILS TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, CORNER TRIM, SKIRT BOARD, WINDOW CASINGS, ROOF DETAILING, RAFTER TAILS, SIDING REVEAL, FOUNDATION MATERIAL ETC.
2. WOOD WINDOWS AND DOORS
3. WOOD SIDING TO MATCH EXISTING AT INFILL.



NO CHANGE TO FRONT ELEVATION

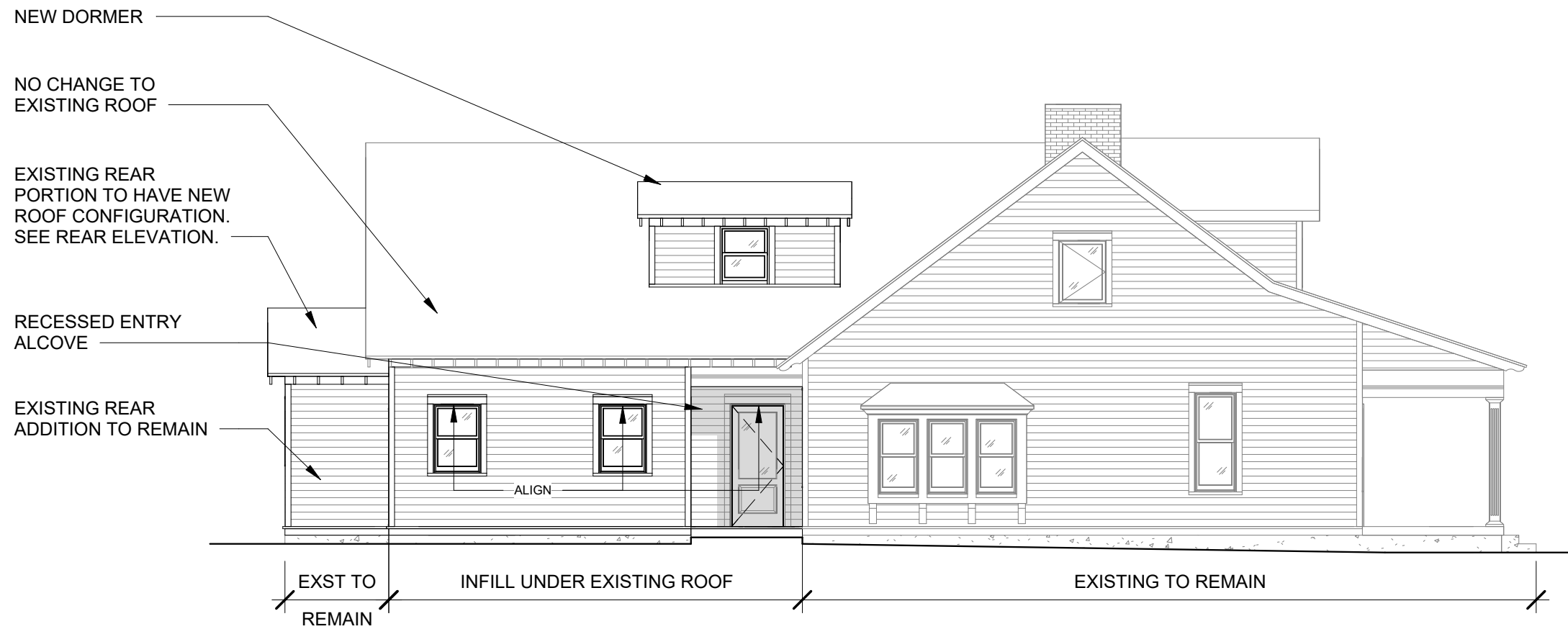
① EXTERIOR ELEV // FRONT
1/8" = 1'-0"



EXISTING FRONT ELEVATION

GENERAL NOTES

1. ALL DETAILS TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, CORNER TRIM, SKIRT BOARD, WINDOW CASINGS, ROOF DETAILING, RAFTER TAILS, SIDING REVEAL, FOUNDATION MATERIAL ETC.
2. WOOD WINDOWS AND DOORS
3. WOOD SIDING TO MATCH EXISTING AT INFILL.



1 EXTERIOR ELEV // LEFT SIDE
1/8" = 1'-0"



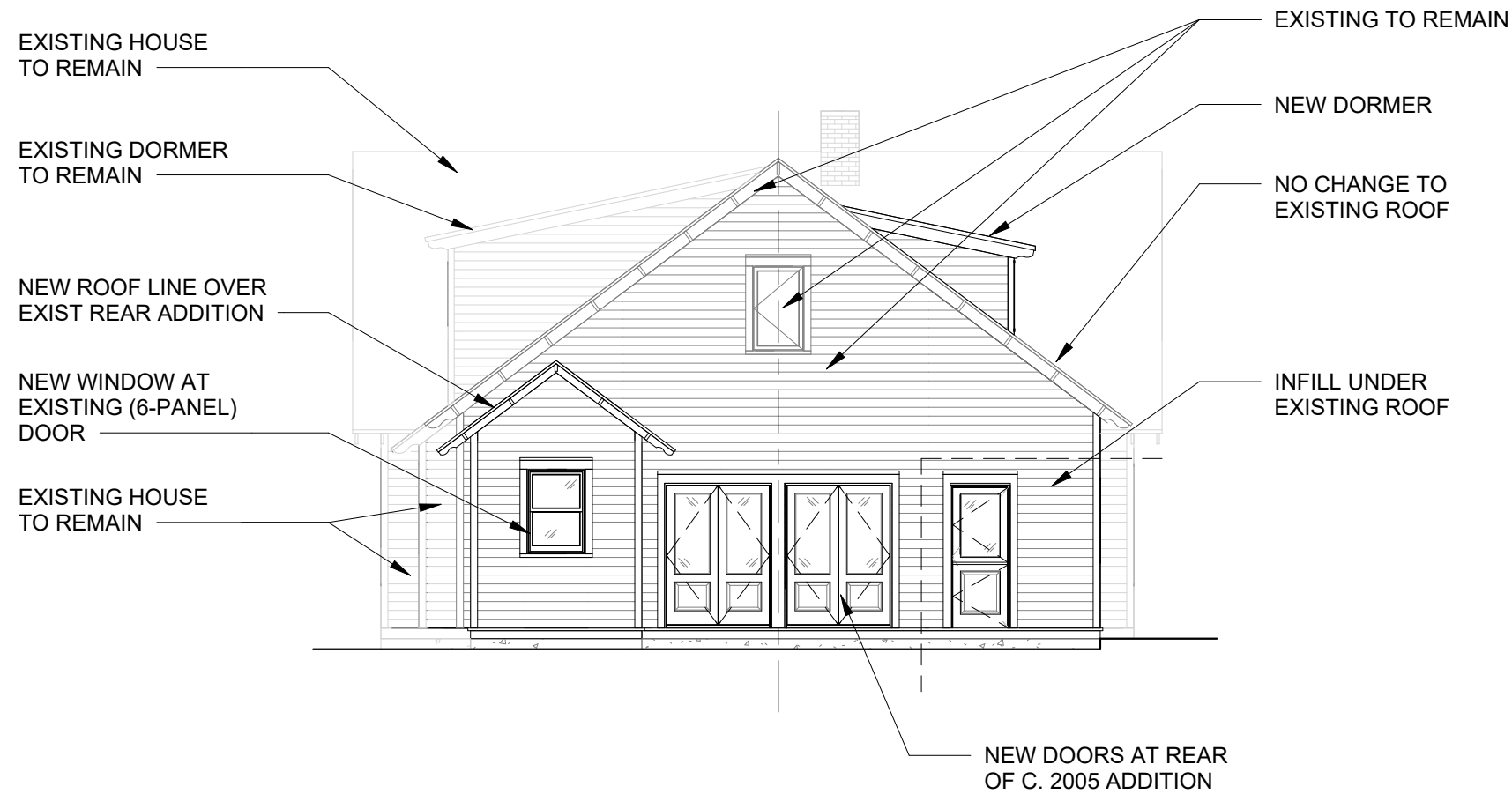
EXISTING LEFT ELEVATION



EXISTING LEFT ELEVATION

GENERAL NOTES

1. ALL DETAILS TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, CORNER TRIM, SKIRT BOARD, WINDOW CASINGS, ROOF DETAILING, RAFTER TAILS, SIDING REVEAL, FOUNDATION MATERIAL ETC.
2. WOOD WINDOWS AND DOORS
3. WOOD SIDING TO MATCH EXISTING AT INFILL.



① EXTERIOR ELEV // REAR
1/8" = 1'-0"



EXISTING REAR ELEVATION

GENERAL NOTES

- 1. ALL DETAILS TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, CORNER TRIM, SKIRT BOARD, WINDOW CASINGS, ROOF DETAILING, RAFTER TAILS, SIDING REVEAL, FOUNDATION MATERIAL ETC.
- 2. WOOD WINDOWS AND DOORS
- 3. WOOD SIDING TO MATCH EXISTING AT INFILL.



EXISTING RIGHT SIDE ELEVATION





File #: 26-0127

DATE: 2/9/2026
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:
Consideration Of Demolition (Accessory Non-Historic), New Construction (Accessory), And Site Alterations At 217 5th Ave. S.; Ben McCreary, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning the demolition of a non-historic accessory structure, construction of a new accessory structure, and site alterations at 117 5th Avenue South.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines:
Chapter 5: New Accessory Structure
Chapter 6: Site and Setting
Chapter 10: Demolition

PROJECT INFORMATION:
COF Project Number: 9030
Applicant: Ben McCreary
Owner: Michael Briggs

BACKGROUND:
The property located at 217 5th Avenue South is located in the Downtown Franklin National Register Historic District. The site features a ca. 1915 frame pyramidal building located, which is contributing to the district, and a ca. 1990 frame shed, which is non-contributing to the district. The applicant attended the January 2025 DRC meeting and feedback has been incorporated into the application.

The proposal includes a request for the demolition of the non-historic accessory structure, construction of a new accessory structure, and site alterations.

Accessory Structure Demolition:
The proposal includes a request to demolish the ca. 1990 frame shed located behind the principal building. The structure is not historic and is listed as non-contributing to the national register historic district. The structure has been photographed and documented.

The removal of the structure is appropriate and will not negatively impact the site or district. The proposed demolition is appropriate.

New Construction Accessory Structure:

The proposal includes a request to construct a new 1 ½ story accessory structure. The structure is proposed to be placed to the rear of the principal building at the end of the driveway. The structure is proposed to have a footprint of 755 sq. ft. The lot coverage with the proposed new construction will be 26%. The structure is proposed to be 21'- 2 ½" from grade. The principal building is 25'- 1 ¾" from grade. Additionally, there is a 40" decrease in grade from the principal building to the location of the proposed accessory structure.

The structure is proposed to be a frame structure clad with either wood or composite lap siding with a 5" exposure to match the principal building. The skirt boards, corner boards, and trim are proposed to be wood or a composite material. The right elevation, which will face the interior of the lot, and will have a pedestrian entrance and window. The rear and left elevations, which will face the adjacent properties, do not feature any openings.

A hipped pyramidal roof with a flare detail, similar to what is seen on the principal building, is proposed for the structure. The material proposed is an asphalt shingle to match the existing material on the principal building. Dormers are proposed on the front and rear of the structure and utilize the same style and roof shape as the dormer on the principal building.

The proposed window on the right elevation appear to be double hung. Specifications for the dormer windows have not been included at this time, but they appear to be double-hung. The windows are proposed to be wood or composite windows. The pedestrian door is a ½ lite paneled door, noted to be wood or composite. The proposed garage doors are the Clopay Canyon Ridge Elements Series 1, Design 12, window sq24, clear glass, and spear hardware. The door is made of steel with a composite finish, and the design features a ¾ panel with 8-lite windows.

The gutter specifications have not been included at this time. The architectural style of the building is reflective of a date before the 1940's, and the Guidelines would recommend a half-round gutter. The lighting specifications have not been included within the application for review. The Guidelines recommend the following:

- Use materials and exterior finishes typically used in historic equivalents.
- Avoid strictly modern siding materials like vinyl or pressed wood.
- Use window materials that are similar in character, profile, finish, and durability to historic windows used on nearby historic buildings.
- Design garage doors with similar proportions and materials to those traditionally found within the district.

The proposed structure features a simple form that is reflective of the principal building. The structure is subordinate to the principal building's height, size, and massing and is appropriately located. The proposed materials and detailing are compatible with the principal building. Clarification of the materiality of the 'composite' side and trim detailing. If the term is used to describe a cementitious lap siding material, the material is appropriate. The proposed doors appear similar in proportion and material to other garage doors within the district.

Site Alterations:

The proposal includes a request for site alterations to alter the material of the driveway at the accessory structure to create a parking pad and to install a new walkway from the structure to the

principal building.

The existing driveway is a pea gravel material, and it is proposed to replace a section in front of the proposed structure with concrete for a new parking pad. The path and location of the driveway are not being altered. The proposed driveway alteration is appropriate.

A new walkway is proposed from the pedestrian entrance on the left elevation of the structure to the existing stone patio at the rear of the principal building. The material is proposed to be stone, paver, or concrete. The walkway will have minimal visibility. The location, width, and materials appear to be appropriate.

A picket fence is proposed in the rear yard. The fence is proposed to be either 3' or 4' tall. Additional details about the design of the fence, confirmed height, and placement are needed, and may be eligible for an Administrative COA reviewed by staff.

RECOMMENDATION:

Staff recommends approval of the accessory structure demolition, new construction accessory structure, and site alterations with the following conditions:

1. The siding materials must consist of either wood or cementitious lap siding.
2. The lighting specifications must be submitted to Preservation Planning Staff or the Historic Zoning Commission for review and approval.
3. The window specifications must be submitted to Preservation Planning Staff prior to building permit review and approval.
4. The rear yard fencing must be submitted for a COA.
5. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
6. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



EXISTING ACCESSORY STRUCTURE (CIRCA 1990)



EXISTING ACCESSORY STRUCTURE (CIRCA 1990)



EXISTING REAR YARD



EXISTING REAR YARD



MAIN HOUSE



VIEW FROM 5TH AVE S



FRONT VIEW



SIDE ELEVATION

THE EXISTING SHED DOES NOT EXHIBIT CHARACTERISTICS CONSISTENT WITH HISTORIC CONSTRUCTION AND IS BEST CLASSIFIED AS A NON-CONTRIBUTING, MODERN STRUCTURE.

THE BUILDING IS FRAMED WITH MODERN DIMENSIONAL LUMBER, INCLUDING UNIFORM, MACHINE-MILLED MEMBERS AND CONTEMPORARY FASTENING METHODS TYPICAL OF LATE-20TH-CENTURY CONSTRUCTION. ROOF FRAMING DETAILS VISIBLE IN THE PROVIDED PHOTOGRAPHS FURTHER CONFIRM STANDARDIZED LUMBER SIZES AND TECHNIQUES NOT ASSOCIATED WITH HISTORIC ACCESSORY STRUCTURES.

EXTERIOR CLADDING CONSISTS OF FIBER CEMENT SIDING PANELS MANUFACTURED TO SIMULATE TRADITIONAL LAP SIDING. THE SIDING IS INSTALLED AS LARGE-FORMAT PANELS WITH ROUNDED REVEALS, RATHER THAN INDIVIDUAL BOARDS, A MATERIAL AND INSTALLATION METHOD NOT PRESENT DURING THE HISTORIC PERIOD OF SIGNIFICANCE. ALL EXTERIOR TRIM IS ALSO FIBER CEMENT, WITH UNIFORM, FACTORY-PRODUCED PROFILES.

WINDOWS AND DOORS ARE MODERN VINYL OR WOOD UNITS, INCONSISTENT WITH HISTORIC MATERIALS AND DETAILING TYPICALLY FOUND ON CONTRIBUTING STRUCTURES.

COLLECTIVELY, THE MATERIALS, CONSTRUCTION METHODS, AND DETAILING INDICATE THE SHED WAS CONSTRUCTED IN THE 1990S OR LATER. THE STRUCTURE LACKS HISTORIC FABRIC AND DOES NOT CONTRIBUTE TO THE HISTORIC CHARACTER OF THE PROPERTY OR DISTRICT. ITS PROPOSED DEMOLITION WILL NOT RESULT IN THE LOSS OF A CONTRIBUTING HISTORIC RESOURCE.



MODERN CONSTRUCTION



VINYL WINDOWS



EAVE DETAILS



SIDING



LEFT SIDE



REAR



LEFT SIDE



RIGHT SIDE

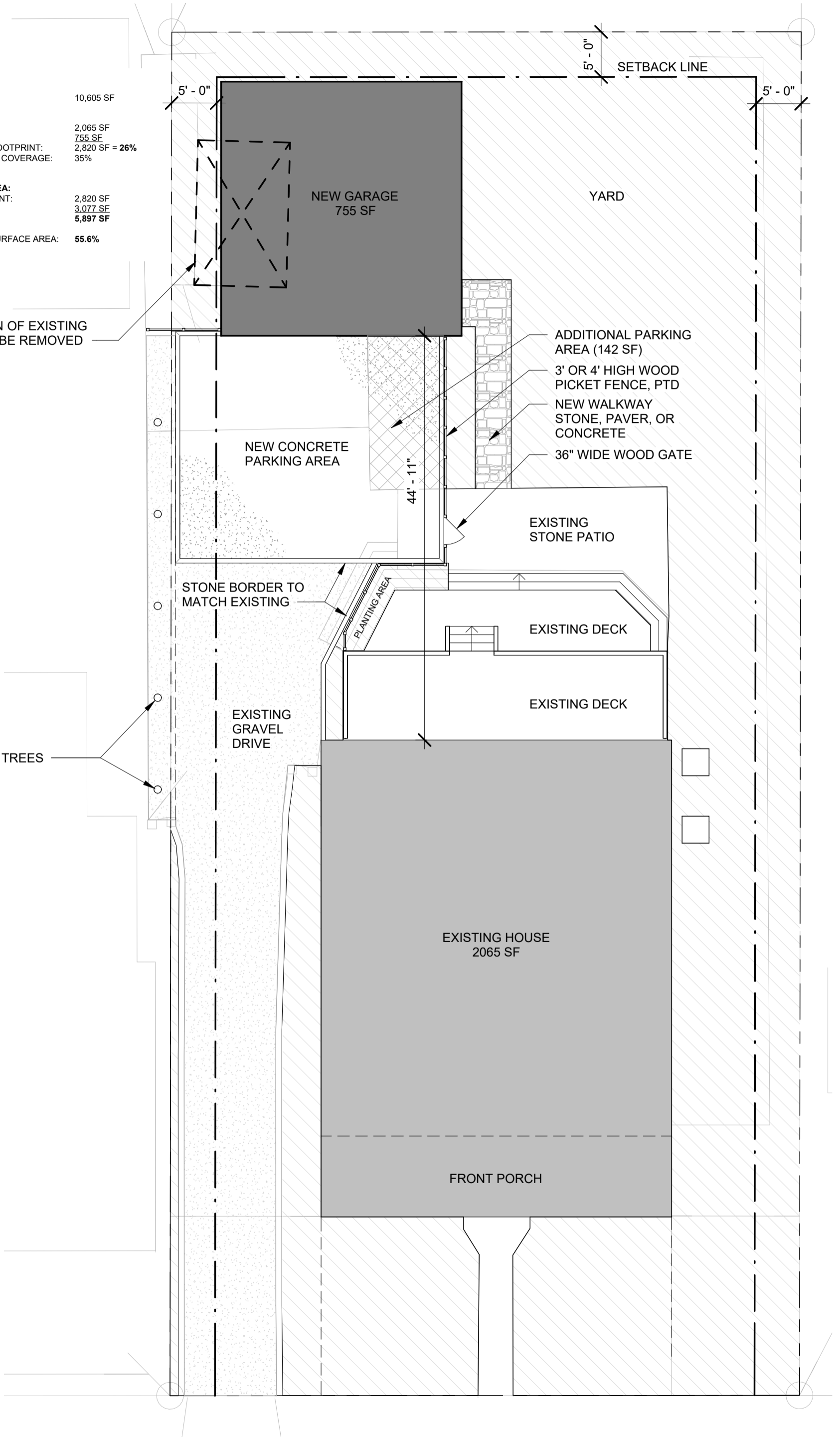
ZONING ANALYSIS

LOT SIZE: 10,605 SF
BUILDING FOOTPRINT
 EXISTING HOUSE: 2,065 SF
 PROPOSED GARAGE: 755 SF
 TOTAL PROPOSED BLDG FOOTPRINT: 2,820 SF = 26%
 MAX ALLOWED FOOTPRINT COVERAGE: 35%

LANDSPACE SURFACE AREA:
 PROPOSED BLDG FOOTPRINT: 2,820 SF
 WALKS & DRIVE: 3,077 SF
 TOTAL IMPERVIOUS: 5,897 SF
 PROPOSED LANDSCAPE SURFACE AREA: 55.6%
 MINIMUM LSA: 40%

