



City of Franklin

Mailing Address:
109 3rd Ave S
Franklin, TN 37064
(615) 791-3217

Meeting Agenda

Historic Zoning Commission

Monday, October 13, 2025

5:00 PM

Eastern Flank Event Facility

MEETING LOCATION

Eastern Flank Event Facility
1368 Eastern Flank Circle

Notice is hereby given that a meeting of the Historic Zoning Commission will be held on the date and time listed above. For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at (615) 791-3216, at least 24 hours prior to the meeting. Accommodations have been made to ensure that the public is able to participate in the meeting. The public may participate in the following ways: • Watch the meeting on FranklinTV or the City of Franklin website. • Watch the live stream through the City of Franklin Facebook and YouTube accounts. • Email comments to planningintake@franklintn.gov to be provided in full to the Commission and included in the minutes, but not read aloud in their entirety during the meeting. Emailed comments are accepted until 12:00 PM (noon) on the day before the meeting. • Comment in-person at the meeting location. Speakers may sit in the meeting location.

CALL TO ORDER

CITIZEN COMMENTS (Open for citizens to be heard on any issue or concern, including those related to items on the agenda. Please submit a Speaker Card at the beginning of the meeting if you would like to address the Commission. If you would like to speak on an agenda item, the Chair will hold your comment until the public comment period associated with the item. As provided by law, the Commission shall make no decisions or consideration of action of citizen comments for items not on the agenda, except to refer the matter to the Planning Director/Staff for administrative consideration, or to a schedule the matter for consideration at a later date. Those addressing the Commission are requested to come to the microphone and identify themselves by name and address for the official record. The Chair may restrict the period for public comment, including the length of the public comment period, the number of individuals who can speak and the length of time each individual may speak. When time allows, the standard individual public comment time is two minutes.)

Comments on agenda items may be made in person at the meeting or by emailing planningintake@franklintn.gov before noon on the day of the meeting. Emailed comments will be provided to the Commission and included in the minutes, but not read aloud in their entirety during the meeting.

APPROVAL OF MINUTES

1. Consideration Of Approval Of Minutes

ANNOUNCEMENTS

APPLICATIONS

2. Consideration Of A Historic Zoning Commission Recommendation For Public Art At 611 West Main St.; Kevin Benson, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

3. Consideration Of Roofing Alterations At 312 3rd Ave. S.; Josh Foy, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

4. Consideration Of Alterations (Accessory) At 106 Winslow Rd.; Steve Maher, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

5. Consideration Of Alterations (Accessory) At 1001 Fair St.; Kelly Harville, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

6. Consideration Of Site Alterations (Walkway Material) At 1835, 1837, 1839, 1841, And 1843 William Campbell Ct. (Magnolia Hall Subdivision, Lots 2-6); David Horwath, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

7. Consideration Of Alteration (Principal Building) At 1009 Fair St.; Patrick Ogle, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

8. Consideration of Signage at 230 Public Square; Raenah Anderson, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

9. Consideration of an Addition (Principal) At 305 3rd Ave. S.; Brandon Priddy, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

10. Consideration Of An Addition And Alterations (Principal) At 728 Fair St.; Amanda McCreary, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

11. Consideration Of Addition And Alterations (Principal And Accessory) At 1008 Fair St.; Jacob Layne, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

12. Consideration Of Alterations And Signage At 230 Franklin Rd. Building 1 (The Factory); John Brown, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

13. Consideration Of An Accessory Structure, Fencing, and Lighting at 230 Franklin Rd. Building 1 Courtyard (The Factory); John Brown, Applicant.

Sponsors:

Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

14. Consideration Of A Preliminary Historic Zoning Commission Recommendation And Modifications Of Standards For A Mixed-Use Development At 318 Franklin Rd. (Harpeth Village PD); Greg Gamble, Applicant.

Sponsors:

Kelly Dannenfelser, Emily Huffer

OTHER BUSINESS

RECEIPT OF ADMINISTRATIVE COA APPROVALS ON BEHALF OF THE HZC

15. Administrative COA For Signage (Reface) At 404 Bridge St.; Anna Ham, Applicant.
16. Administrative COA For Signage At 230 Franklin Rd.; Henry Roberts, Applicant.
17. Administrative COA For Signage At 346 Main St.; Heather Joel, Applicant.
18. Administrative COA For Minor Alterations (Rear, Non-Historic) At 161 Splendor Ridge Dr.; Sherri Jones, Applicant.
19. Administrative COA For Sandwich Board Sign At 130 2nd Ave. N.; Justin Foster, Applicant.
20. Administrative COA For Rear Deck In-Kind Replacement At 709 W. Main St.; David Crookshanks, Applicant.