LOCATION OF EXISTING SHED TO BE REMOVED

EXISTING TREES

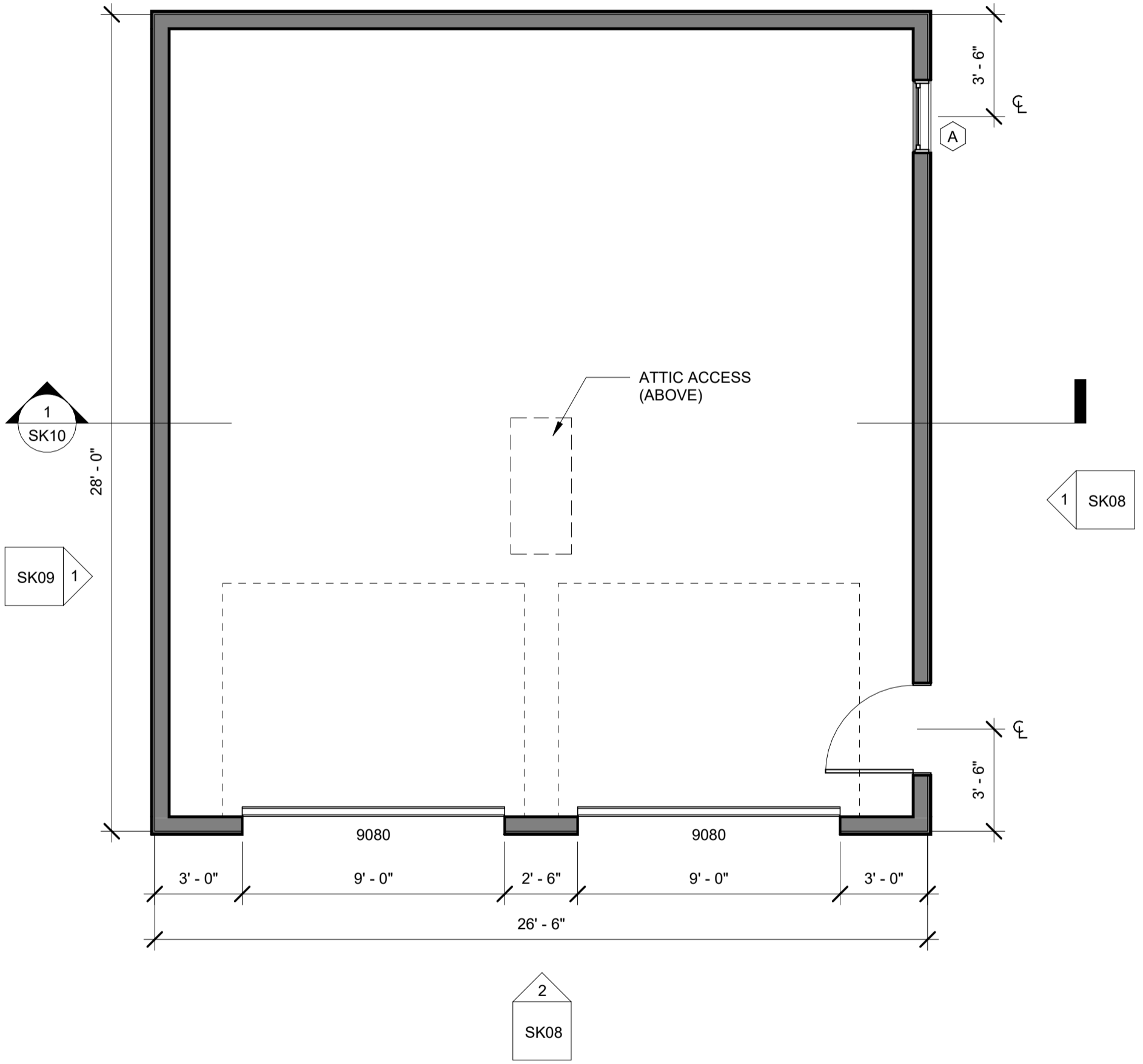


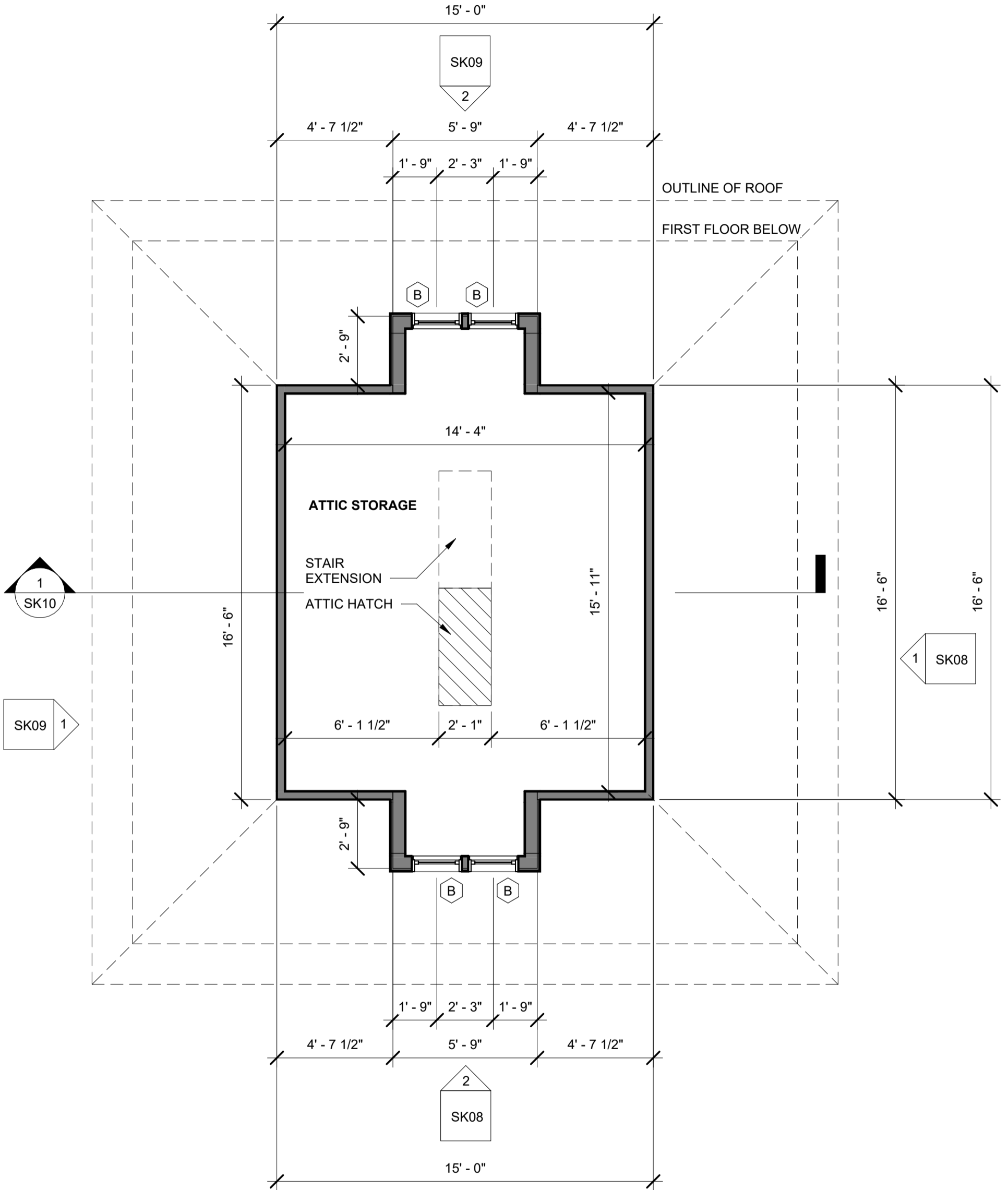
5TH AVE S

217 5TH AVE S | GARAGE

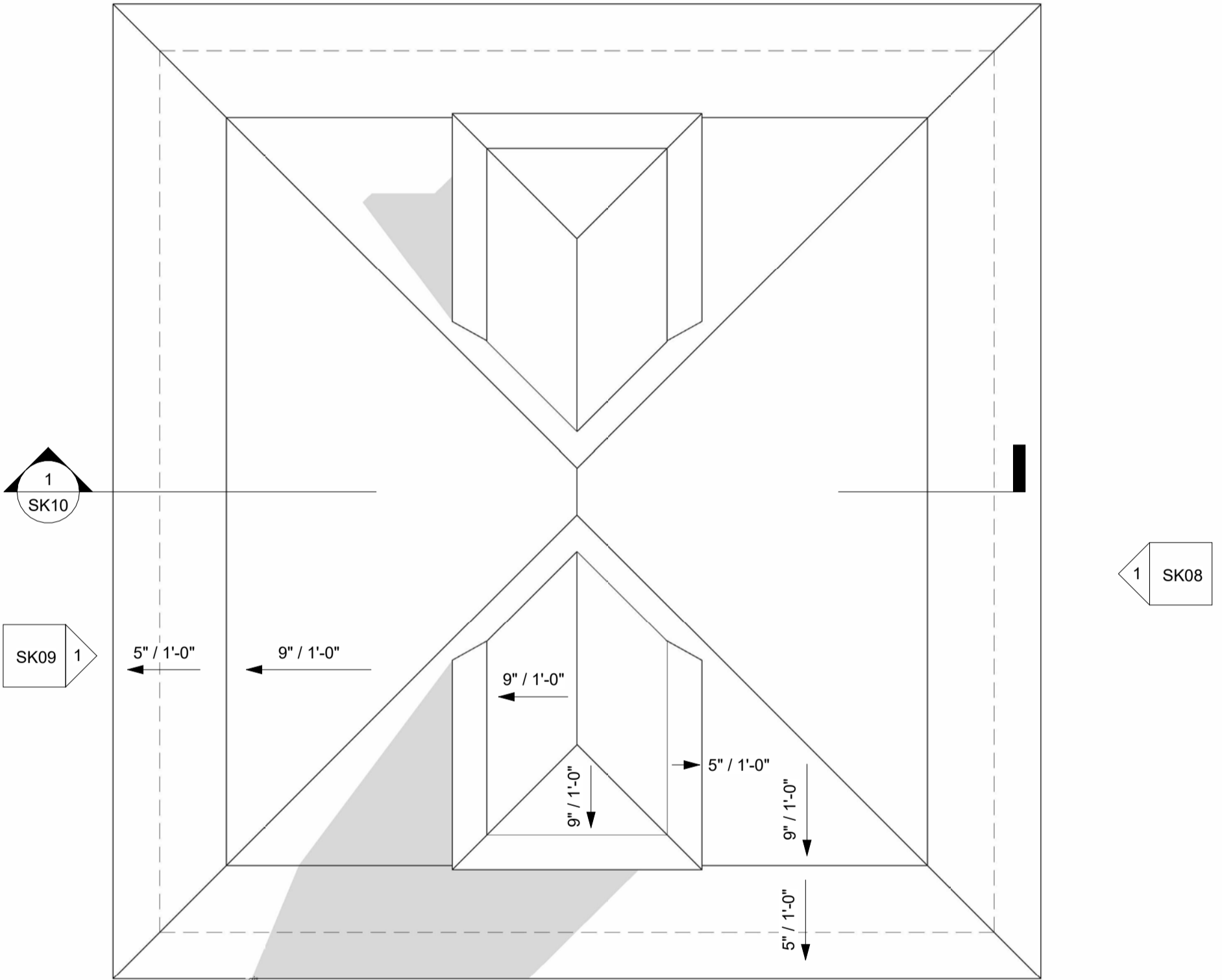
SK04

SK09
2

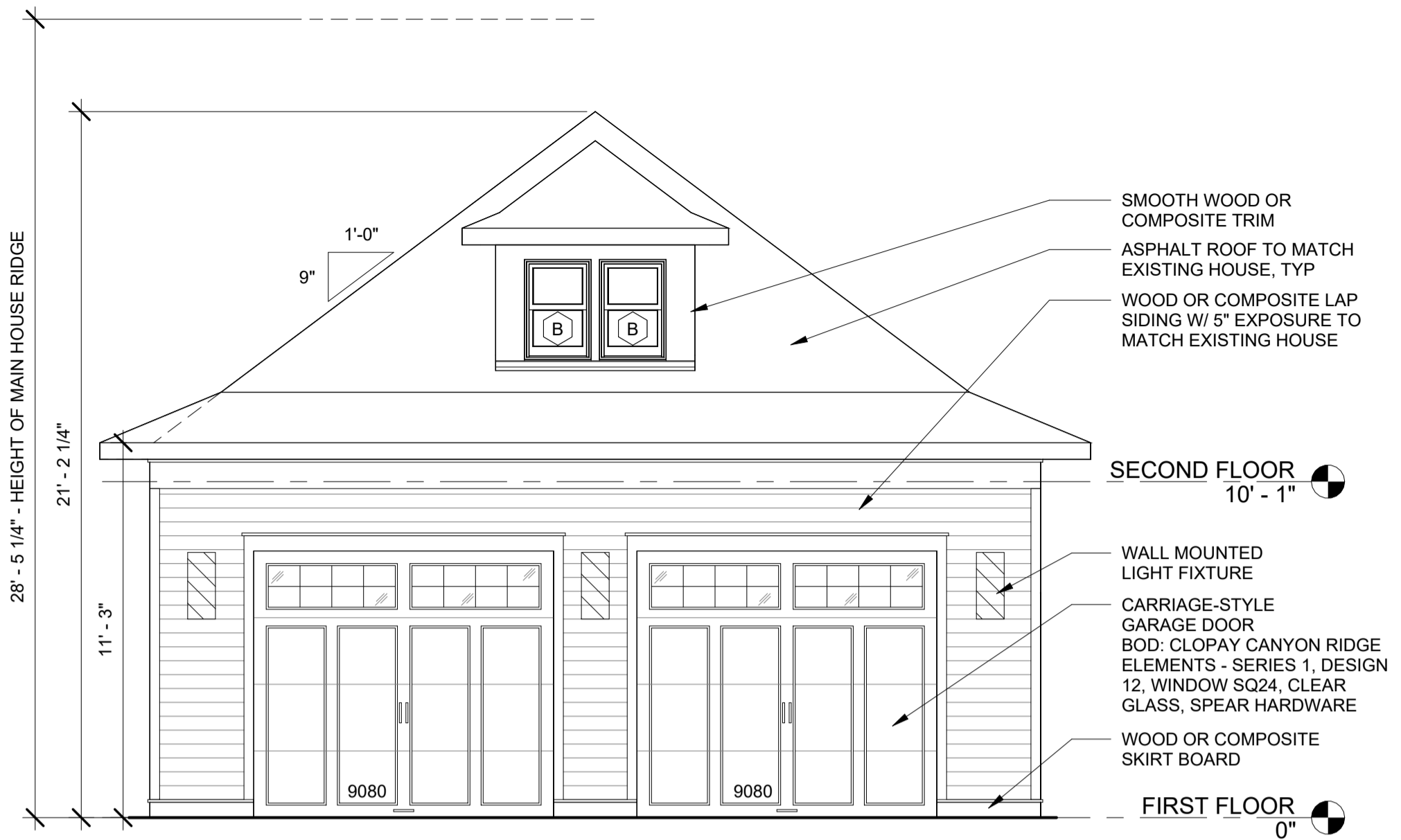




SK09
2

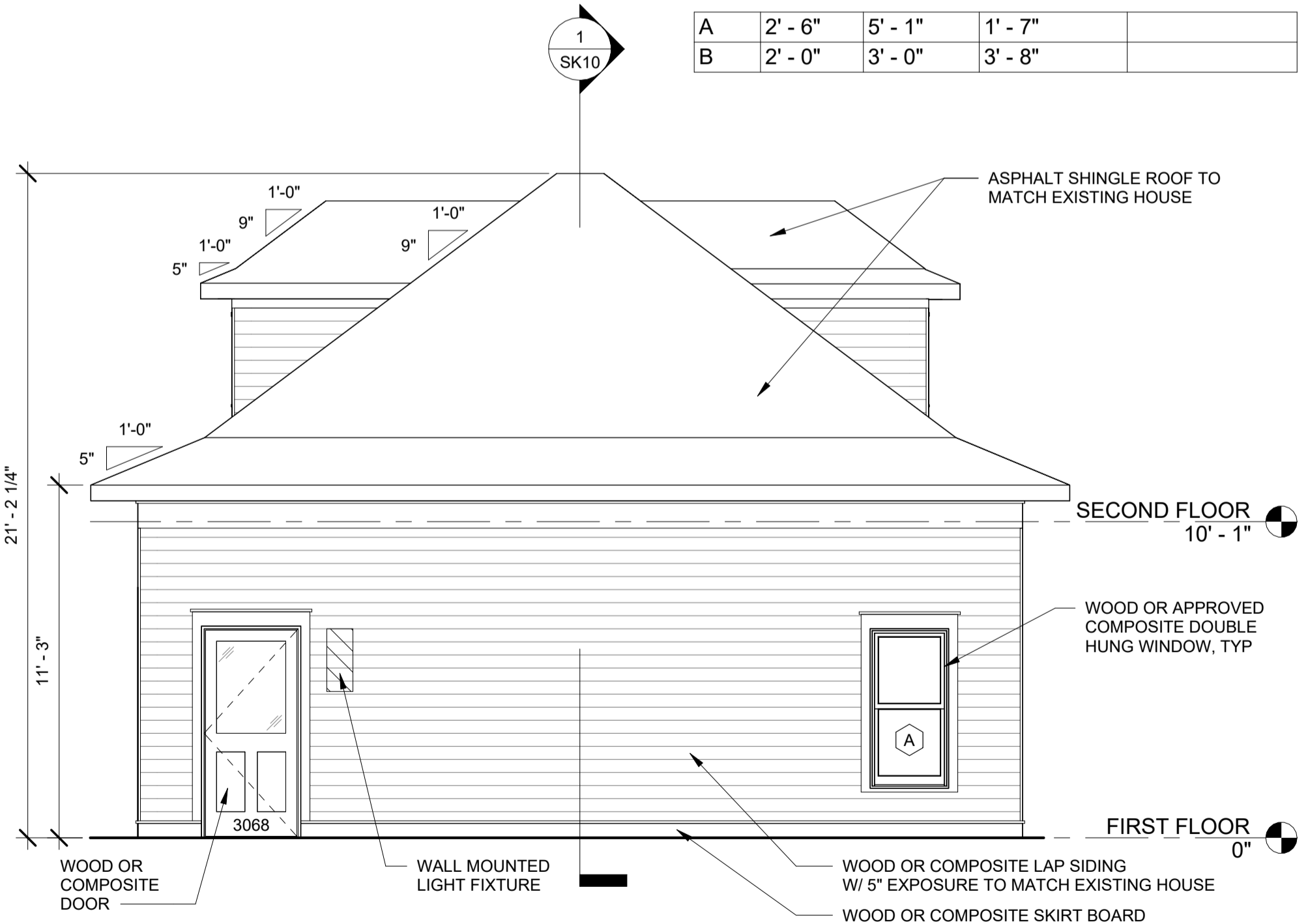


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SK08

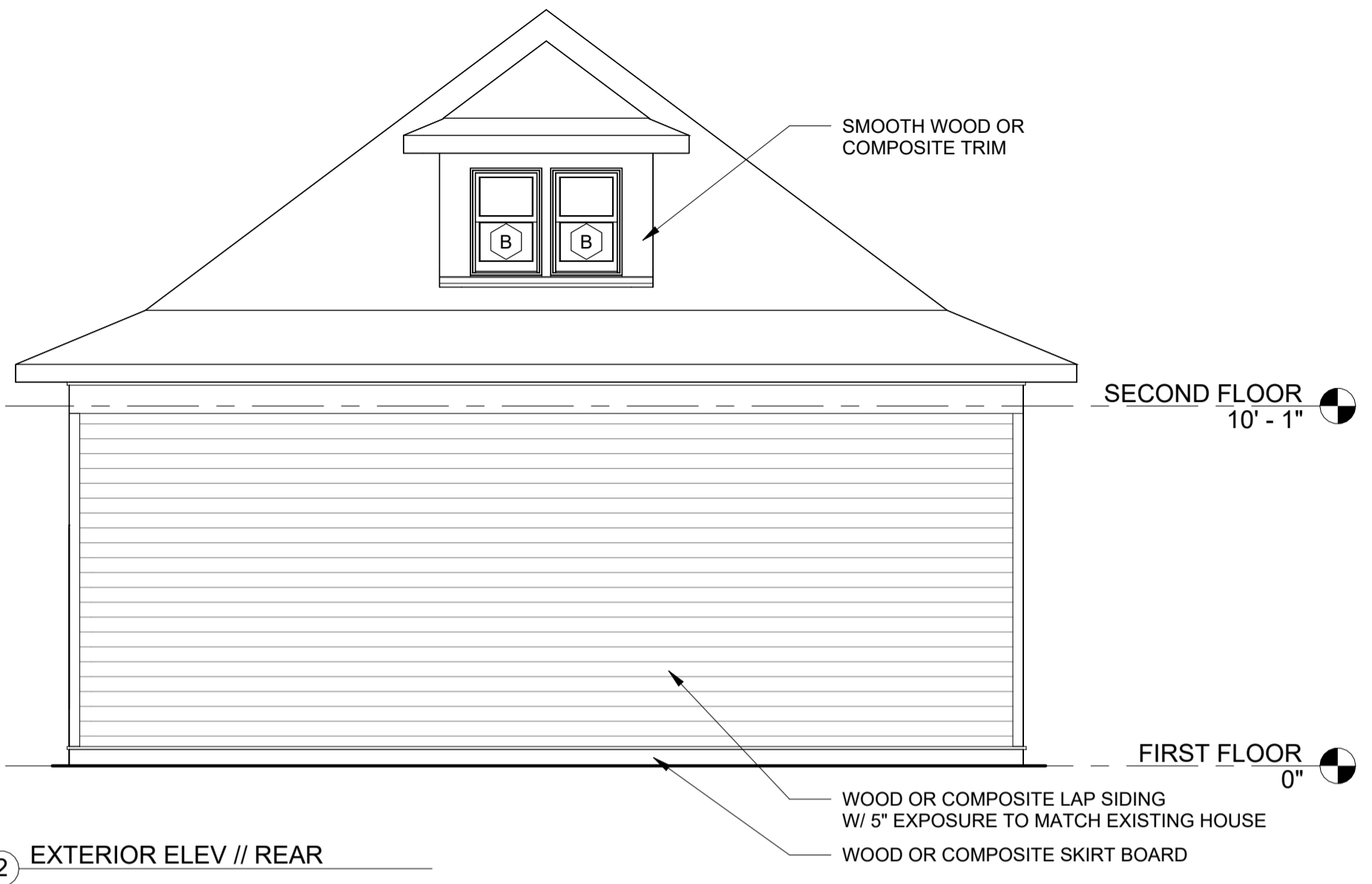


2 EXTERIOR ELEV // FRONT

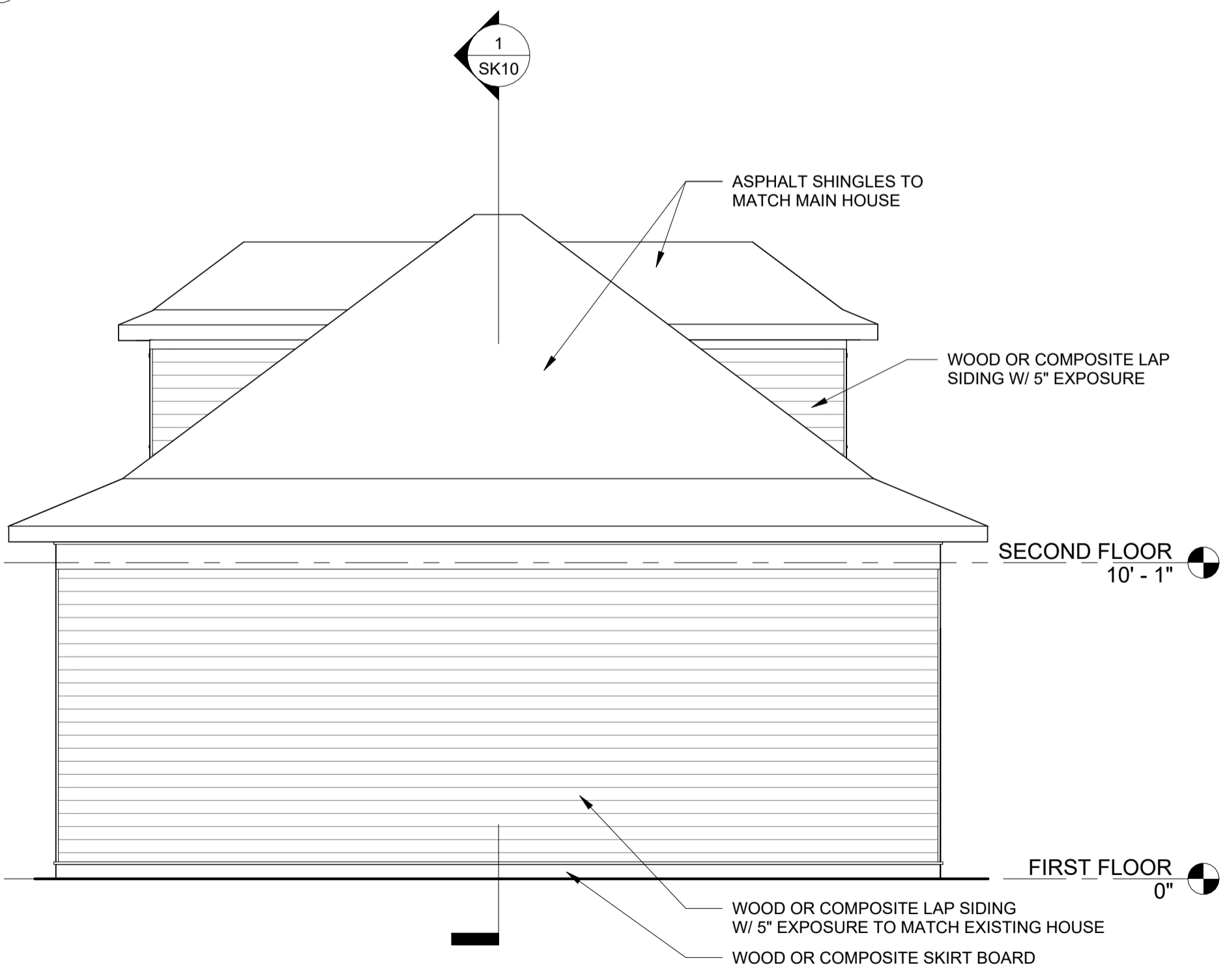
WINDOW SCHEDULE				
TYPE	WIDTH	HEIGHT	SILL HEIGHT	NOTES
A	2' - 6"	5' - 1"	1' - 7"	
B	2' - 0"	3' - 0"	3' - 8"	



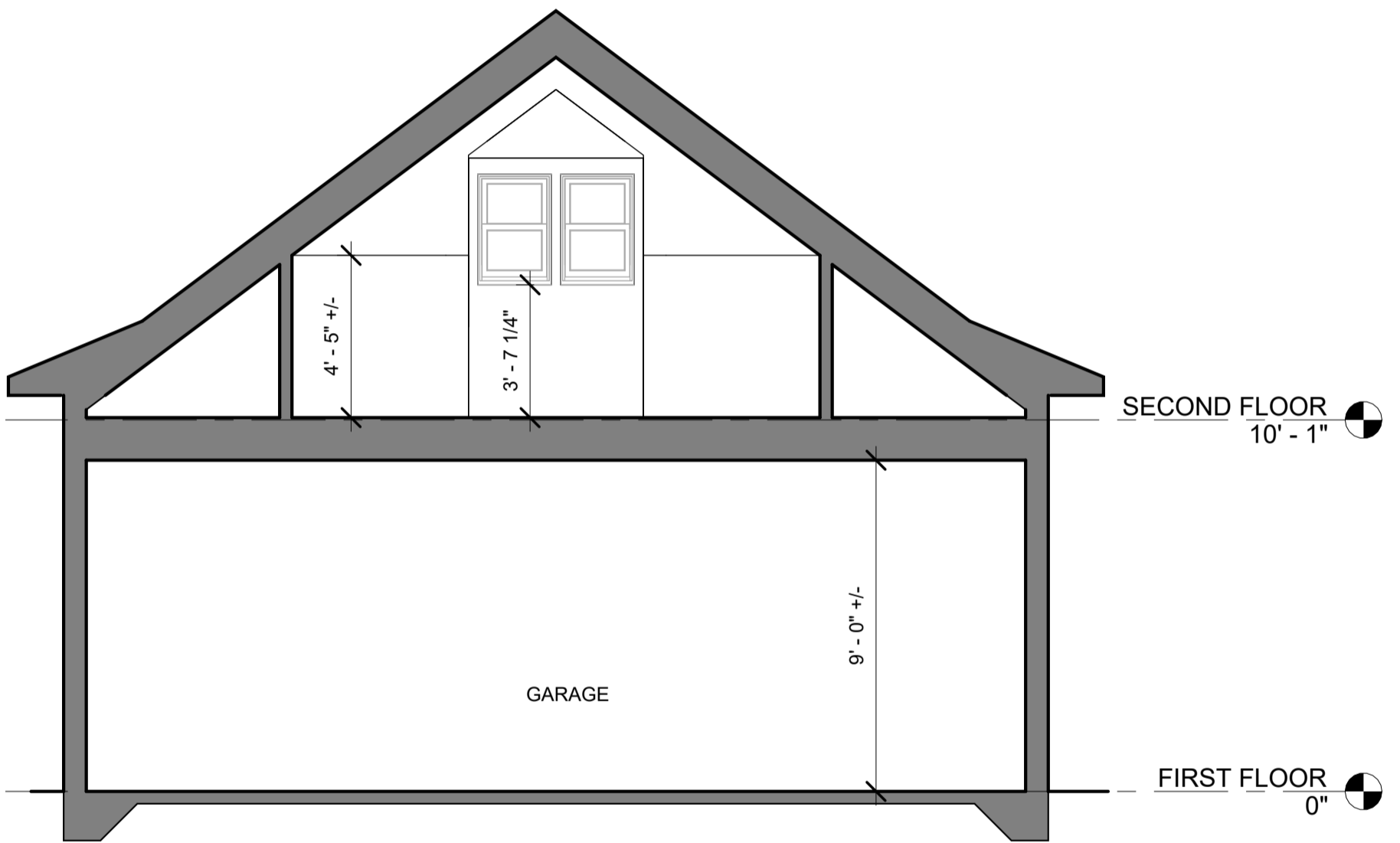
1 EXTERIOR ELEV // RIGHT SIDE



2 EXTERIOR ELEV // REAR



1 EXTERIOR ELEV // LEFT SIDE





CONCEPTUAL 3D | VIEW FROM STREET



File #: 26-0134

DATE: 2/9/2026
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration Of New Construction, Signage, And Refuse (Williamson County EMS) At 110 Aldersgate Way, John Gore, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning the new construction of a building, refuse area, and signage at 110 Aldersgate Way.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines:
Chapter 3: New Civic Buildings
Chapter 6: Site & Setting
Chapter 8: Signs

PROJECT INFORMATION:
COF Project Number: 9033
Applicant: John Gore
Owner: Ronald Evan Styers, Trustee Chairperson

BACKGROUND:
The property at 110 Aldersgate Way is located within the Franklin Road Historic District. The property is on the edge of the Historic Preservation Overlay (HPO) and is considered to front the roundabout coming from Mack Hatcher Memorial Parkway. Shared on the property are the Franklin First United Methodist Church and a collection of other buildings, ranging from agricultural to residential uses. A new civic building, refuse area, and signage are proposed on the site and will serve as the Williamson County Emergency Medical Services (EMS) Station. The applicant attended the December 2025 Design Review Committee meeting, where feedback was incorporated into the proposal.

New Building Construction

The proposed building is positioned to face the roundabout which stems from Mack Hatcher Parkway. The front of the building will feature two large red bi-fold garage doors for the emergency vehicles to be stored, and to the right of the garage doors is an arched main entrance for pedestrians into the building. The archway on the building appears to be a Romanesque Revival-inspired element, which relates to the adjacent FFUMC arch features. Above the garage doors are

rectangular vents, and above the main entrance into the building, a circular window is proposed. The building is proposed to be constructed out of red and brown brick with Indiana limestone. The proposed mortar colors appear to blend well with the proposed materials. The building height ranges from 16' to 20' at the parapet. The proposed fixed windows consist of a fiberglass material in a light gray color. Other elevations include windows and doors to break up the facades. Gutters and downspouts are proposed in a dark color around the building and are square in shape. The proposed lighting is proposed to be on the exterior of the building and the fixtures will be attached to the building but are minimal in size. The Guidelines recommend:

- Orient the main entrance to a civic building toward the street.
- Locate new buildings to be secondary in prominence to the historic structures on the site or in the district.
- Design a new civic building to be contextually sensitive to the historic district, so that it does not detract from or overwhelm nearby buildings.
- Design the architecture elements using defined base, middle, and cap divisions.
- Design the height of new civic buildings to be consistent with the height of historic buildings in the district, which should not exceed two to three stories or be any taller than the commercial buildings on Main Street.
- Use building materials that create a sense of permanence, such as brick or stone.
- Use roofing materials that are historically typical and complement the architectural style of the building. Rubber membrane roofing material is appropriate for flat roofs with parapet walls.
- Design a building to reflect its time while respecting key features of its context.
- Use decorative details in a manner that is compatible to those on nearby historic buildings while avoiding direct replication.
- Design new doors and doorways to be typical of historic civic buildings, including solid-to-void ratio, rhythm and spacing, and scale and intricacy.
- Provide casement, trim, and transoms or sidelights similar to those typically seen on historic civic buildings.
- Design new windows to be compatible with the size, placement, rhythm, and relationship of solids-to-voids to those of typical historic civic buildings.
- Recess window openings on masonry buildings.
- Design windows to match the historic materials traditionally found on historic civic buildings. Composite materials that have the appearance of wood are appropriate for windows, stops, jambs, and trim.
- Match the gutter style to the architectural style of the building.
- Use lighting sources and illumination levels that enhance the character of the historic building and the historic district.
- Use illumination with a warm white light which does not distort the color of building materials or finishes. Avoid using colored bulbs or gels, or lighting with changing colors.
- Orient illumination downward for commercial and civic buildings. Do not design lighting for the sole purpose of attracting attention to building architecture or to building uses.

The proposed placement and orientation, building form, height, materials, details and ornamentation, entrances, and gutters and downspouts generally meet the Guidelines. While the proposed fiberglass windows do not exactly align with the Guidelines regarding materials, they are similar to those on the adjacent FFUMC building. The proposed lighting aligns with the Guidelines for appearance, but shall utilize a warm white light to align with the Guidelines and be altered to only be illuminate downward.

Refuse Construction

It is proposed to construct a refuse enclosure to serve the needs of the new building. It is proposed to

locate the refuse enclosure behind the building, so that it will not be highly visible from Mack Hatcher Parkway. It is proposed to be constructed out of red brick and limestone and will have what appears to be metal doors.

The refuse enclosure is proposed to be constructed out of red brick and limestone accents to match the existing buildings, and appears to utilize metal slatted doors. The refuse area is 7'-10" in height, 14'-5" in width, and 10'-4" in length. The Guidelines recommend:

- Site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts.

Further, the Zoning Ordinance requires that refuse enclosures meet the following:

- Refuse areas, such as dumpsters, trash compaction, garbage or recycling collection, and other similar service areas shall be located away from frontages and to the side or rear of the building, and at least five feet from any lot line.
- Walls shall be provided to fully screen refuse areas from public view, and be no less than six feet in height. The walls shall be opaque and constructed of brick or stone materials that complement the main colors and materials of the associated building they serve.
- Gates shall be opaque and designed to complement the wall materials. To allow dumpster gates to remain closed as often as possible, either a pedestrian door, wall offset for pedestrian access, or self-closing gates shall be provided.
- Building design or other structural features, such as knee walls, alcoves, or wing walls may also be used to fully or partially enclose site items required to be screened.

The refuse area appears to meet the Guidelines; the applicant shall make sure that the refuse enclosure door meets the requirements of the Zoning Ordinance by utilizing self-closing doors or another way that is listed above. If a change is proposed, an updated COA may be required if it affects the structure's appearance.

Signage

It is proposed to construct a brick and limestone monument sign in front of the building. It is proposed to be 4'-8" in height and 7'-4" in length. The sign is proposed to utilize black metal pin lettering in an unknown finish. External illumination is proposed, but it appears that the fixture has not been included within the application. Within the Guidelines, monument signs are not specifically noted as an appropriate sign type within the HPO. However, the Guidelines provide these general sign recommendations:

- Design signs to respect and respond to the character of the property on which they are being placed and of the overall district.
- Select locations, sizes, and placement of signs to complement the building and other buildings within the district.

While a monument sign is not a sign type that is recommended within the Guidelines, this site and setting has some unique characteristics. It is on the edge of the HPO, and its context is along Mack Hatcher and not visible from Franklin Road. The monument sign appears to meet the requirements of the Zoning Ordinance, so the HZC can ultimately decide if a monument sign is appropriate in this context. Should the HZC deem the monument sign appropriate, the sign is recommended to utilize a

dark metal in a matte finish for the lettering. External illumination is recommended to be limited to soft landscape uplighting with incandescent and warm-colored lighting when possible. Should the sign be approved by the HZC, a sign permit shall be submitted and meet the requirements of the Zoning Ordinance.

RECOMMENDATION:

Staff recommends denial of the monument sign based on the following grounds:

1. The proposed sign type is considered an inappropriate sign type within the Design Guidelines

Staff recommends approval of the construction of the building and refuse enclosure with the following conditions:

1. The light fixtures shall use illumination with a warm white light.
2. Orient illumination downward for commercial and civic buildings.
3. The refuse enclosure shall utilize self-closing gates to meet the requirements of the Zoning Ordinance.
4. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
5. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

If the HZC were to approve the monument sign, the following recommendations are suggested:

1. The sign shall utilize a matte metal finish for the sign lettering.
2. The sign lighting shall align with the Guidelines to utilize soft landscape uplighting with incandescent and warm-colored lighting when possible.
3. A sign permit must be issued prior to installation and meet the requirements of the Zoning Ordinance.

Project Considerations:

1. Please be aware this review was not reviewed for code compliance and will be required to have a non-residential plan review at a later date when ready followed by permits and inspections.
2. The applicant shall obtain a floodplain development permit prior to any disturbance of the FFO.
3. The FIRM data used to show the floodplain boundaries is incorrect. The City has adopted new and updated FEMA FIRMs and these should be used to calculate the floodplain areas. Please use the map dated 12/20/2024 to draw this area. Currently the structure looks like it will be encroaching into the 100-year zone AE.



Project: Williamson County Fire and Rescue EMS at FFUMC
110 Aldersgate Way, Franklin, Tennessee 37069
Prepared for: City of Franklin Historic Zoning Commission

I. Project Overview

This proposal is for the construction of a new Williamson County Emergency Medical Services (EMS) Station to serve the northern Franklin community. The facility will be located on the campus of Franklin First United Methodist Church (FFUMC) at 110 Aldersgate Way.

The project provides a small-scale civic building accommodating emergency response vehicles, crew facilities, and support spaces. Design and materials are guided by the Franklin Historic District Design Guidelines and the Franklin Zoning Ordinance ensuring compatibility with the City's Historic Preservation Overlay (HPO) objectives.

II. Site Context and Setting

The project site lies within the established FFUMC campus at the intersection of Mack Hatcher Memorial Parkway and Aldersgate Way. Surrounding structures include a mixture of institutional and residential uses. Design and placement conform to the principles of the Design Guidelines, which emphasize:

- Minimizing changes to existing topography, including the preservation of existing landscape buffers along Aldersgate Way.
- Locating parking and service areas to the side or rear of the primary façade.
- Using landscaping and low-level lighting to mitigate visual impacts.
- Ensuring that new site elements are subordinate to primary structures.

The site design complies with Franklin Zoning Ordinance's Landscape and Lighting chapters, incorporating bioretention areas, downward-directed lighting, and side/rear parking configurations in accordance with §14.3.1–14.3.3.

III. Architectural Design and Character

The proposed EMS Station is a single-story civic building with a restrained parapet height (16'–20'). The form and detailing align with Zoning Ordinance's chapter on Civic Buildings which allows civic structures to either stand apart as public landmarks or blend with residential character depending on context.

Per Design Guidelines Chapter 4: Civic Buildings, the project achieves compatibility through:

- Rectilinear massing and proportional façades.
- Clearly defined base, middle, and cap
- Modest roof height and parapet detailing that reduce perceived height.
- Balanced fenestration and material transitions at structural breaks.

Entrances and Apparatus Bays:

The front façade features two glazed bi-fold bay doors with red finish and clear vision panels, framed in masonry to maintain a civic tone consistent with Guideline 4.3 – Building Openings. The primary pedestrian entry is articulated with a limestone arch.

Date January 23, 2026
Project Williamson County Fire and Rescue EMS at FFUMC
 110 Aldersgate Way, Franklin, TN 37069
 TMP No. A082221
Subject City of Franklin Historic Zoning Commission
Page 2

IV. Materials and Detailing

The materials palette has been selected to meet Zoning Ordinance §6.11.4 (Materials) and Design Guidelines §4.4 (Materials & Exterior Finishes). Together, these require durable, traditional materials—particularly brick—covering at least 75% of primary façades.

Material	Use / Description	Ordinance or Guideline Reference
Red & Brown Brick	Primary wall surfaces (77–89% coverage)	Zoning Ord. §6.11.4(A); Design Guidelines §4.4.1
Stone	Base and accent elements, sills,	Design Guidelines §4.4.3
Aluminum Storefronts	Glazed entry	Design Guidelines §4.3.2
Fiberglass Windows	Single-hung appearance, neutral tone	Design Guidelines §4.3.4
Coping & Downspouts	Matching neutral finish	Design Guidelines §4.4.5

All materials conform to Zoning Ordinance §6.11.4 (Primary and Accent Materials) and §18.1.1 (Historic Resources Applicability). The use of brick and stone reinforces durability and permanence—key expectations for civic buildings per Design Guidelines Chapter 4: Civic Buildings.

V. Lighting and Signage

Exterior lighting follows the standards of Design Guidelines Chapter 6: Lighting:

- Fixtures are full cutoff, downward-oriented, and architecturally compatible.
- Illumination levels are sufficient for safety but limited to prevent glare.
- No decorative or colored lighting is used.

Signage consists of a brick and stone monument sign with aluminum lettering, complying with Design Guidelines Chapter 8: Signs (§8.2–8.3) and Zoning Ordinance §15.10 (Monument Signs):

- Maximum height: 6 feet.
- External illumination only (§15.1.5).
- Materials: brick, stone, and aluminum lettering
- Typeface: simple sans-serif lettering consistent with civic precedent.

VI. Compatibility with Historic Zoning Objectives

This project adheres to the intent of the Historic Preservation Overlay (HPO), outlined in Zoning Ordinance §4.5.4 (Overlay Purpose) and §20.11 (Certificate of Appropriateness):

- Scale & Proportion: The low, horizontal form complements the surrounding campus and nearby residences.