ADJOURN

Anyone needing accommodations due to disabilities please contact the ADA Coordinator at 615-791-3277 at least 24 hours prior to the meeting.



Meeting Minutes

Historic Zoning Commission

Monday, September 8, 2025

5:00 PM

Eastern Flank Event Facility

Notice is hereby given that a meeting of the Historic Zoning Commission will be held on the date and time listed above. For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at (615) 791-3216, at least 24 hours prior to the meeting. Accommodations have been made to ensure that the public is able to participate in the meeting. The public may participate in the following ways: • Watch the meeting on FranklinTV or the City of Franklin website. • Watch the live stream through the City of Franklin Facebook and YouTube accounts. • Email comments to PlanningIntake@FranklinTN.gov to be provided in full to the Commission and included in the minutes, but not read aloud in their entirety during the meeting. Emailed comments are accepted until 12:00 PM (noon) on the day before the meeting. • Comment in-person at the meeting location. Speakers may sit in the meeting location.

CALL TO ORDER

Chair Laster called the meeting to order at 5:00 pm.

Commissioners Present: Tyler LeMarinel, Chair; Brian Laster, Vice Chair; Michael Orr; Holly Thompson; Madalyn Ingram; Mary Pearce; Kathy Worthington; and Lisa Marquardt

Staff: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay, Jared Carter, Barrett Petty, and Bill Squires

CITIZEN COMMENTS (Open for citizens to be heard on any issue or concern, including those related to items on the agenda. Please submit a Speaker Card at the beginning of the meeting if you would like to address the Commission. If you would like to speak on an agenda item, the Chair will hold your comment until the public comment period associated with the item. As provided by law, the Commission shall make no decisions or consideration of action of citizen comments for items not on the agenda, except to refer the matter to the Planning Director/Staff for administrative consideration, or to a schedule the matter for consideration at a later date. Those addressing the Commission are requested to come to the microphone and identify themselves by name and address for the official record. The Chair may restrict the period for public comment, including the length of the public comment period, the number of individuals who can speak and the length of time each individual may speak. When time allows, the standard individual public comment time is two minutes.)

Chair LeMarinel asked for citizen comments. There were none.

Comments on agenda items may be made in person at the meeting or by emailing planningintake@franklintn.gov before noon on the day before the meeting. Emailed comments will be provided to the Commission and included in the minutes, but not read aloud in their entirety during the meeting.

APPROVAL OF MINUTES

1. Consideration Of Approval Of Minutes

Sponsors:

Commissioner Laster motioned to approve the HZC August 11, 2025, Meeting minutes, seconded by Commissioner Ingram.

The motion carried 8-0.

ANNOUNCEMENTS

Ms. Huffer announced that the regularly scheduled DRC meeting will be Monday, September 15, 2025, at the Eastern Flank Event Facility. Applicants invited to DRC meeting based on actions of this voting meeting should email staff about their intent to attend DRC by midnight, tonight, September 8, 2025, to be added to the agenda.

APPLICATIONS

2. **Consideration Of Site Alterations At 331 Franklin Rd. (Harlinsdale Farm); Kevin Lindsey, Applicant.**

Sponsors: Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that The property at 331 Franklin Road is the site of Harlinsdale Farm, which is located within the Franklin Road Historic District. The property is also individually listed on the National Register of Historic Places. The proposal includes extending the hardscaping around the interpreted interurban trail.

Recommendation: Since this is a City project, staff do not make a recommendation, but there are potential conditions should the HZC approve the proposal. Thos conditions are outlined in the staff report.

Applicant Presentation: Kevin Lindsey. Mr. Lindsey stated that repairs are needed to the concrete corner along the road coming down from the Hayes Home to the interurban area. Most horse trailers and emergency vehicles cannot make this turn and end up veering off the edge of the path posing a risk of vehicle damage or the existing concrete border.

Citizen Comments: None

MOTION

Commissioner Orr motioned to approve Site Alterations At 331 Franklin Rd. (Harlinsdale Farm) with staff conditions, seconded by Commissioner Marquardt.

Commissioner Worthington asked Mr. Lindsey how the size of the concrete repair will be determined.