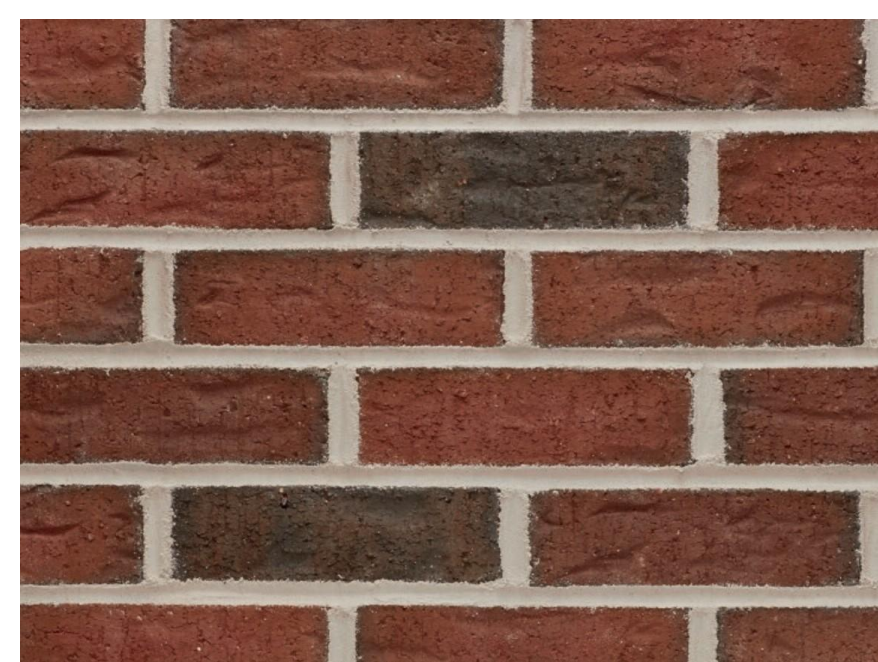
Date January 23, 2026
Project Williamson County Fire and Rescue EMS at FFUMC
110 Aldersgate Way, Franklin, TN 37069
TMP No. A082221
Subject City of Franklin Historic Zoning Commission
Page 3

- **Materials & Craftsmanship:** Authentic masonry and stone detailing reflect Franklin's civic and institutional vernacular.
- **Site Integration:** Minimal grading and landscape continuity respect the topography and streetscape context, consistent with Design Guidelines S6.2 (Topography & Landscape).
- **Visual Subordination:** The building's height and placement ensure it does not dominate adjacent structures, per Guidelines S1.4 (Compatibility of New Construction).

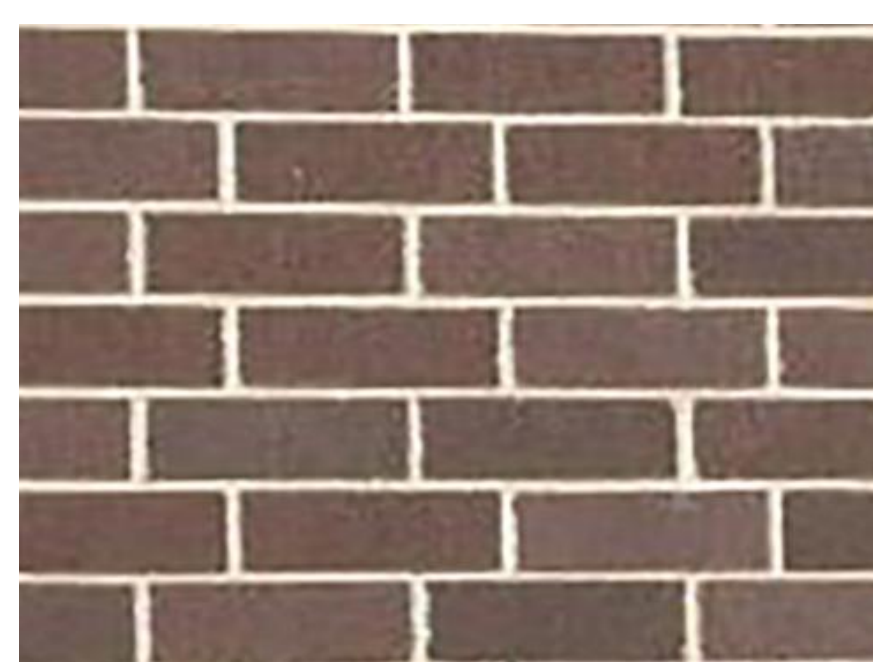
VII. Conclusion

The proposed Williamson County EMS Station at Franklin First United Methodist Church represents a contextually sensitive, durable, and well-scaled civic addition to the Franklin community. The project aligns with the Franklin Historic District Design Guidelines, Franklin Zoning Ordinance, and the expectations of the Historic Zoning Commission for compatible new civic construction within the City's historic context.

Through its material palette, massing, and attention to context, the facility aims to reinforce Franklin's rich architectural heritage while providing an essential public service.



RED BRICK
GENERAL SHALE
VIRGINIA HIGHLANDS



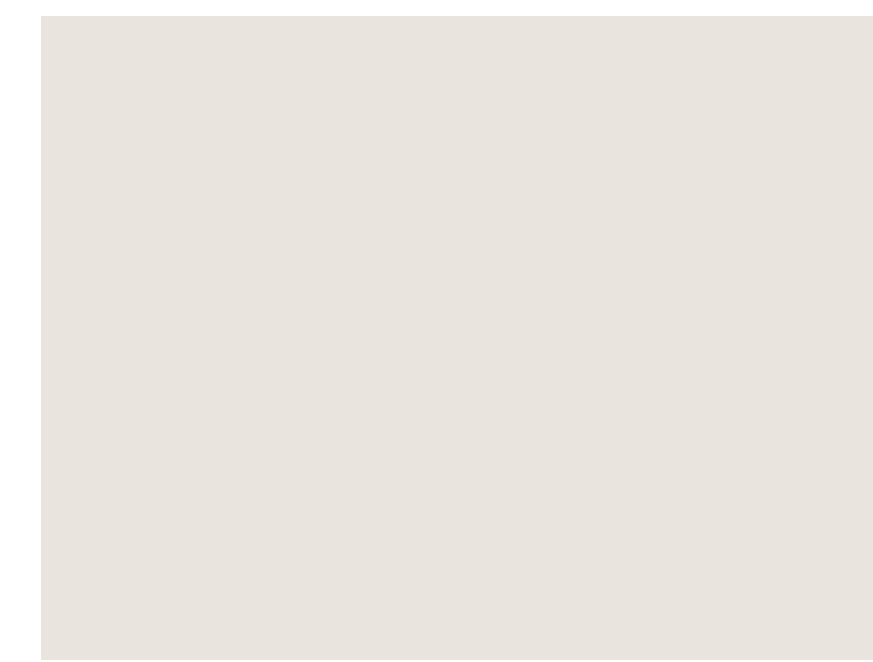
BROWN BRICK
GENERAL SHALE
DUTCH CHOCOLATE



BRICK MORTAR
FLAMINGO
IVORY BUFF / BROWN SAND



INDIANA LIMESTONE
SILVER BUFF - SMOOTH



LIMESTONE MORTAR
ARGOS
TENNESSEE BUFF / OHIO RIVER
MASONRY SAND



APPARATUS BAY DOORS
RAL 3002



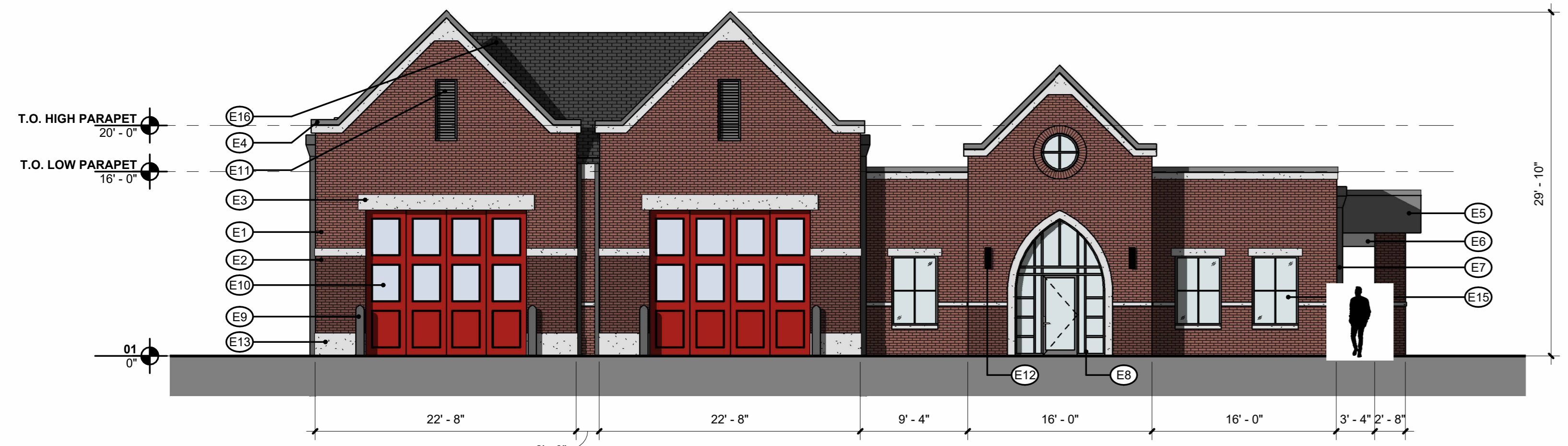
HOLLOW METAL DOORS
SHERWIN WILLIAMS
SW7046 ANONYMOUS



FIBERGLASS WINDOWS
PELLA IMPERVIA
MORNING SKY GREY



ALUMINUM STOREFRONT
CLEAR ANODIZED



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EAST ELEVATION		
	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	2,109 SF	N/A
NET* OF WALL	1,461 SF	100%
PRIMARY MATERIALS (BRICK)	1,160 SF	77%
ACCENT MATERIALS (STONE & SKIM COAT)	222 SF	23%

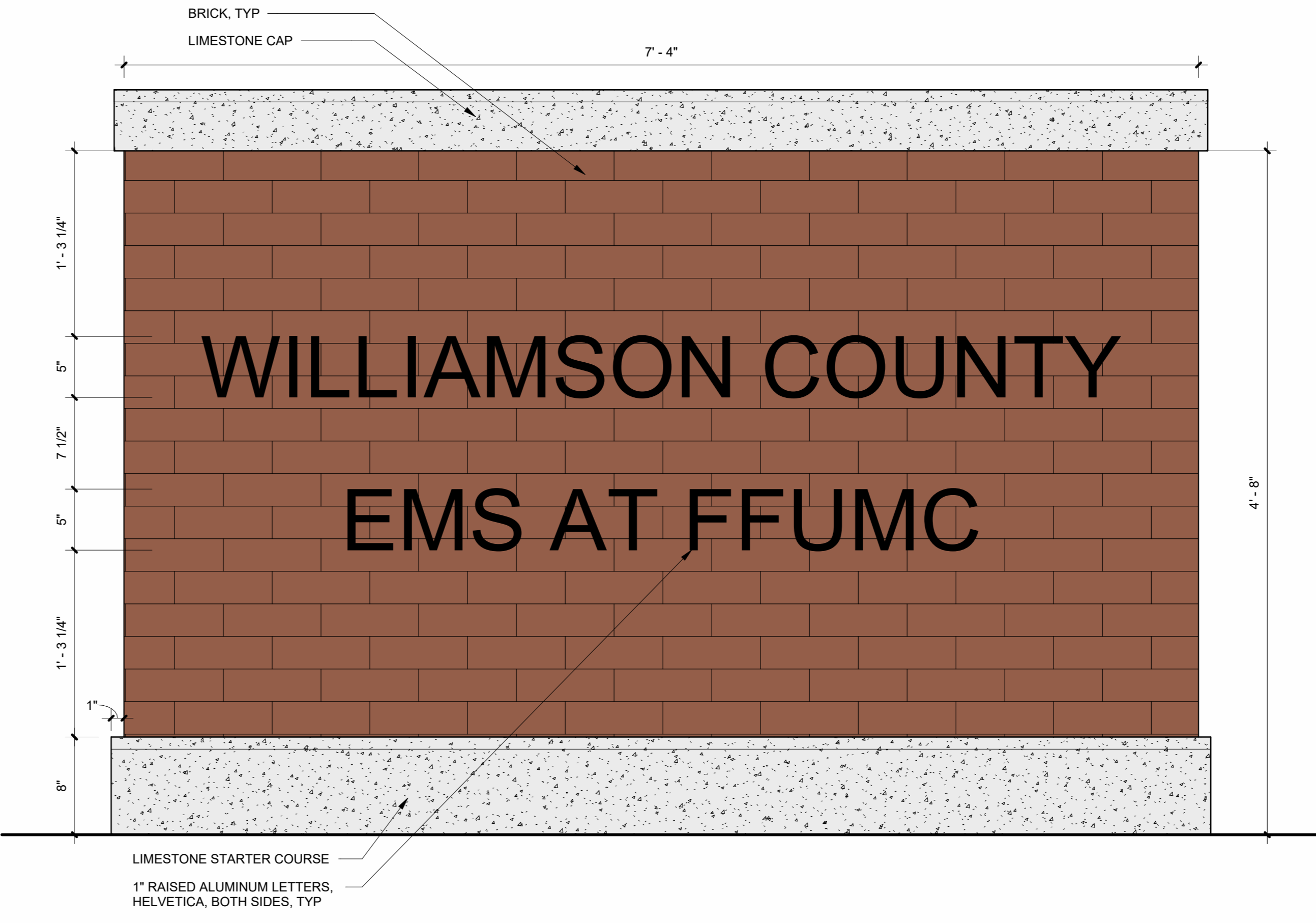
SOUTH ELEVATION		
	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	2,092 SF	N/A
NET* OF WALL	1,643 SF	100%
PRIMARY MATERIALS (BRICK)	1,429 SF	87%
ACCENT MATERIALS (STONE & SKIM COAT)	170 SF	13%

WEST ELEVATION		
	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	2,106 SF	N/A
NET* OF WALL	1,219 SF	100%
PRIMARY MATERIALS (BRICK)	1,013 SF	79%
ACCENT MATERIALS (STONE & SKIM COAT)	151 SF	21%

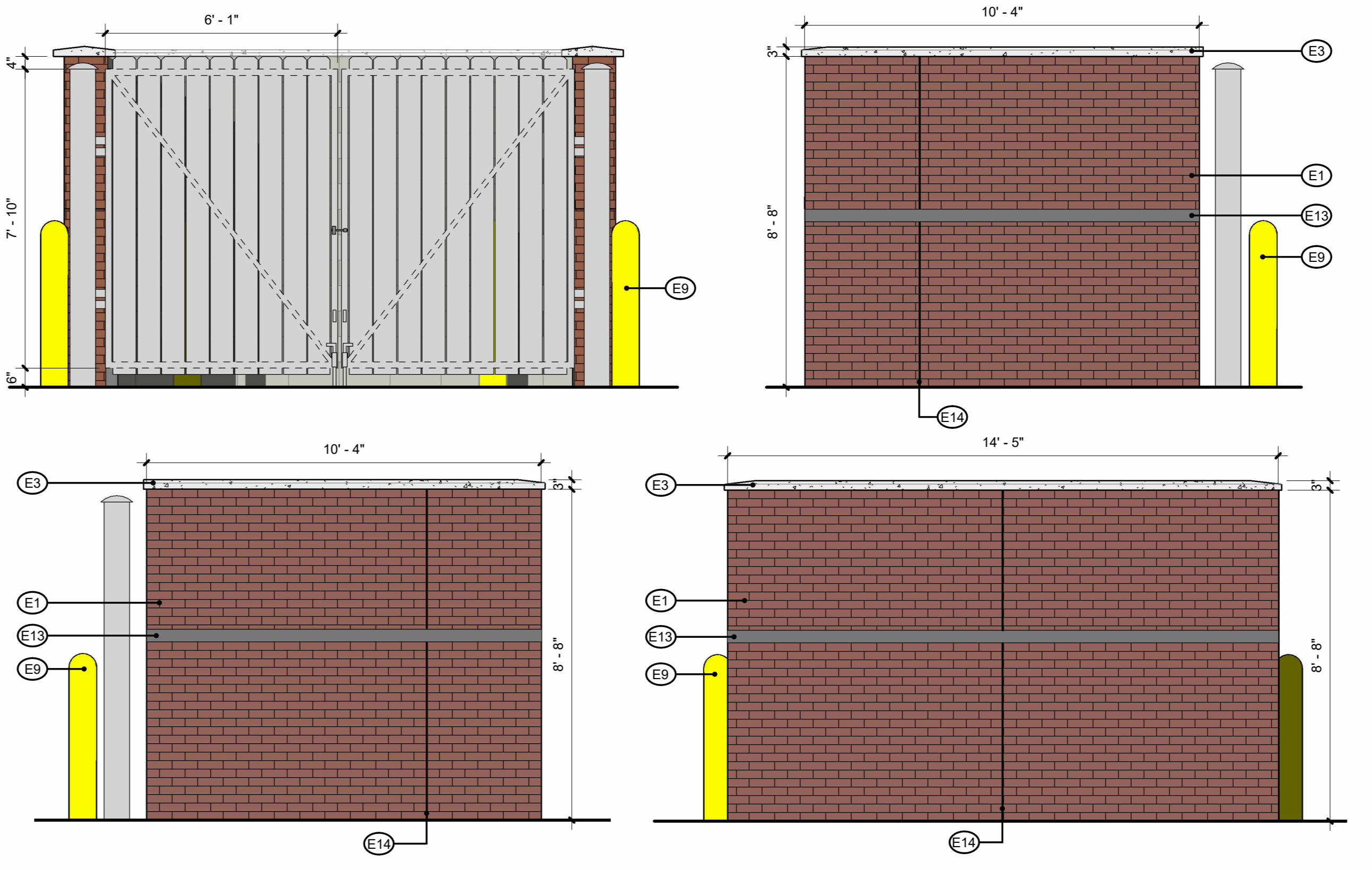
NORTH ELEVATION		
	SURFACE AREA	PERCENT OF NET*
GROSS OF WALL	2,040 SF	N/A
NET* OF WALL	1,509 SF	100%
PRIMARY MATERIALS (BRICK)	1,154 SF	89%
ACCENT MATERIALS (STONE & SKIM COAT)	123 SF	11%

GENERAL NOTES
THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN'S ARCHITECTURAL DESIGN STANDARDS, ZONING ORDINANCE, AND THE APPROVAL OF THE CITY OF FRANKLIN. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY THE CITY OF FRANKLIN.

* EXCLUDES ROOF FORMS, WINDOWS, DOORS, AWNINGS, AND SIMILAR FEATURES



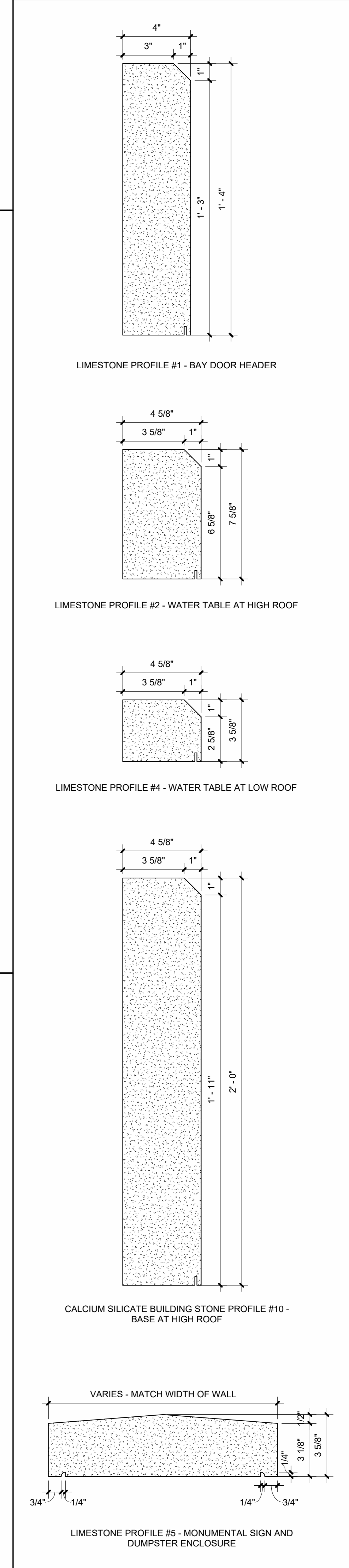
5 MONUMENTAL SIGN - ELEVATION
SCALE: 1 1/2" = 1'-0"



6 DUMPSTER ENCLOSURE ELEVATIONS
SCALE: 3/8" = 1'-0"

KEYNOTES - EXTERIOR	
E1	RED BRICK
E2	BROWN BRICK
E3	LIMESTONE PROFILE
E4	GRAY METAL COPING
E5	GRAY SKIM COAT ON EXTERIOR GYPSUM
E6	WHITE SKIM COAT ON EXTERIOR GYPSUM
E7	GRAY METAL DOWNSPOUT
E8	ALUMINUM STOREFRONT WITH CLEAR GLAZING
E9	PIPE BOLLARD
E10	RED APPARATUS BAY DOORS WITH CLEAR GLAZING
E11	GRAY METAL LOUVER
E12	BLACK ARCHITECTURAL LIGHTING
E13	CALCIUM SILICATE BUILDING STONE
E14	MASONRY EXPANSION JOINT
E15	GRAY FIBERGLASS WINDOW
E16	ASPHALT SHINGLE ROOF SYSTEM
E17	GRAY APPARATUS BAY DOORS WITH CLEAR GLAZING
E18	BLACK EGRESS LIGHTING

CAST STONE PROFILE LEGEND



TMP
4020 Aspen Grove Dr.
Suite 400
Franklin, Tennessee
615.377.9773
8131 Lakewood Main St.
Suite 202
Lakewood Ranch, Florida
941.907.9711
www.TMPPartners.com

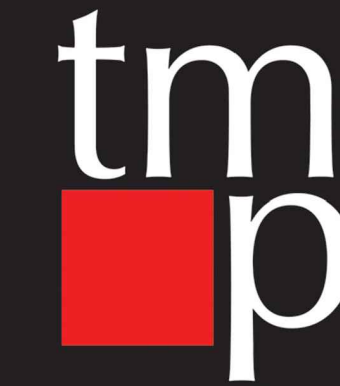
DESIGN DEVELOPMENT - NOT FOR CONSTRUCTION

WILLIAMSON COUNTY FIRE AND RESCUE
EMS AT FFUMC
110 ALDERSGATE WAY
FRANKLIN, TN 37069

REVISIONS	

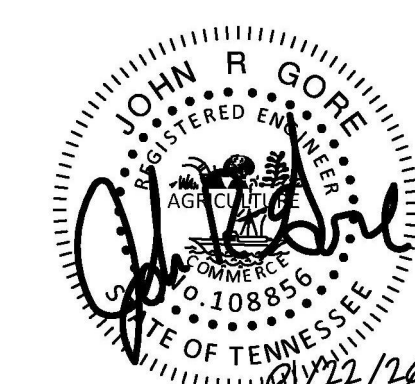
DR. BY LD
CK. BY LF, JE
PROJ. A08221
DATE 01/23/2026
CITY OF FRANKLIN HISTORIC ZONING COMMISSION SUBMITTAL

A400
©TMPARTNERS, PLLC 2026 Page 120 of 176



TMPartners, PLLC
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211 Franklin Road
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Brentwood, TN 37027-5593
615.377.9773 Office
615.370.4147 Fax
www.TMPartners.com



**WILLIAMSON COUNTY FIRE AND RESCUE
EMS AT FFUMC**
110 ALDERSGATE WAY
FRANKLIN, TN 37069

COF no. 8248
PUD
DEVELOPMENT
PLAN
RESUBMITTAL
08-03-2023

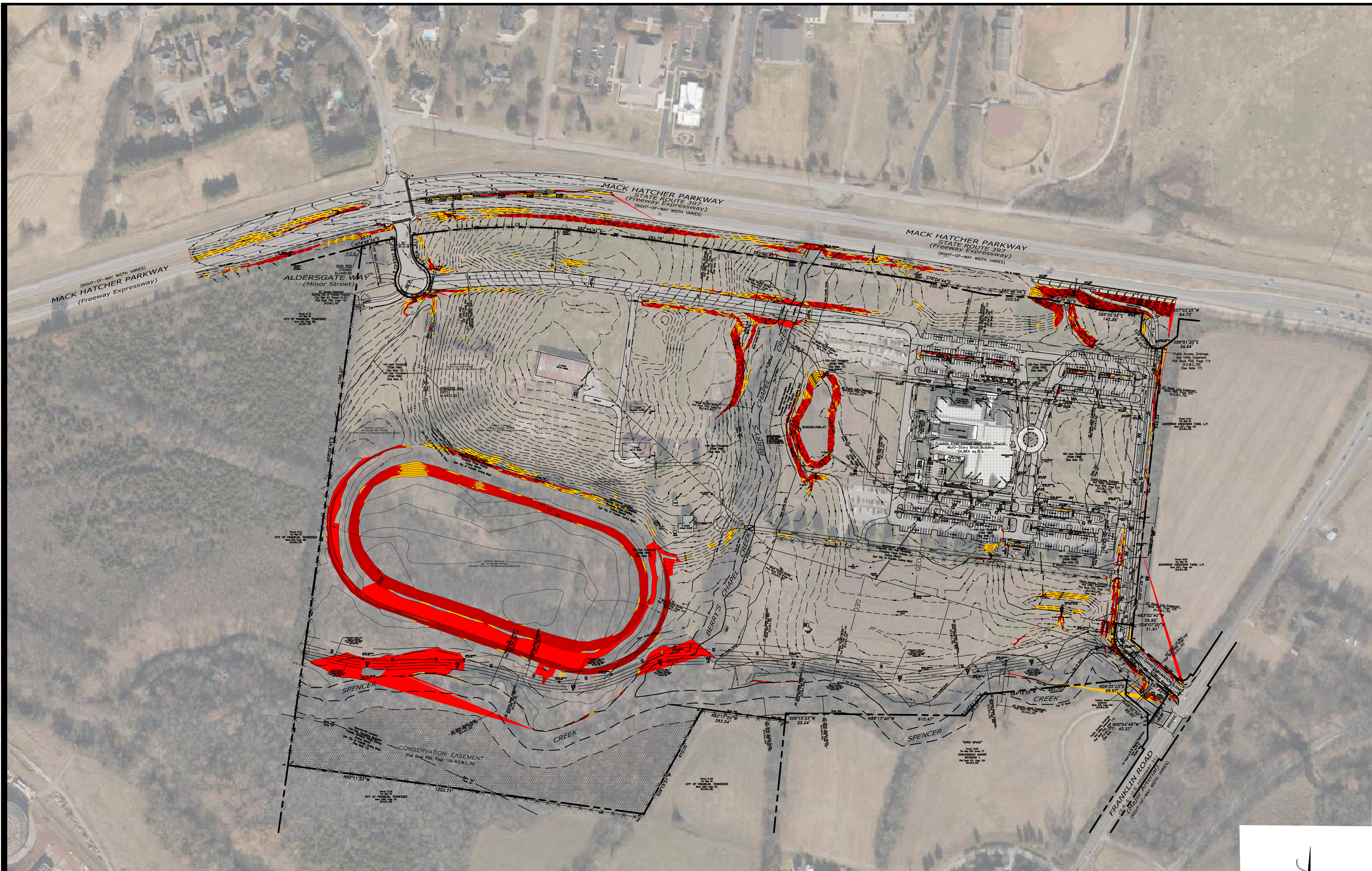
REVISIONS

NO.	DATE	DESCRIPTION

DR. BY	AUTHOR
CK. BY	CHECKER
PROJ. NO.	A08221
DATE	08/03/2023

**EXISTING
CONDITIONS**

C1.00

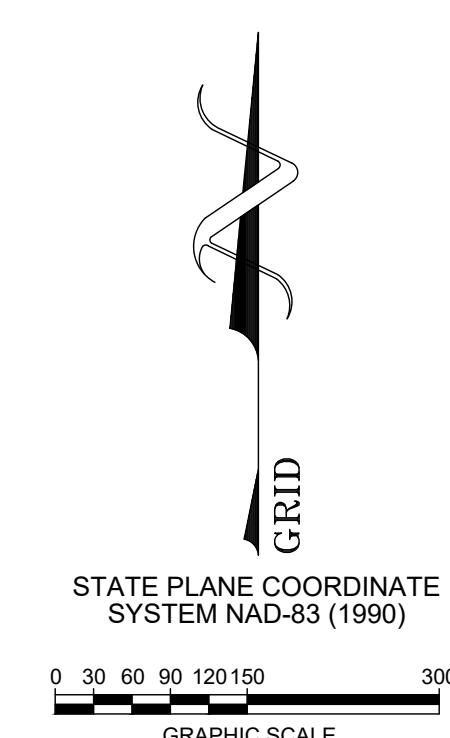


Slopes Table

Number	Minimum Slope	Maximum Slope	Color
1	14.00%	19.99%	Yellow
2	20.00%	>20.00%	Red

GRADING & DRAINAGE DATA CHART

LOT AREA: 104.07 ACRES	PEAK FLOW RUNOFF (CFS) (DISTURBED AREA)
LID AREA: 2.2 ACRES	PRE-DEV.
IMPERVIOUS AREA:	POST-DEV.
EXISTING: 14.3 AC	2 YEAR: 1.433 0.271
PROPOSED: 14.8 AC	5 YEAR: 3.511 0.745
DISTURBED AREA: 2.2 ACRES	10 YEAR: 5.584 1.223
R _v VALUE:	25 YEAR: 9.130 2.052
EXISTING: 0.352 PROPOSED: 0.135	50 YEAR: 11.61 2.645
	100 YEAR: 14.41 3.770



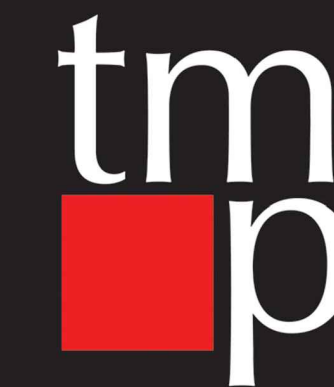
STORMWATER MANAGEMENT PLAN NARRATIVE

EXISTING SOIL TYPES IN THE AREA TO BE DISTURBED BY THIS DEVELOPMENT INCLUDE HYDROLOGIC SOIL TYPES B, C, AND B/D. THE SOIL NAMES ARE ARMOUR SILT LOAM, LINDELL SILT LOAM, AND BRAXTON CHERTY SILT LOAM. CURRENTLY, THE EXISTING SITE IS ALMOST ENTIRELY PAVEMENT AREA WITH THE EXCEPTION OF THE PAVED DRIVEWAY ALONG THE 30FT ACCESS EASEMENT AND THE CUL-DE-SAC THAT IS A PART OF ALDERSGATE WAY. THE PORTION OF STORMWATER COMING FROM THE CUL-DE-SAC ON ALDERSGATE WAY IS TREATED BY AN EXISTING BIORETENTION, AND ALL STORMWATER RUNNING OFF THE SITE RUNS OFF INTO A DITCH WHICH EVENTUALLY MAKES ITS WAY SOUTH TO SPENCER'S CREEK.

EXISTING ZONING:

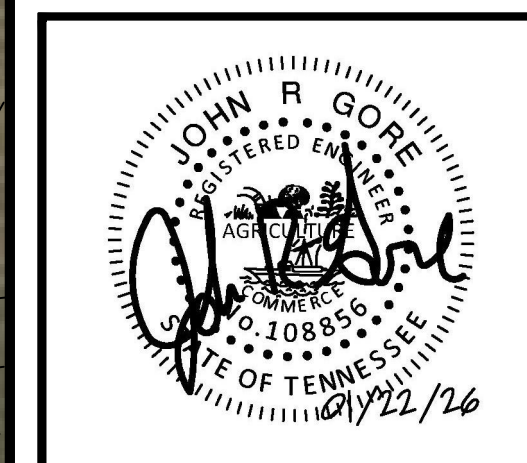
ZONING DISTRICT:
CI- CIVIL AND INSTITUTIONAL

OVERLAY DISTRICTS:
SCO- SCENIC CORRIDOR OVERLAY
CFO- CENTRAL FRANKLIN OVERLAY
HFO- HISTORIC PRESERVATION OVERLAY
FFO- FLOODWAY FRINGE OVERLAY



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**WILLIAMSON COUNTY FIRE AND RESCUE
EMS AT FFUMC**
110 ALDERSGATE WAY
FRANKLIN, TN 37069

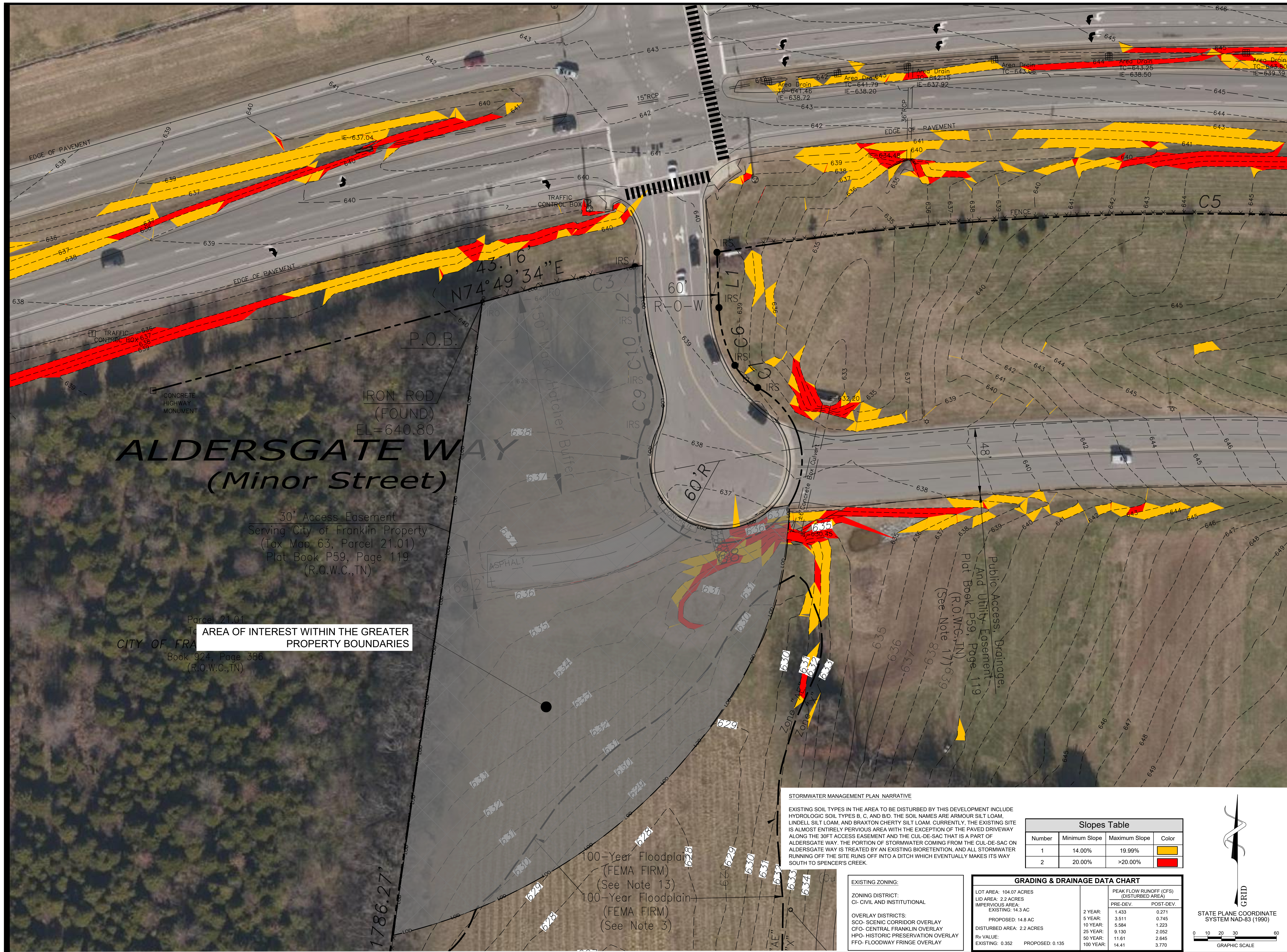
**COF no. 8248
PUD
DEVELOPMENT
PLAN
RESUBMITTAL
08-03-2023**

REVISIONS

DR. BY	AUTHOR
CK. BY	CHECKER
PROJ. NO.	A08221
DATE	08/03/2023

**ENLARGED
EXISTING
CONDITIONS**

C1.10



ALDERSGATE WAY (Minor Street)

30' Access Easement
Serving City of Franklin Property
(Tax Map 63, Parcel 21.01)
Plat Book P59, Page 119
(R.O.W.C.,TN)

Parcel 21.01
CITY OF FRANKLIN
Book 924, Page 386
(R.O.W.C.,TN)

AREA OF INTEREST WITHIN THE GREATER
PROPERTY BOUNDARIES

STORMWATER MANAGEMENT PLAN NARRATIVE

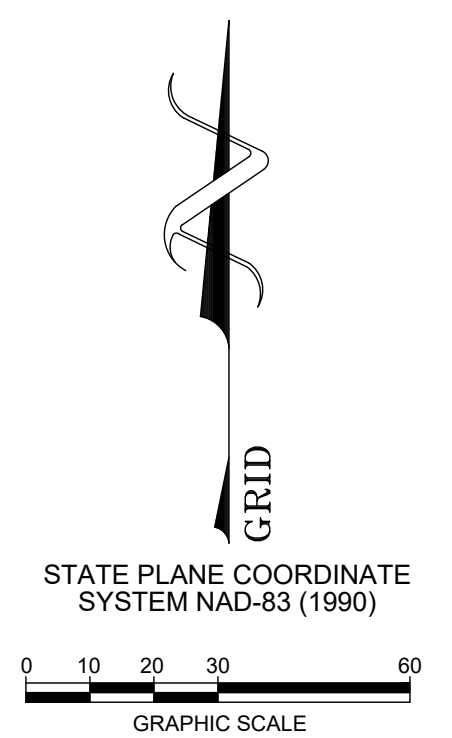
EXISTING SOIL TYPES IN THE AREA TO BE DISTURBED BY THIS DEVELOPMENT INCLUDE HYDROLOGIC SOIL TYPES B, C, AND BID. THE SOIL NAMES ARE ARMOUR SILT LOAM, LINDELL SILT LOAM, AND BRAXTON CHERTY SILT LOAM. CURRENTLY, THE EXISTING SITE IS ALMOST ENTIRELY PERVIOUS AREA WITH THE EXCEPTION OF THE PAVED DRIVEWAY ALONG THE 30FT ACCESS EASEMENT AND THE CUL-DE-SAC THAT IS A PART OF ALDERSGATE WAY. THE PORTION OF STORMWATER COMING FROM THE CUL-DE-SAC ON ALDERSGATE WAY IS TREATED BY AN EXISTING BIOTRETENTION, AND ALL STORMWATER RUNNING OFF THE SITE RUNS OFF INTO A DITCH WHICH EVENTUALLY MAKES ITS WAY SOUTH TO SPENCER'S CREEK.

Number	Minimum Slope	Maximum Slope	Color
1	14.00%	19.99%	Yellow
2	20.00%	>20.00%	Red

EXISTING ZONING:
ZONING DISTRICT:
CI- CIVIL AND INSTITUTIONAL

OVERLAY DISTRICTS:
SCO- SCENIC CORRIDOR OVERLAY
CFO- CENTRAL FRANKLIN OVERLAY
HPO- HISTORIC PRESERVATION OVERLAY
FFO- FLOODWAY FRINGE OVERLAY

Lot Area	ImperVIOUS Area	PEAK FLOW RUNOFF (CFS) (DISTURBED AREA)	
		PRE-DEV.	POST-DEV.
104.07 ACRES	2.2 ACRES	1.433	0.271
EXISTING: 14.3 AC		3.511	0.745
PROPOSED: 14.8 AC		5.584	1.223
DISTURBED AREA: 2.2 ACRES		9.130	2.052
Rv VALUE:		11.61	2.645
EXISTING: 0.352	PROPOSED: 0.135	100 YEAR:	14.41
			3.770



EMENT

ALDERSGATE WAY (Former Street)

30' Access Easement
along City of Franklin Property
(Tax Map 63, Parcel 21.01)
plat Book P59, Page 119
(R.O.W.C.,TN)

MISSISSIPPI

IRON ROD
(FOUND)
EL=640.80

P.O.B.