Mr. Lindsey explained that he made the turn with a trailer to help determine the space needed. With the help of Mark Young, the concrete section will measure around 24' and 20' to allow for a large enough turning radius. The larger turning radius will allow for safer turning for the horses as well as the emergency vehicles.

The motion carried 8-0.

3. **Consideration Of Site Alterations At 1002 Fair St.; Jeff Fleishour, Applicant.**

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay explained that the property located at 1002 Fair Street is located in the Hincheyville National Register Historic District. The proposal includes a request for the installation of a pergola behind the principal building and the installation of a pea gravel raingarden.

Recommendation: Staff recommend approval of the site alterations with conditions outlined in the staff report.

Applicant Presentation: Jeff Fleishour. Mr. Fleishour did not have additional information other than the owner decided to move forward with the pergola.

Citizen Comments: None

MOTION

Commissioner Pearce motioned to approve Site Alterations At 1002 Fair St with staff conditions, seconded by Commissioner

Laster.

Chair LeMarinel stated that the current proposal is a very limited version of what was originally proposed and stated that he likes what is proposed.

The motion carried 8-0.

4. Consideration Of Fencing At 1850 William Campbell Ct. (Magnolia Hall Subdivision); David Harwath, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that the property located at 1850 William Campbell Court is located in the Boyd Mill Avenue Historic District. The proposal includes a request for the installation of four-board horse fencing for the interior perimeter of the open space lot and for a smaller section of fencing within the development. The fencing will be four feet tall. The proposed fencing is shown in red on the site plan.

Recommendation: Staff recommend denial of the four-board horse fencing based on the following Guidelines:

- Wooden picket fences are the most common fencing material for the primary yard along with fence materials that are open-weave brick designs or cast iron.
- Recess wooden plank fences, split rail fences, solid brick fences, chain-link fences, and other metal fences at least 20 feet from the plane of the residence's primary façade.
- Do not use fences higher than three feet on front yards or higher than seven feet on side or rear yards.

If the commission votes to approve the request, conditions listed in the staff report are recommended.

Applicant Presentation: Jason Goddard. Mr. Goddard asked the Commission to consider the 4-board horse fencing as it is important to the community to maintain as much privacy as possible and considering the existing 4-board horse fencing along Glass Lane and throughout the Franklin community.

Citizen Comments: None

MOTION

Commissioner Marquardt motioned to approve Fencing At 1850 William Campbell Ct. (Magnolia Hall Subdivision) with staff conditions, seconded by Commissioner Laster.

Commissioner Marquardt stated that considering the uniqueness of this neighborhood and its surroundings, the 4-board horse fencing meets the surrounding context of the area and will be more aesthetically pleasing.

Commissioner Laster stated that he agrees with Commissioner Marquardt and further stated that connecting the 4-board horse fencing to a picket or cast-iron fence would not work as well as the consistent use of the 4-board horse fencing throughout Magnolia Hall.

Commissioner Pearce asked about the height measurements of the horse fencing along Boyd Mill Avenue.

Mr. Goddard stated that the fencing along Boyd Mill is 4 feet in height and that the 4-board horse fencing in Magnolia Hall would be consistent with those measurements.

The motion carried 8-0.

5. **Consideration Of Lighting, Fencing, And Site Alterations At 1840 William Campbell Ct. (Magnolia Hall Mansion); Jason Goddard, Applicant.**

Sponsors: Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that the property located at 1840 William Campbell Court is located in the Boyd Mill Avenue Historic District. The proposal includes the following:

- Installation of new light fixtures
- Installation of fencing, and
- Installation of hardscaping

Recommendation: Staff recommend denial of the installation of four-board horse fencing based on the following grounds:

1. Do not use fences higher than three feet on front yards or higher than seven feet on side or rear yards.

Staff recommend approval of the hardscaping, the lighting, and the installation of the existing cast iron fencing and picket fencing with conditions outlined in the staff report.

Applicant Presentation: Jason Goddard. Mr. Goddard stated that plan modifications were made to incorporate feedback from the last DRC meeting. The hardscape area around the carriage house was reduced by 30% and the parking pad to the left was converted to gravel with a ribbon curb that matches the driveway. Other modifications include the introduction of picket fencing around the pool to align with zoning codes for pool enclosure. The firepit was moved and incorporated within the fenced pool area to allow for resident privacy. Lastly, some of the 4-board horse fencing was removed along the left but Mr. Goddard stated that the horse board fencing provides the most privacy like the previously discussed 1840 William Campbell Court plan.