43.16
N74°49'34"E

150' Mack Hatcher Buffer

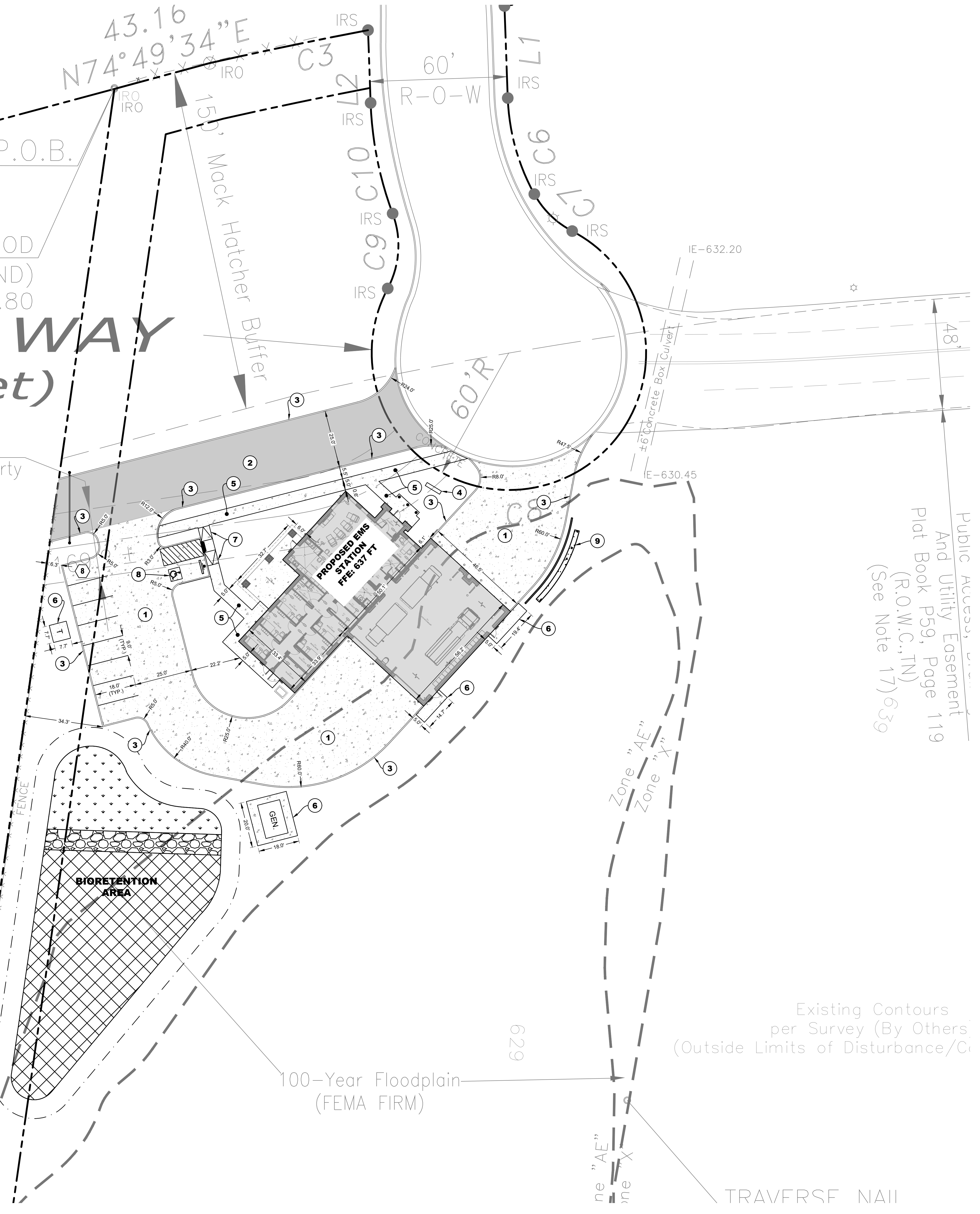
100-Year Floodplain
(FEMA FIRM)

Existing Contours
per Survey (By Others)
(Outside Limits of Disturbance/Construction)

TRAVERSE NAIL

1786.27'

629



SITE KEYNOTES:

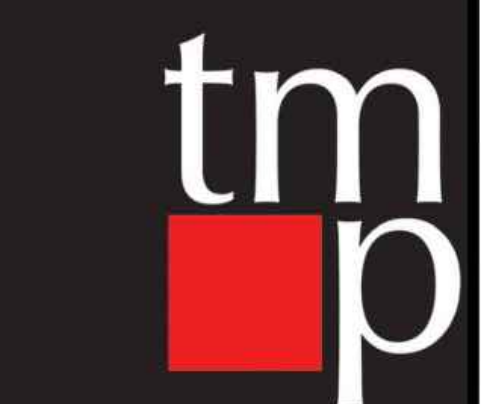
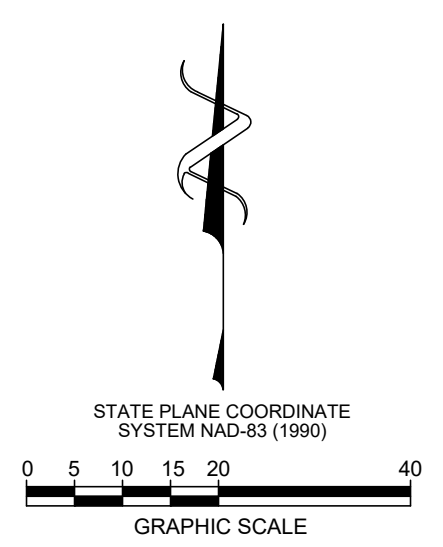
- ① HEAVY DUTY CONCRETE PAVEMENT
 - ② LIGHT DUTY ASPHALT PAVEMENT
 - ③ CONCRETE POST CURB
 - ④ SITE SIGN
 - ⑤ CONCRETE SIDEWALK
 - ⑥ CONCRETE PAVEMENT
 - ⑦ ACCESSIBLE SIDEWALK RAMP
 - ⑧ ACCESSIBLE PARKING SPACE, SIGNAGE AND CONCRETE WHEEL STOP
 - ⑨ CONCRETE RETAINING WALL, DETAIL BY OTHERS
 - # INDICATES NUMBER OF PARKING SPACES PER BAY
- SEE SHEET C___ FOR DETAILS UNLESS OTHERWISE NOTED

SITE DATA TABLE

PROPERTY INFORMATION:	110 ALDERSGATE WAY WILLIAMSON COUNTY, TN 37069
PARCEL I.D.	TAX MAP 63, PARCEL 21.01
ZONING	CI
PROPOSED USE	ESSENTIAL SERVICES
TOTAL PARCEL AREA	104.07 ± ACRES
TOTAL DISTURBED AREA	1.37 ACRES
TOTAL BUILDING AREA	6,180 SF / SINGLE STORY
BUILDING HEIGHT	35.33 FT
SETBACKS	150' FRONT/ 25' REAR/25' SIDE
PROPOSED PARKING:	MINIMUM PARKING REQUIREMENTS
VARIABLE	
PARKING PROVIDED:	
RES. SPACES:	8
ADA SPACES:	1
TOTAL PARKING PROVIDED:	9 SPACES
FEMA DATA FOR PROJECT LOCATION	
THE SUBJECT PROPERTY DOES NOT LIE WITHIN SPECIAL FLOOD HAZARD AREA AS IDENTIFIED ON MAP NUMBERS 47119C0180E AND 47119C0065E OF THE FLOOD INSURANCE STUDY FOR SPRING HILL & MAURY COUNTY, TENNESSEE, DATED APRIL 16, 2007.	
DATUM IS NAVD 1988.	

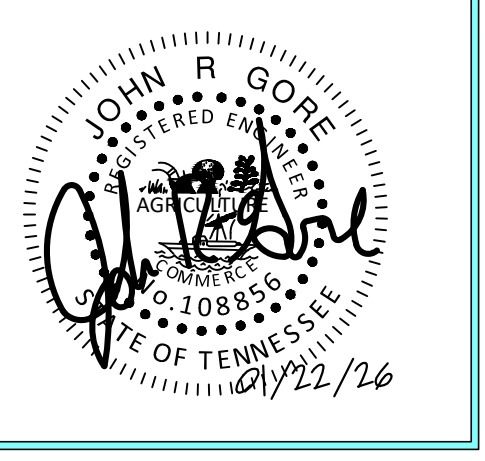
GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR CONTRACTOR CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANIES.
3. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND OBTAIN ALL PERMITS PRIOR TO BEGINNING WORK.
4. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. OBTAIN APPROVAL FROM ENGINEER PRIOR TO ANY DEVIATIONS FROM INTENDED GRADES ON PLANS. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
5. CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH, UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE CLASS "A" (4,000 P.S.I.), UNLESS OTHERWISE NOTED.
6. ALL DAMAGE TO EXISTING ASPHALT PAVEMENT, CURB AND GUTTER, AND CONCRETE SIDEWALKS TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION, SHALL BE REPLACED WITH LIKE MATERIALS AT CONTRACTOR'S EXPENSE.
7. DIMENSIONS ARE TO THE FACE OF CURBS, EDGE OF CONCRETE, OR TO FACE OF BUILDING, UNLESS OTHERWISE NOTED.
8. CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK, THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE NOTED WIRES, THE ELECTRICAL COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
9. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS.
10. IN EASEMENTS AND RIGHTS-OF-WAY, CONTRACTOR SHALL PROTECT AND RESTORE SAID PROPERTY TO A CONDITION SIMILAR OR EQUAL TO THAT EXISTING AT THE COMMENCEMENT OF CONSTRUCTION EXCEPT AS NOTED.
11. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC. AND THE "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION" ISSUED BY THE U.S. DEPARTMENT OF LABOR.
12. CONTRACTOR SHALL SAW CUT ANY SIDEWALKS, CURBS, GUTTERS, DRIVEWAYS, OR PAVED STREETS FOR UTILITY CROSSINGS, AND REPLACE WITH SAME SECTION AND MATERIALS AS EXISTING.
13. NO TREES OR VEGETATION SHALL BE DISTURBED WITHOUT OWNERS APPROVAL.
14. CONTRACTOR SHALL HIGH-PRESSURE WASH PARKING LOT, CONCRETE PAVEMENT, AND SIDEWALKS UPON COMPLETION OF CONSTRUCTION AS NEEDED.
15. CONTRACTOR SHALL NOTE THAT ALL WORK TO BE DONE SUCH AS EXCAVATIONS, TRENCHES, CASSONS, WALKS, ETC. AS INDICATED ON DRAWINGS, IS SHOWN WITHOUT KNOWLEDGE OF UNDERGROUND UTILITIES ON THIS PARTICULAR SITE. THE ARCHITECT / ENGINEER AND OWNER ASSUME NO RESPONSIBILITY FOR DETERMINING THEIR LOCATION, SIZE, DEPTH, OR HAZARD.
16. NO CONSTRUCTION OR STORAGE OF SUPPLIES AND EQUIPMENT SHALL BE PERMITTED OUTSIDE SILT FENCE.
17. ALL CONSTRUCTION ACTIVITIES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA) IN EFFECT AT THE TIME IN WHICH THE CONSTRUCTION ACTIVITIES ARE PERFORMED.
18. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.



TMPartners, PLLC
Architecture Interiors Planning

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www.TMPartners.com



**WILLIAMSON COUNTY FIRE AND RESCUE
EMS AT FFUMC**
ALDERSGATE WAY
FRANKLIN, TN 37069

SITE PLAN

REVISIONS	

DR. BY	AUTHOR
CK. BY	CHECKER
PROJ. NO.	A08221
DATE	

C1.0

Application

This wall mounted luminaire has light output in one direction. Arranged individually or in groups, it is a great design element for a host of lighting applications. Downward orientation only.

Materials

Clear safety glass with matte finish
 Marine grade, copper free (≤0.3% copper content) A360.0 aluminum alloy
 High temperature silicone gasket
 Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations
 Protection class IP 65

Weight: 4.2 lbs.

Electrical

Operating voltage 120-277VAC
 Minimum start temperature -30° C
 LED module wattage 15.4 W
 System wattage 20.5 W
 Controllability 0-10V, TRIAC, and ELV dimmable
 Color rendering index Ra > 80
 Luminaire lumens 1024 lm
 LED service life (L70) 60000hrs

LED color temperature

- 4000K (K4)
- 3500K (K35)
- 3000K (K3)
- 2700K (K27)

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL, custom, and premium colors provided in polyester powder and/or liquid paint.

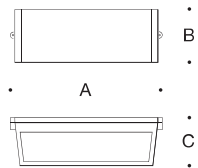
Available colors

Black (BLK)	Bronze (BRZ)
Silver (SLV)	White (WHT)
Natural Bronze (NTB)	RAL:
CUS:	

Type:
 BEGA Product:
 Project:
 Modified:

Available options

AMB	Amber LED
CUS	Custom finish
FSC	Fusing
MGU	Marine grade undercoat
NTB	Natural bronze (premium finish)
RAL	RAL Classic, matte finish



Wall luminaire · Light emission on one side

	LED	A	B	C
B22360	ADA 15.4 W	12 ¹ / ₂	4 ³ / ₈	4



Wall luminaire · Narrow beam upward · Narrow beam downward

BEGA

Application

Wall luminaires with directed narrow beam light distribution on two sides. Arranged individually or in groups, they are great design elements for a host of lighting applications.

Materials

Clear safety glass
 Marine grade, copper free ($\leq 0.3\%$ copper content) A360.0 aluminum alloy
 High temperature silicone gasket
 Mechanically captive stainless steel fasteners
 Pure anodized aluminum reflector

NRTL listed to North American Standards, suitable for wet locations
 Protection class IP 65

Weight: 11.5lbs.

Electrical

Operating voltage 120-277V AC
 Minimum start temperature -30°C
 LED module wattage 25.0W
 System wattage 29.0W
 Controllability 0-10V, TRIAC, and ELV dimmable
 Color rendering index $R_a > 80$
 Luminaire lumens 2465 lm
 LED service life (L70) 60000 hrs

LED color temperature

4000K (K4)
 3500K (K35)
 3000K (K3)
 2700K (K27)

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish

All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish provides superior fade protection in Black, Bronze, and Silver. BEGA standard White is a super durable polyester powder. Optionally available RAL, custom, and premium colors provided in polyester powder and/or liquid paint.

Available colors

Black (BLK)	Bronze (BRZ)
Silver (SLV)	White (WHT)
Natural Bronze (NTB)	RAL:
CUS:	



Wall luminaire · Narrow beam upward · Narrow beam downward

	LED	β	A	B	C	D
B66519	25.0W	18°	6	21 ⁵ / ₈	7 ⁷ / ₈	1 ⁵ / ₈

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com © copyright BEGA 2026 Updated 01/05/26

Type:

BEGA Product:

Project:

Modified:

Available options

CUS	Custom finish
FSC	Fusing
MGU	Marine grade undercoat
NTB	Natural bronze (premium finish)
RAL	RAL Classic, matte finish

Available accessories

B79547 Surface mounted wiring box

See individual accessory spec sheet for details.

Included (available for pre-shipment)

B19537 Narrow opening wiring box



Unmatched strength and lasting durability

Achieve commercial-grade strength and lasting durability for your customers' long-term return on investment. Pella Impervia products are made from our proprietary fiberglass material, the strongest material for windows and patio doors, engineered for lasting durability.¹

Revolutionary hardware

The patented Easy-Slide Operator simply slides to open, without the effort of cranking, on casement and awning windows.

- **73x more impact resistant²**

Pella's fiberglass is 73x more impact-resistant than Andersen's Fibrex windows. You can trust our fiberglass products to be better equipped to stand up to a hammer misfire and other jobsite conditions.

- **Proven performance**

Engineered for the rigorous performance requirements of a commercial building, Pella Impervia products provide outstanding resistance to water, wind and outside noise.³

- **Installation solutions and expertise**

With 100 years in business, we've got you covered with products and installation solutions for your exact situation.

- **Exceptional mulling capabilities**

With both interior and exterior accessory grooves on all Pella fiberglass products, you can create larger, unique combinations specifically for your remodel or new construction project. Our extensive factory-mulled options will come preassembled, saving you time on the jobsite.

Pella® Impervia®

Fiberglass windows and patio doors

Sleek profiles and more glass

Create bold designs from sleek profiles and more glass with our intentionally-designed products made from our exceptionally strong proprietary fiberglass.

- **Up-to-date color palette**

Achieve your design style with up-to-date frame color options, including Black.

- **Tested beyond requirements**

Tested beyond industry standards and to extremes from -40°F to 180°F, our proprietary fiberglass can handle the most extreme heat and sub-zero cold.⁴ Our products are tested beyond industry standards to help ensure less maintenance with fewer callbacks.

- **Durable three-way corner joints**

For added strength, durability and reliable water performance, Pella Impervia products feature corner locks and sashes injected with sealant and fastened with screws.

- **The confidence of a strong warranty⁵**

We know your reputation matters, so we have one of the strongest warranties in the business.

Available in these window and patio door styles:



Special shape windows also available.

^{1,2,3,4,5} See back cover for disclosures.

REFER TO BUILDING
ELEVATIONS FOR
MUNTIN PATTERNS



Delivering unmatched strength, engineered for lasting durability.¹

Pella's proprietary fiberglass vs. Andersen Fibrex^{2,6,7}
Pella Impervia products won't dent, bend or break as much as the competition.

Won't dent.

73x

more impact-resistant

Won't bend.

7.8x

stronger

Won't break.

19x

the tensile strength

Product Specifications

Window & Patio Door Styles	Min. Width	Min. Height	Max. Width	Max. Height	Design Pressure	Performance Values			FL #
						U-Factor	SHGC	HVHZ	
Vent Awning	20"	17-1/2"	59-1/2"	59-1/2"	+50/-50	0.21-0.49	0.16-0.55	No	35281
Fixed Awning	13-1/2"	11-1/2"	71-1/2"	79-1/2"	+50/-50	0.18-0.51	0.18-0.63	No	35284
Vent Casement	17-1/2"	20"	37-1/2" ⁸	79-1/2"	+50/-50	0.20-0.48	0.18-0.55	No	35278
Fixed Casement	13-1/2"	11-1/2"	71-1/2"	79-1/2"	+50/-50	0.18-0.51	0.20-0.62	No	35284
Vent Double-Hung	17-1/2"	29-1/2"	47-1/2"	77-1/2"	LC30-LC50	0.23-0.52	0.19-0.58	No	12600
Vent Single-Hung	17-1/2"	23-1/2"	47-1/2"	77-1/2"	LC40-LC50	0.23-0.51	0.19-0.59	No	12602
Sliding Window (OX, XO)	23-1/2"	11-1/2"	71-11/2"	71-1/2"	LC30-LC50	0.23-0.51	0.19-0.59	No	12604
Sliding Window (XOX)	47-1/2"	17-1/2"	107-1/2"	71-1/2"	LC30-LC50	0.23-0.51	0.19-0.59	No	12604
Fixed Frame Direct Set	11-1/2"	11-1/2"	143-1/2"	143-1/2"	+50/-55	0.15-0.47	0.18-0.69	No	26584
Sliding Patio Door (One Panel)	27"	71-1/2"	50-5/8"	119-1/2"	+50/-50	0.20-0.49	0.19-0.59	No	39352
Sliding Patio Door (Two Panel)	59-1/4"	71-1/2"	95-1/4"	119-1/2"	+50/-50	0.20-0.49	0.19-0.59	No	39352
Sliding Patio Door (Three Panel)	91-7/8"	71-1/2"	145-7/8"	119-1/2"	+50/-50	0.20-0.49	0.19-0.59	No	39352

Window sizes available in 1/8" increments

Maximum square footage rules apply. Maximum width and height cannot exceed the maximum square footage. Special shapes available.
Two and three-panel sliding patio door configurations that are greater than or equal to 95.5" in height will come knock-down and require field assembly.
Knock-down will be optional for two and three-panel configurations until 95.5" in height.

Glass & Additional Energy Efficiency Upgrades

InsulShield® Low-E Glass⁹ Pella Impervia products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states.¹⁰



Advanced Low-E insulating dual- or triple-pane glass with argon



Advanced Comfort Low-E insulating dual-pane glass with argon



Natural Sun Low-E insulating dual- or triple-pane glass with argon



Natural Sun+ Low-E insulating dual-pane glass with argon

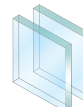


SunDefense™ Low-E insulating dual- or triple-pane glass with argon



SunDefense+™ Low-E insulating dual-pane glass with argon

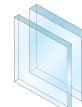
Additional Glass Options



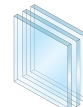
Tempered glass



Laminated (non-impact-resistant)†, tinted‡ or obscure glass also available on select products



STC (Sound Transmission Class) dual-pane sound control glass‡



Triple Pane‡



Impact-resistant glass‡,15

Foam Insulation Options

Optional foam-insulated frame and sash are available to increase energy efficiency.



Color & Finishes

Frame Colors

Our long-lasting powder-coat finish resists chipping and fading and meets AAMA 624, which is a highly-rated fiberglass finish that will never need to be repainted or refinished.

Solid-Color:



Dual-Color:



Window Hardware

Casement & Awning

The patented Easy-Slide Operator is a revolutionary way to operate casement and awning windows. Simply slide to open, without the effort of cranking. With precision venting technology, the window will open to an exact location. Or select the fold-away crank, that folds neatly away, against the window frame. Neither solution will interfere with roomside window treatments.

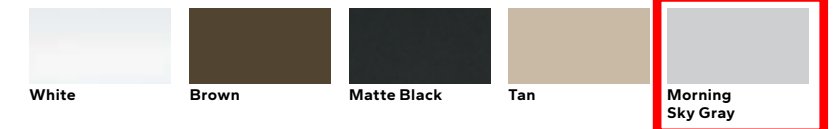


Easy-Slide Operator



Fold-Away Crank

Color-Matched Finishes:



Additional Finish:¹⁶



Satin Nickel

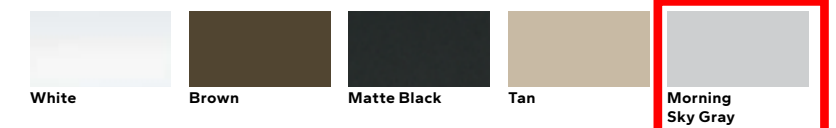
Sliding, Single & Double-Hung

Pella's cam-action lock pulls the sashes against the weatherstripping on single-hung, double-hung and sliding windows for a tighter seal.

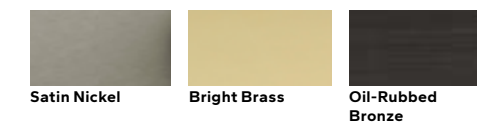


Cam-Action Lock

Color-Matched Finishes:



Additional Finishes:



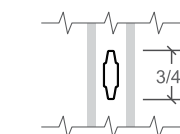
Satin Nickel

Bright Brass

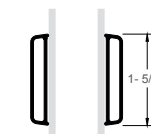
Oil-Rubbed Bronze

Grilles

Grilles are color-matched to window or patio door interior and exterior frame color.



Aluminum Grilles-Between-the-Glass 3/4"¹⁷



Applied Grilles¹⁸

Property Description

This property is 104 acres, bounded by Mack Hatcher Parkway to the north, vacant land to the east and west and Spencer Creek to the south. There is a smaller creek, Berry's Chapel Creek which bisects the site running north to south.

The address of this property is 110 ALDERSGATE WAY, WILLIAMSON
COUNTY, TN 37069
PARCEL(S): TAX MAP 63, PARCEL 21.01

The eastern half of this property contains The First Franklin United Methodist Church and associated parking. The western half of the site is mostly undeveloped with a small metal barn and gravel driveway. The new Williamson County Fire and Rescue EMS project is proposed on 1.75 acres at the northwest corner of the site. Site access is proposed off of the cul-de-sac at Aldersgate Way which runs south from Mack Hatcher Parkway.

OWNER AFFIDAVIT
City of Franklin, Tennessee

We/I Ronald Evan Styers, Trustee Chairperson
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

Tax Map 63, Parcel 21.01

(Property Parcel/Tax ID Number)

and located at:

120 Aldersgate Way

(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

John Gore ;

(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

Ronald Evan Styers
Signature

120 Aldersgate Way
Property Owner Mailing Address

Franklin TN 37069
City, State & Zip

Subscribed and sworn to before me this

22nd day of June, 2023.

Deborah Van Solingen
Notary Public

My Commission Expires: May 3rd 2027



My Commission Exp. May 3, 2027



LOOKING NORTH



LOOKING EAST



LOOKING NORTH EAST



LOOKING SOUTH EAST



LOOKING EAST



LOOKING WEST



HISTORIC
FRANKLIN
TENNESSEE

Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

Address: 203 3rd Ave. S. (Downtown Franklin Historic District)
Applicant: Cornerstone Presbyterian Church, Rep. Dan Fielder
Owner: Cornerstone Presbyterian Church, Rep. Dan Fielder
Project #: 9016
Type of Work: Consideration of Signage (Sandwich Board Sign)

Status: Approval with conditions
(See “**Approved Work Specifications**” Below)

Approval Date: January 5, 2026
Expiration Date: January 5, 2028 (if work has not commenced)
Reviewed By: Elizabeth Bulay

APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for a sandwich board sign to act as a convenience sign.

The Guidelines allow for administrative approval of sandwich board signs if all recommendations are met.

- **Location:** The Guidelines state that sandwich board signs shall be placed on the sidewalk in front of the retail storefront/tenant space and shall maintain 48 inches of sidewalk clearance for pedestrian circulation. The proposed sandwich board sign is to be placed on private property, not in the public right of way.
- **Quantity:** The Guidelines state that a maximum of one per retail store front/tenant space is recommended. The sandwich board sign is the second sign of the recommended three sign maximum for a building. The proposed quantity is appropriate.
- **Sign Area:** The Guidelines state the recommended sign area maximum is 6 sq. ft. per side. The proposed sign area is 24” by 36”, or 6 sq. ft. The proposed sign area is appropriate.
- **Height:** The Guidelines state that the maximum height shall be 4 feet at the top of the sign area. The proposed sign height is 3 feet. The height is appropriate.
- **Material:** The Guidelines state that the material should be a finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The

proposed sign consists of a metal material. The finish is noted to be a gloss laminate and is not appropriate.

- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed sign utilizes a black background with gold lettering. The colors are appropriate.
- **Illumination:** No illumination is permitted. No illumination is proposed.

APPLICABLE GUIDELINES

Chapter 8 – Signs

APPROVED WORK SPECIFICATIONS

The sandwich board sign is **approved** with the following conditions:

- The sandwich board sign must utilize a matte finish.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

Emily Huffer | Preservation Planner

Planning & Sustainability Department

City of Franklin, Tennessee

615.550.6795 | <http://www.franklintn.gov/>



THE CORNER HOUSE

PARKING ONLY

From: [dan fiedler](#)
To: [Elizabeth Bulay](#)
Subject: Re: 203 3rd Ave S. - Sandwich Board Sign COA Review Questions
Date: Monday, December 29, 2025 3:00:14 PM
Attachments: [image001.png](#)

ATTENTION COF staff: This email originated from outside the City of Franklin. Please use discretion when clicking on attachments & links from unknown senders or suspicious emails.

Elizabeth,

Thanks for the email. I hope you had a great Christmas.

The sign is 36 inches in height and 24 inches in width. There is no frame.

The material of the sign is as follows. (this is from fast signs where it was created)

Dibond/Max Metal 3mm
Vinyl - Calendered (Overlay) 3M IJ35/HP Air Gloss
Gloss Laminate HP

Please let me know if you need anything else. Happy New Year!

-Dan

On Mon, Dec 29, 2025 at 2:41 PM Elizabeth Bulay <elizabeth.bulay@franklin.tn.gov> wrote:

Good afternoon Dan!

I hope you are doing well and ready for the New Year! There is just a little more information that is needed/ needs to be confirmed to complete the review of the Sandwich Board Sign application for 203 3rd Avenue South. Please see the list below!

- Please confirm the dimensions of the sign face (height and width)
- Please confirm the material of the sign face and sign frame

Once this information is confirmed, the review can be completed. If you have any questions or concerns, please let us know. Thank you and Happy New Years!

OWNER AFFIDAVIT
City of Franklin, Tennessee

We/I Cornerstone Presbyterian PCA, Inc
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

05100
(Property Parcel/Tax ID Number)

and located at:

203 3rd Ave. South Franklin, TN 37064
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Dan Fiedler
(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Signature]
Signature

203 3rd Ave. South Franklin, TN 37064
Property Owner Mailing Address

City, State & Zip

Subscribed and sworn to before me this

22 day of February, 2024.

[Signature]
Notary Public

My Commission Expires: 02/23/25





Project Overview

#1968037

Project Title: 203 3rd Ave South Franklin, TN 37064

Jurisdiction: Franklin

Application Type: 08b) Administrative Certificate of Appropriateness (COA)

State: TN

Workflow: COA Administrative Default

County: Williamson

Required Administrative Review COA Application Supporting Materials

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

Signage:

- Description of project
- Specification information that illustrates how proposed signage will look, including notes on dimensions, height from grade, materials, and colors
- Photographs of installation locations
- Signed and notarized owner affidavit

Rear Yard Fencing:

- Description of project
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
- Site plan that demonstrates proposed location/perimeter of fencing
- Photographs of project site location
- Signed and notarized owner affidavit
- **Note: Primary yard fencing does not qualify for administrative review**

Awnings:

- Description of project
- Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
- Specification information for proposed awning materials
- Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
- Signed and notarized owner affidavit

HVAC Equipment and/or Related Screening:

- Description of project
- Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
- Site plan demonstrating proposed location of equipment and/or screening
- Photographs of project site location
- Signed and notarized owner affidavit

Minor Alterations:

- Description of project
- Specifications for all materials within scope of work

- Site plan/Aerial Image of the project location demonstrating visibility from public view
- Photographs and documentation of the existing conditions within scope of work
- Renderings and Plans of proposed work
- Signed and notarized owner affidavit

Note: The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

Owner Affidavit

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

Contact Information - Project Contact

Project Contact

Dan Fiedler
 Cornerstone Presbyterian Church
 203 Third Ave South
 Franklin, TN 37064
 P:6156184707
dan@cstonepres.org

Property Owner

Property Owner

Dan Fiedler
 Cornerstone Presbyterian Church
 203 Third Ave South
 Franklin, TN 37064
 P:6156184707
dan@cstonepres.org

Address

Project Address or Parcel: 203 3RD AVE S (078C-F05100)

Calculated Acreage: Parcel

- 203 3RD AVE S: 0.44944833

Scenic Corridor Overlay:

Hillside/Hillcrest Overlay:

Flood Fringe Overlay:

500ft Buffer of Hillside Overlay:

Type of Work Proposed: Signage

Height of Overall Sign: 3

Columbia Avenue Overlay:

Zoning District: Zoning Districts

- 203 3RD AVE S: OR

Central Franklin Overlay: Central Franklin Overlay

- 203 3RD AVE S: Central Franklin Overlay District

Historic Preservation Overlay: Historic Preservation Overlay

- 203 3RD AVE S: Historic Preservation Overlay

Floodway Overlay:

Type of Signage Proposed: Sandwich Board Signage

Height of Sign Face or Sign Area: 3

Indicate shape/dimensions of window or door over which proposed awning will be affixed.: Fence Material:

HVAC Type:

Narrative

Project Description:

An A frame sign located on private property towards the front of the entrance of the parking lot. This entrance is on Church Street and not at the front of the building on 3rd Ave S. The sign simply says "The Corner House Parking Only" and has a logo of Cornerstone Presbyterian Church.



HISTORIC
FRANKLIN
TENNESSEE

Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

Address: 103 1st Ave. N. (Downtown Franklin Historic District)
Applicant: Michael Evans, Park Happy
Owner: First & Main, LLC., Rep. Steve Bacon
Project #: 9017
Type of Work: Consideration of Signage (Convenience)

Status: Approval with conditions
(See “**Approved Work Specifications**” Below)

Approval Date: January 12, 2026
Expiration Date: January 12, 2028 (if work has not commenced)
Reviewed By: Elizabeth Bulay

APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the reface of existing convenience signs located at 103 1st Avenue North.

The Guidelines allow for administrative approval of post-and-arm signs if all recommendations are met.

- **Location:** The Guidelines state that the placement location is at the minimum setback at the property line. The existing signs are located near the entrance and exit drive aisles on the property are not proposed to change. The sign location is appropriate.
- **Quantity:** The Guidelines state that a maximum of one per entrance and one per exit. The quantity of signs existing is one per entrance and one per exit of the drive aisles and is not proposed to change. The quantity is appropriate.
- **Sign Area:** The Guidelines state that the recommended sign area maximum is 4.5 square feet and may have up to 2 sides. The existing signs are 1 sided and are 3 sq. ft., or 18” x 24”. The proposed signs will be 2-sided and remain 3 sq. ft., or 18” x 24”.
- **Height:** The Guidelines state that signs can be a maximum height of 4 feet. The existing signs are installed on 48” tall posts and are not proposed to change. The height is appropriate.
- **Material:** The Guidelines state that signs should consist of a finished wood or metal with matte background finishes rather than reflective or shiny background finishes. The

proposed signs will be a finished metal material and will utilize a matte finish. The materials are appropriate.

- **Color:** The Guidelines state that a maximum of 3 colors, and with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed signs utilize a darker background, lighter lettering, and minimal accents of yellow, blue, and red. The colors are appropriate.
- **Illumination:** No illumination is proposed.

APPLICABLE GUIDELINES

Chapter 8 – Convenience Signs

APPROVED WORK SPECIFICATIONS

The convenience signs are **approved** with the following conditions:

- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

Emily Huffer | Preservation Planner
Planning & Sustainability Department
City of Franklin, Tennessee
615.550.6795 | <http://www.franklintn.gov/>

PARKING CONTRACT

Read these Terms and Conditions Prior to Parking

Important! By parking here you agree to be bound by this contract, whether you read these Terms or not.

This facility provides parking only and is only for parking customers. It does not provide security to persons or property. You are solely responsible for your safety. We do not take custody of your vehicle. Park at your own risk. We accept no responsibility for loss, theft or damage to vehicles or contents. Please check your surroundings for safety risks. If you see any hazards, such as snow, ice, cracked pavement, uneven or slick surfaces, do not use this facility.

By this sign, we offer space for public parking, and you accept this offer by parking on this lot. We waive all requirements of notice of acceptance. This contract requires binding arbitration on an individual basis to resolve disputes, specifically waives the right to a jury trial, class actions and class arbitrations, and also limits the remedies available to you in the event of a dispute.

No Trespassing or Loitering. Parking compliance is monitored 24/7. Vehicles out of compliance are subject to towing, booting, and parking invoice charges at the owner's sole expense. You must pay the correct rate, in advance, for the total number of stalls used. Neither payment to unauthorized persons or to different facilities will be honored. Your payment is valid for one use only; exiting and reentering is not allowed. Validated or free parking privileges, if provided, are limited to a single use per day, per vehicle. Vehicles parked outside designated stalls, blocking the drive aisles, or in violation of posted signs, such as "Reserved", "Compact", "EV Charging", or "Handicap" stalls, are improperly parked.

To park on this facility, you are required to register, submit identifying information, and make timely payment if required. Failure to identify yourself during registration is the same as submitting false or blank information. If you fail to register, submit accurate information, or make timely payment if required, the facility owner and its agents may obtain the registered owner information, including name and address for the vehicle you are driving, from the applicable state authority, for the purpose of preventing fraud by you, pursuing legal remedies against you, or recovering on a debt owed by you. We may also use this information in connection with any legal or arbitral proceeding, including the service of process, investigation in anticipation of litigation, and the execution or enforcement of judgments and orders, or pursuant to an order of a Federal, State, or local court.

If a parking invoice is issued for violating these terms, the amount due is calculated by subtracting the amount you paid from the 24-hour parking rate. When the amount you paid is unknown, that amount is assumed to be zero.

LATE FEES APPLY AFTER 72 HOURS

A late fee of up to \$50 will be assessed if the invoice remains unpaid after 72 hours.

An additional late fee of up to \$25 will be assessed if the invoice remains unpaid after 30 days.

Automated License Plate Recognition Cameras may be in operation. By parking here, you consent to receive SMS text messages, emails, and other forms of written communication for compliance purposes.

If you receive an invoice and wish to dispute it, please follow the directions on your invoice.

If you do not agree to these Terms you may leave within 5 minutes—without parking—at no charge.



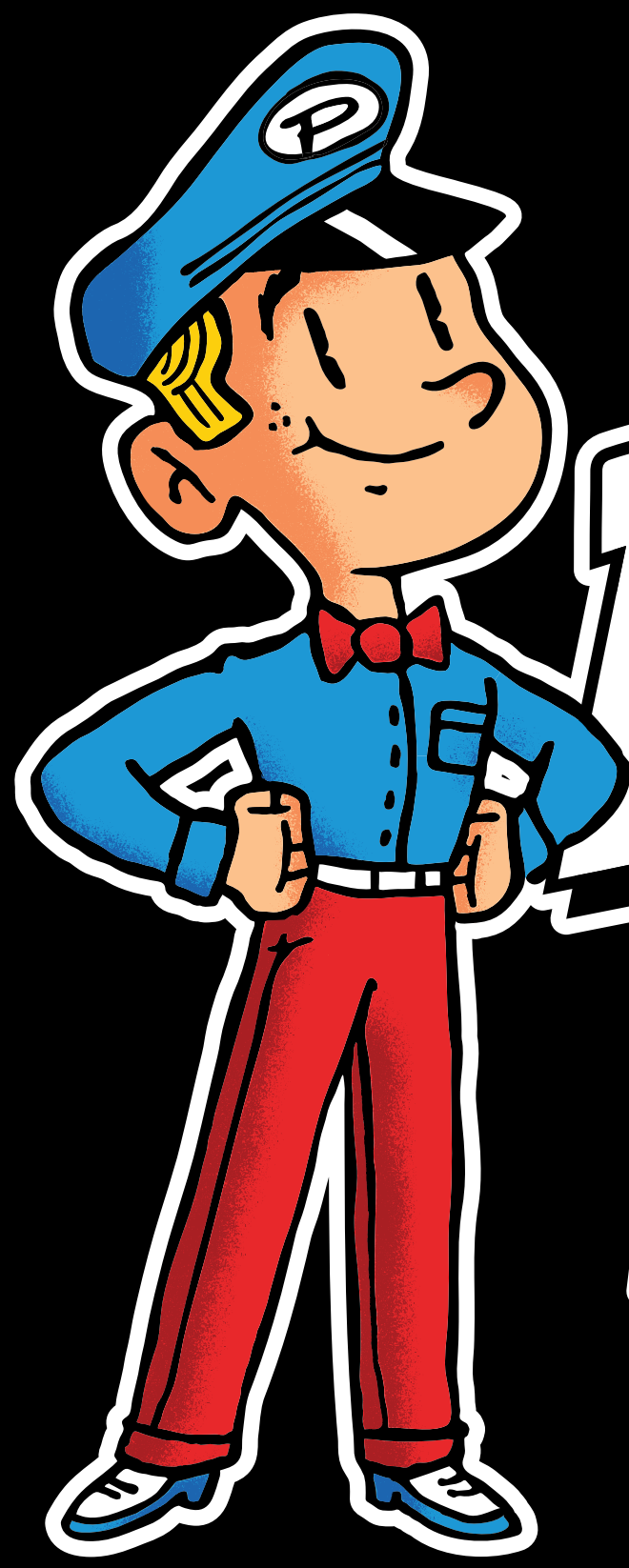
*Don't forget, as soon as
you park you must*

*text **132** to
615-777-9797*



then follow the prompts.

www.parkhappy.com



PARK HAPPY LLC

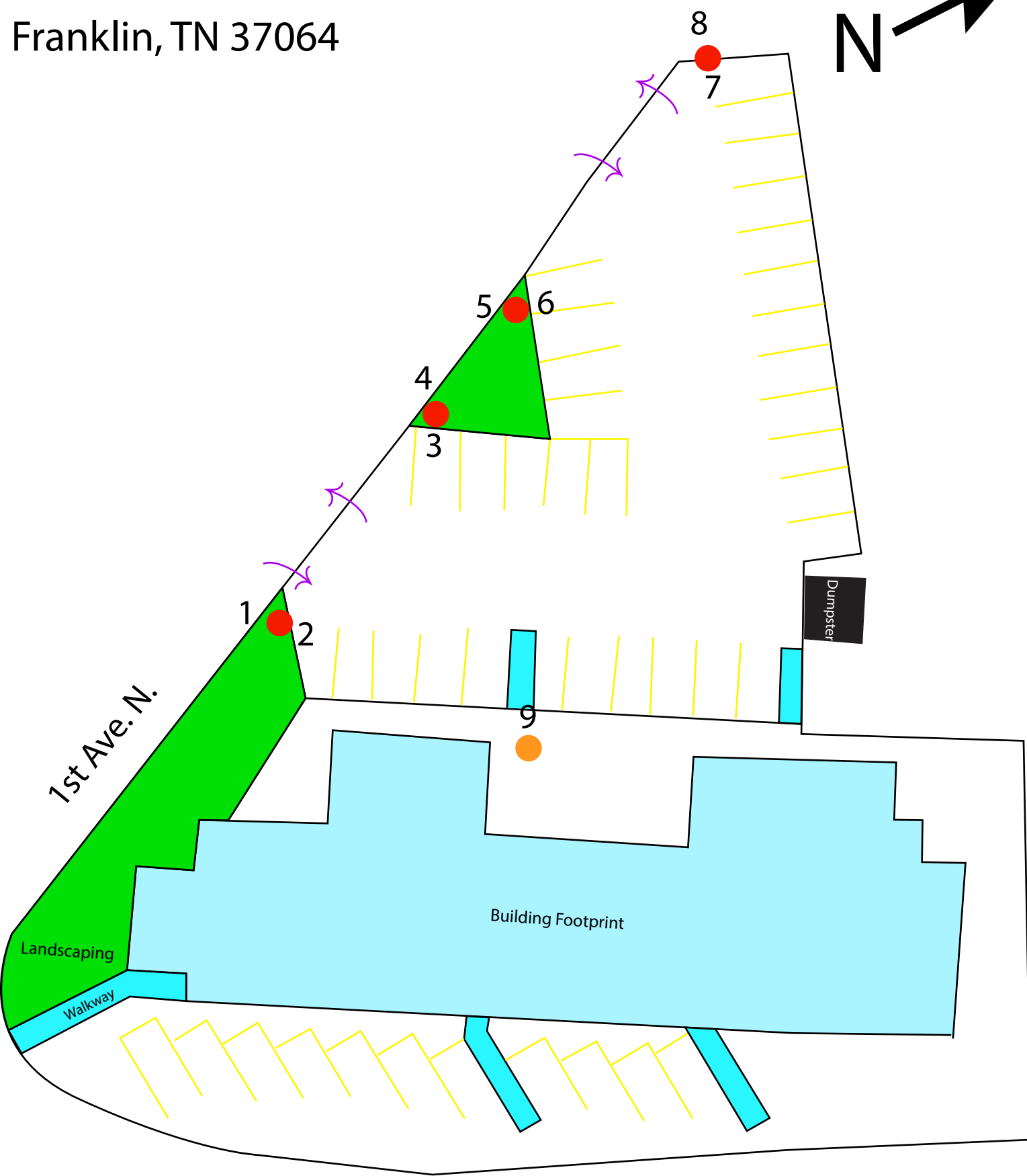
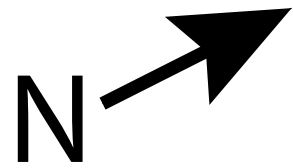
Don't forget...

*Everyone who parks must
text **132** to **615-777-9797***

*Either validate inside or
pay before walking away!*

*The friendly
parking people!*

94-98 E. Main St.
Franklin, TN 37064



E. Main Street

Signs Details

All signs will use an aluminum blank as the substrate and will be faced with a matte vinyl sticker. All posts are 2” square steel painted a matte black.

1. **New Work** 18x24” Parking Contract sign on a previously approved 48” tall post. This sign will be installed on the street-facing side to comply with T.C.A. § 55-31-203: ...[late fee sign] is located at each designated entrance and exit of the commercial parking lot.
2. **New Work** 18x24” Validate Inside sign on a 48” tall post.
 - a. This sign and post were previously approved and are currently installed; however, we propose to reinstall this post so as to make the signs parallel to 1st Ave. N. The post is currently installed in a manner that makes the approved sign sit at a 45-degree angle to 1st Ave. N. The post currently has a sign installed only facing into the parking lot but is proposed to have a sign on both sides.
 - b. The sign will be refaced from a Disclaimer sign to a Validate Inside sign.
3. **New Work** 18x24” Parking Contract sign on previously approved 48” tall post. This sign will be installed on the lot-facing side to comply with T.C.A. § 55-31-203: ...[late fee sign] is located at each designated entrance and exit of the commercial parking lot. It will replace a previously approved 18x24” Disclaimer sign.
4. **New Work** 18x24” Validate Inside sign on previously approved 48” tall post. The street-facing side of this post has been blank since installation.
5. **New Work** 18x24” Parking Contract sign on a previously approved 48” tall post. This sign will be installed on the street-facing side to comply with T.C.A. § 55-31-203: ...[late fee sign] is located at each designated entrance and exit of the commercial parking lot.
6. **New Work** 18x24” Validate Inside sign on a 48” tall post. Was approved as a Disclaimer sign; re-facing.
7. **New Work** 18x24” Parking Contract sign on previously approved 48” tall post. This sign will be installed on the lot-facing side to comply with T.C.A. § 55-31-203: ...[late fee sign] is located at each designated entrance and exit of the commercial parking lot. It will replace a previously approved 18x24” Disclaimer sign.
8. **New Work** 18x24” Validate Inside sign on previously approved 48” tall post. The street-facing side of this post has been blank since installation.
9. **Previously Approved** 12x18” Pay sign. No change.

OWNER AFFIDAVIT
City of Franklin, Tennessee

We/I Steve Baroo, agent for owner First & Main LLC
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

063N B 06000 00009078C
(Property Parcel/Tax ID Number)

and located at:

103 1st Ave N.
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

PARK HAPPY LLC
(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Signature]
Signature

First & Main LLC c/o Hamilton Young LLC, 198 E Main St, Ste 101
Property Owner Mailing Address

Franklin, TN 37064
City, State & Zip

Subscribed and sworn to before me this

6th day of November, 2025.

Houston Morris
Notary Public

My Commission Expires: 2-21-27





Project Overview #1925742

Project Title: 103 1st Ave N. Signage (Convenience)
Application Type: 08c) Certificate of Appropriateness (COA)
Workflow: COA Default
Jurisdiction: Franklin
State: TN
County: Williamson

Required Application Supporting Materials

FRANKLIN HISTORIC DISTRICT GUIDELINES

The Franklin Historic District Design Guidelines provide guidance for proposed changes that impact the exterior of sites including new construction, alterations, additions, fencing and walls, site elements, and more. A Certificate of Appropriateness (COA) application is reviewed by the Historic Zoning Commission (HZC). The HZC meets on the second Monday of every month. Please consult the meeting dates and application deadlines to ensure you are able to attend the meeting. The HZC consults the design criteria when reviewing applications for COAs.

Please refer to the Historic District Design Guidelines prior to submitting an application. The Guidelines, meeting dates and deadlines, and more information is available on the City website at www.franklinton.gov/historicpreservation.

Please note, an application can not be reviewed by the Historic Zoning Commission unless the property owner or authorized applicant, listed on the owner affidavit, is present at the meeting.

REQUIRED APPLICATION SUPPORTING MATERIALS

Please consult the list below for the necessary supporting materials to include within COA application packets.

New Construction, Additions, and/or Porch/Deck Projects

- Description of project and proposed materials.
Site Plan
Lot survey to substantiate required setbacks, as applicable.
Scaled architectural elevations or drawings. Include a scaled 6-foot human silhouette for new construction.
Photographs of project site location.
Window specifications - 3D window diagram with the historic profile details and dimensions (sill, trim, insets from the exterior wall), proposed window manufacturer, window model, and window materials.
3D Elevations.
Block Face view of the surrounding properties as well as across the street.
Dimensions on drawings. In addition to standard dimensions, please provide the following dimensions: height from grade of proposed construction and existing height of structures on the property. Additional dimensions may be requested to be supplemented.
Square footage of proposed additions/new construction. The square footage of the principal historic structure's footprint is required and any other existing structures on the property for additions and new construction.
Signed & notarized Owner Affidavit (if the property owner is authorizing someone else to represent them).

Exterior Alterations

- Description of project and proposed materials.
Photographs of project site location.
Architectural elevations or drawings.
Specification information for any proposed materials/architectural features.

- 3D window diagram with the historic profile detailed, sill, trim, insets from the exterior wall.
- Documentation of earlier historic appearance (for restoration only).
- Signed & notarized Owner Affidavit (if the property owner is authorizing someone else to represent them).

Signs (That Are Not Administratively Approvable. See the Preservation Planner for Guidance)

- Description of project and proposed signs.
- Specification information that illustrates how the proposed signage will look, including notes on dimensions of the signage, height from grade, materials, and colors.
- Photographs of project site location(s).
- Signed & notarized Owner Affidavit (if the property owner is authorizing someone else to apply for and represent them).

Fencing:

- Description of project and scope of work.
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and any proposed fencing features such as gate details.
- Site plan that demonstrates proposed location/perimeter of fencing.
- Photographs of project site location.
- Signed & notarized Owner Affidavit (if the property owner is authorizing someone else to represent them).

Awnings:

- Description of project and scope of work.
- Specification information that illustrates how proposed awning(s) will look, including notes on awning dimensions, signage dimensions on awning(s), awning materials, awning shape, and awning colors and addition of awning angle.
- Site plan demonstrating proposed location/perimeter of awning placement.
- Photographs of project site location, including photograph of full window(s) over which proposed awning(s) will be affixed.
- Signed & notarized Owner Affidavit (if the property owner is authorizing someone to represent them).

HVAC & Mechanical Equipment, Related Screening, and Modern Features

- Completed Certificate of Appropriateness Application.
- Description of project and scope of work.
- Manufacturer's specifications that illustrate how proposed HVAC equipment and/or screening will look, including screening dimensions and materials.
- Site plan demonstrating proposed location of equipment and/or screening.
- Photographs of the existing project site location from street view and close proximity.
- Signed & notarized Owner Affidavit (if the property owner is authorizing someone else to represent them).

Relocation

- Relocation is highly discouraged, but it may be preferable to demolition when the new location would be compatible with the character of the building. Please consult the Franklin Historic District Design Guidelines for Demolition and Relocation <https://web.franklintrn.gov/flippingbook/designguidelineshzc/176/> .
- **A pre-application meeting with City Preservation Planner is required prior to submittal of an application for proposed historic principal structure demolitions and relocations.**
- Relocation is highly discouraged, but it may be preferable to demolition when the new location would be compatible with the character of the building. For relocations, please provide the proposed location of the relocated structure and intended use of the space of the relocated structure.
- Compatibility of the relocated structure with adjacent structure is a requirement for relocation. Please provide images of the proposed site, structure, surrounding buildings and sites, age, and details of the building that is proposed to be relocated.
- Signed & notarized Owner Affidavit (if the property owner is authorizing someone else to represent them).

Demolition

- Demolition of historic structures is highly discouraged unless there are extraordinary circumstances, so as to maintain the integrity and sense of place associated with Franklin's historic districts. Please consult the Franklin Historic District Design Guidelines for Demolition and Relocation <https://web.franklintrn.gov/flippingbook/designguidelineshzc/176/> .
- A pre-application meeting with City Preservation Planner is required prior to submittal of an application for proposed historic principal structure demolitions and relocations.

- Description of project and scope of work must be provided.
- The age of structure must be researched and provided by the applicant. If the building/structure is not Historic (less than 50 years of age) please provide the age of the structure and images of the site.
- Demolition is not permitted unless there are extraordinary circumstances. Please select and explain which criteria condition of demolition you are seeking 1) Loss of architectural/historical integrity, 2) Economic Hardship, 3) Structural instability or deterioration by report of engineer or architect.
- Provide supplemental documentation for the selected criteria consideration for demolition as described by the Guidelines.
- A consideration of demolition is what is proposed to replace the structure proposed for demolition and the future utilization of the site. Detail future action on the site.
- Signed & notarized Owner Affidavit (if the property owner is authorizing someone else to represent them).

Note: The applicant shall provide any additional information as determined by the Planning & Sustainability Department that will be necessary to obtain a review by staff and/or by the Historic Zoning Commission.

Owner Affidavit

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

Contact Information - Project Contact

Project Contact

Michael Evans
 Park Happy LLC
 P.O Box 40018
 Nashville, TN 37204
 P:6159734018
michael@parkhappy.net

Property Owner

Property Owner

J.N. Franks

 211 3rd Ave. S.
 Franklin, TN 37064
 P:6159734018
jfranks130@gmail.com

Address

Project Address or Parcel: 103 1ST AVE N (063N-B06000)

Calculated Acreage: Parcel

- 103 1ST AVE N: 0.60378746

Scenic Corridor Overlay:

Hillside/Hillcrest Overlay:

Columbia Avenue Overlay:

Zoning District: Zoning Districts

- 103 1ST AVE N: 1ST

Central Franklin Overlay: Central Franklin Overlay

- 103 1ST AVE N: Central Franklin Overlay District

Historic Preservation Overlay: Historic Preservation

Overlay

- 103 1ST AVE N: Historic Preservation Overlay

Flood Fringe Overlay: Flood Fringe Overlay

- 103 1ST AVE N: Floodway Fringe Overlay District

Floodway Overlay: Floodway Overlay

- 103 1ST AVE N: Floodway Overlay District

500ft Buffer of Hillside Overlay:

Project information

Review Type: Nonresidential

Type of Work Proposed: Signage

Construction Type:

Porch or Deck Project:

New Addition Type:

Windows or Exterior Door Work:

Note: Pre-application meeting with staff is required for proposed demolition or relocation of primary structures. Demolition consideration is based on the criteria listed in the *Franklin Historic District Design Guidelines*.

Indicate the materials/dimensions of the fencing to be installed.:

Demolition or Relocation Proposed:

Other Exterior Alterations Proposed:

Estimated Age of Addition:

Footprint Square Footage of Recent Addition:

Number of Attached Signs Proposed: 3

Sign 1

Type of Signage Proposed: Freestanding (not Post-and-Arm)

Height of Overall Sign: 4

Height of Sign Face or Sign Area: 3

Sign 2

Type of Signage Proposed: Freestanding (not Post-and-Arm)

Height of Overall Sign: 5

Height of Sign Face or Sign Area: 1.5

Sign 3

Does the existing structure have any recent additions?:

Type of Signage Proposed: Freestanding (not Post-and-Arm)

Height of Existing and Proposed Construction (from FFE to Roof Peak):

Height of Overall Sign: 6

Lot Square Footage:

Height of Sign Face or Sign Area: 1.5

Indicate shape/dimensions of window or door over which proposed awning will be affixed.:

Footprint Square Footage of Existing Structures on Lot:

Footprint Square Footage of Proposed Additions/Structures:

HVAC Type:

Narrative

Project Description:

This application seeks to reface 4 previously approved signs and add 4 additional signs. The locations of the signs will not change, nor will the heights. Some signs are being requested in response to changed state law. A full project description can be found in the

uploaded file "Sign Details 11.16.25".



HISTORIC
FRANKLIN
TENNESSEE

Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

Address: 320 Main St. (Downtown Franklin Historic District)
Applicant: Marianne DeMeyers
Owner: Madison Land LP, Rep. Danielle Dickinson
Project #: 9028
Type of Work: Consideration of Signage (Small Hanging/Projecting Signs, Canopy Sign, & Convenience Signs)

Status: Approval with conditions
(See “**Approved Work Specifications**” Below)

Approval Date: January 20, 2026
Expiration Date: January 20, 2028 (if work has not commenced)
Reviewed By: Elizabeth Bulay

APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the installation of three signs on the building located at 320 Main Street and limited additional parking spot convenience signs behind the building.

The Guidelines allow for administrative approval of signs if all recommendations are met.

Canopy Sign:

- **Quantity:** The Guidelines state that a maximum of 1 sign per canopy per building façade is recommended and may be used only if no wall, band, or awning sign exists on the building façade. One canopy sign is proposed on the existing canopy, and no wall, band, or awning signs exist on the building façade. This is the first of three signs proposed on the front of the building. The quantity is appropriate.
- **Sign Area:** The Guidelines state the maximum sign area is 90 percent of the canopy face or 120 sq. ft., whichever is smaller. The canopy face is 20 sq. ft., (120” x 24”), and the proposed signage is 7.3 sq. ft., (96” x 11”). The sign is 36% of the canopy face. The sign area is appropriate.
- **Placement:** The Guidelines state that the signs shall not project above or below the canopy or be located above the building roofline. The sign is proposed to be placed on the face of the canopy. The placement is appropriate.

- **Projection:** The Guidelines state that the projection can be at a maximum of 1 foot from the canopy face. The lettering will be 1/2" thick and will project 1/2" from the canopy face. The projection is appropriate.
- **Material:** The Guidelines state that material should be metal, with a matte background finish rather than a reflective or shiny background finish. The proposed lettering material on the canopy is finished metal. The material is appropriate, but the finish should align with the Guidelines.
- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The canopy is of a dark background color, and lighter white lettering is proposed. The colors are appropriate.
- **Illumination:** No illumination is proposed at this time.

Small Hanging/Projecting Arm Sign (Main Street & Public Square)

- **Quantity:** The Guidelines state that a maximum of 1 sign is allowed per main entrance to a retail storefront/tenant space on the ground floor. There are two main entrances to the building, and two small hanging/projecting signs are proposed, one for each entrance. The small hanging/projecting signs are the second and third signs proposed for the building. The quantity proposed is appropriate.
- **Placement:** The Guidelines recommend that small hanging/projecting signs be placed near the main entrance. Two Small Hanging/Projecting signs are proposed for a tenant space on the ground floor: one for the main entrance along Main Street and one for the main entrance on the Public Square-facing façade. Additional guidance from the Guidelines includes mounting signs to minimize damage to historic materials. The placement is appropriate.
- **Sign Area:** The Guidelines state that the sign may have up to 2 sides and a sign area of 4.5 sq. ft. per side. The signs are proposed to be 4.5 sq. ft. (2.12' x 2.12'). The sign area for both small hanging/projecting signs is appropriate.
- **Height:** The Guidelines state that the top of the sign area should be no higher than the ground floor window/transom headers, but shall be hung to maintain an 8-foot minimum clearance from the grade surface (generally defined as the sidewalk or porch floor). The proposed signs are in line with the top of the storefront transom and headers and will have a clearance of 8 feet from the grade surface. The sign heights are appropriate.
- **Projection:** The Guidelines state the sign should project from the building façade at a 90-degree angle and project a maximum of 4' from the building, inclusive of the bracket depth. The signs will project from the building at a 90-degree angle. The sign for the main entrance for JD Buck will utilize an existing bracket. The sign for Southern Cottage proposes a bracket that will project 34". The proposed projections of the signs are appropriate.

- **Material:** The Guidelines state that the material should consist of finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The proposed signs will be made of a finished wood composite material. The materials meet the intent of the Guidelines and are appropriate.
- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed sign on Main Street utilizes a blue background with lighter lettering and is appropriate. The proposed sign on the public square utilizes a light brown/tan background and lighter white lettering and is appropriate.
- **Illumination:** No illumination is proposed within this application.

Convenience Signs (Parking):

Quantity: The Guidelines recommend that limited additional signs may be approved when they are not visible from the right-of-way. Seven signs are proposed to be refaced at the rear of the building. The signs will have limited visibility from the rear alleyway.

Sign Area: The Guidelines recommend that, where not visible from the right-of-way, convenience signs used for parking spaces may be up to 1.5 sq. ft. The proposed sign area is 1.5 sq. ft. The sign area is appropriate.

Height: Where not visible from the right-of-way, convenience signs used for parking spaces may be up to 6.5 ft. tall. The signs are mounted at a height of 5 ft., or 60”, from grade. The height is appropriate.

Material: The Guidelines recommend using a finished wood or metal material with matte background finishes rather than reflective or shiny background finishes. The proposed signs will be made of a finished metal material. The finish was not indicated, but should utilize a matte background finish to align with the Guidelines.

Color: The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed signs utilize a blue background with lighter lettering and are appropriate.

APPLICABLE GUIDELINES

Chapter 8 – Signs

APPROVED WORK SPECIFICATIONS

The canopy, small hanging/projecting (x2), and convenience parking signs are **approved** with the following conditions:

- The signs must utilize matte finishes.
- Mount signs so that they minimize damage to historic materials.

- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

Emily Huffer | Preservation Planner
Planning & Sustainability Department
City of Franklin, Tennessee
615.550.6795 | <http://www.franklintn.gov/>

Canopy Measurements

120" x 24"

Proposed Signage

96" x 11"



2.12 ft



SOUTHERN
COTTAGE

ON THE SQUARE

2.12 ft





SOUTHERN COTTAGE

JD Bank
ATM & Night Drop

ATM
&
Night Drop





RESERVED

SOUTHERN
COTTAGE

EMPLOYEES ONLY

UNAUTHORIZED VEHICLES
TOWED AT OWNER'S
EXPENSE



18.5in



12.5in



Franklin, Tennessee
View on Google Maps



HOTELS

Google

Elizabeth Bulay

From: Marianne DeMeyers <marianne@tincoffage.com>
Sent: Tuesday, January 13, 2026 7:18 PM
To: Elizabeth Bulay
Subject: Re: 320 Main St Southern Cottage COA Questions

Follow Up Flag: Follow up
Flag Status: Flagged

ATTENTION COF staff: This email originated from outside the City of Franklin. Please use discretion when clicking on attachments & links from unknown senders or suspicious emails.

Hi Elizabeth,

I hope this answers all the questions. I am out of town this week on a business trip but I am checking email each evening. Please let me know if you need any additional information.

- Canopy Sign: How thick will the lettering be/how far will the applied signage project from the canopy?
- **Letters are 1/2" custom painted metal with 1/2 projecting mounting studs**
- JD Buck Hanging Sign
- What is the proposed sign size for this sign? **2.12' x 2.12' When trimmed, it may be closer to 2x2**
- What is the measurement of the projection from the building of the existing bracket?
- **We are using the existing arm (in kind) and it projects 41.25" from the wall.**
- What is the measurement of the clearance from the bottom of the sign to the sidewalk? **8ft**
- What is the material of the sign? **Wood composite weather proof material.**
-
- Southern Cottage Hanging Sign
- What is the measurement of the projection from the building of the proposed bracket? **Projects 34". We are relocating the existing Tin Cottage Bracket.**
- What is the measurement of the clearance from the bottom of the sign to the sidewalk? **8ft**
- What is the material of the sign and the proposed bracket? **Wood Composite weather proof material**

Thanks!
Marianne

Marianne DeMeyers

1201 COFFAGE | 204 Main Street, Suite 100 | Franklin, TN 37064 | 615-432-5180
| 801-782-2221 | 801-782-2221

@tincoffage | tincoffage.com

@hopsoffthefarm | hopsoffthefarm.com

OWNER AFFIDAVIT

City of Franklin, Tennessee

Well LAWRENCE KOWAL, PRESIDENT, MADISON LAND CORP.
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

078-M-005

(Property Parcel/Tax ID Number)

and located at:

320 Main Street, Suite 100, Franklin, TN 37064

(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Marianne DeMeyers - Leasing Tenant

(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

LLK Kowal
Signature

2327 Golf Club Lane
Property Owner Mailing Address

NASHVILLE, TN 37215
City, State & Zip

Subscribed and sworn to before me this

29 day of December, 2025

[Signature]
Notary Public

My Commission Expires: 10-20-29





Project Overview **#1979192**

Project Title: 320 Main St Franklin, TN	Jurisdiction: Franklin
Application Type: 08b) Administrative Certificate of Appropriateness (COA)	State: TN
Workflow: COA Administrative Default	County: Williamson

Required Administrative Review COA Application Supporting Materials

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

Signage:

- Description of project
- Specification information that illustrates how proposed signage will look, including notes on dimensions, height from grade, materials, and colors
- Photographs of installation locations
- Signed and notarized owner affidavit

Rear Yard Fencing:

- Description of project
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
- Site plan that demonstrates proposed location/perimeter of fencing
- Photographs of project site location
- Signed and notarized owner affidavit
- **Note: Primary yard fencing does not qualify for administrative review**

Awnings:

- Description of project
- Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
- Specification information for proposed awning materials
- Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
- Signed and notarized owner affidavit

HVAC Equipment and/or Related Screening:

- Description of project
- Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
- Site plan demonstrating proposed location of equipment and/or screening
- Photographs of project site location
- Signed and notarized owner affidavit

Minor Alterations:

- Description of project
- Specifications for all materials within scope of work

- Site plan/Aerial Image of the project location demonstrating visibility from public view
- Photographs and documentation of the existing conditions within scope of work
- Renderings and Plans of proposed work
- Signed and notarized owner affidavit

Note: The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

Owner Affidavit

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

Contact Information - Project Contact

Project Contact

Marianne DeMeyers
 Southern Cottage
 320 Main St, Suite 100
 Franklin, TN 37064
 P:6154721183
marianne@tincottage.com

Property Owner

Property Owner

Danielle Dickinson
 Madison Land LP
 7105 Town Center Way, Third Floor
 Brentwood, TN 37027
 P:615.928.1940
[Danielle Dickinson](#)

Address

Project Address or Parcel: 320 MAIN ST (078C-M00500)

Calculated Acreage: Parcel

- 320 MAIN ST: 0.31292665

Scenic Corridor Overlay:

Hillside/Hillcrest Overlay:

Flood Fringe Overlay:

500ft Buffer of Hillside Overlay:

Type of Work Proposed: Signage

Height of Overall Sign: 1.5

Columbia Avenue Overlay:

Zoning District: Zoning Districts

- 320 MAIN ST: DD

Central Franklin Overlay: Central Franklin Overlay

- 320 MAIN ST: Central Franklin Overlay District

Historic Preservation Overlay: Historic Preservation Overlay

- 320 MAIN ST: Historic Preservation Overlay

Floodway Overlay:

Type of Signage Proposed: Convenience - Parking

Height of Sign Face or Sign Area: 1.5

Indicate shape/dimensions of window or door over which proposed awning will be affixed.: Fence Material:

HVAC Type:

Narrative

Project Description:

Reserved Parking Signage in back of building.