Citizen Comments: None

MOTION

Commissioner Laster motioned to approve Lighting, Fencing, And Site Alterations At 1840 William Campbell Ct. (Magnolia Hall Mansion) with staff conditions, seconded by Commissioner Ingram.

Commissioner Laster stated that the site is unique, like the previous discussion, and the consistency of the 4-board horse fencing provides harmony to the landscape.

Chair LeMarinel asked staff if the applicant provided a photo of the picket fencing.

Ms. Huffer stated that the height of the picket fencing would be 4 feet.

Commissioner Ingram asked for clarification of the location for each type of fencing.

Mr. Goddard stated that the broken red line in the plan documents indicates the 4-board horse fencing, and the purple broken line indicates the areas where a salvaged iron fence will be used. The picket fence will enclose the pool and the fire pit.

Chair LeMarinel stated that it appears that there are two gates out of the pool area and two gates other gates into the courtyard.

Commissioner Pearce recommended the use of a more elevated picket fence design as seen throughout Franklin.

Commissioner Ingram asked Mr. Goddard why a picket fence was chosen for the pool enclosure over an iron fencing.

Mr. Goddard stated that a picket fence provides more privacy for the homeowner.

Commissioner Laster commented on the historic photos of picket fencing in downtown Franklin.

Mr. Goddard stated that the goal is to have a picket fence like the photos referenced in the application documents and the historic guidelines.

Chair LeMarinel commented on the picket fencing photos and stated that one has a taper cap and the other more of a final cap. Chair LeMarinel asked Commissioner Pearce if the photos represent the elevated picket fence design she referred to earlier.

Commissioner Pearce stated that the photos indicate a cottage or casual style rather than an elevated design. There are homes in downtown Franklin that highlight the type of design that would be appropriate for this home.

Commissioner Laster stated that the historic photo of picket fencing indicates a timeframe of the 1950's.

Commissioner Pearce noted that there were alterations completed over the years to this home that one would not want to replicate and noted that she was looking for a photo that would highlight the style she is referring to.

Chair LeMarinel asked if the motion should be amended to reflect the style of picket fencing Commissioner Pearce is referring to.

Commissioner Pearce stated that yes, an amendment to remove the picket fencing from the motion would be appropriate.

Amendment (Picket Fencing)

Commissioner Pearce amended the motion to exclude the picket fencing element from the main motion, seconded by Commissioner Worthington.

Commissioner Orr asked who would provide picket fence designs to the applicant.

Commissioner Pearce stated that she would be able to provide photos for staff and staff could provide to the applicant.

Commissioner Worthington suggested the applicant provide drawings of the picket fence design including the gate design as the fencing will connect to the structure.

The amendment carried 8-0.

Chair LeMarinel stated that the main motion as amended includes approval of site alterations except for the picket fencing around the pool.

The main motion as amended carried 8-0.

Chair LeMarinel explained that an action on picket fencing needs to be taken. The Commission can approve, deny or defer to a date certain.

MOTION to Defer (Picket Fencing)

Commissioner Pearce motioned to defer the picket fencing portion of the application to the October 13, 2025, HZC meeting, seconded by Commissioner Orr.

The motion to defer carried 8-0.

6. Consideration Of Site Alterations, Fencing, and Gates At 1835, 1837, 1839, 1841, And 1843 William Campbell Ct. (Magnolia Hall Subdivision, Lots 2-6); David Horwath, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that the properties located at 1835, 1837, 1839, and 1843 William Campbell Court are located in the Boyd Mill Avenue Historic District. The proposal includes a request for site materials for the

driveway, walkway, rear yard fencing, and gates.

Recommendation: Staff recommend denial of the cobblestone driveway accents based on the following Guidelines:

- Use durable materials that were historically typical for driveways, such as gravel, concrete, bricks, and asphalt.

Staff recommend approval of the walkway material and rear yard fencing, and gates with conditions outlined in the staff report.

Applicant Presentation: Jason Goddard. Mr. Goddard explained several minor changes based on the DRC feedback. The purpose of adding different elements to the hardscape areas is to allow for more detail and to break up the appearance of a long concrete driveway. Instead of using a concrete "Hollywood" strip down the driveway, the team is proposing a cobblestone band down each side of the driveway and a cobblestone apron at the street and gate locations.

Citizen Comments: None

MOTION

Commissioner Thompson motioned to approve Site Alterations, Fencing, and Gates At 1835, 1837, 1839, 1841, And 1843 William Campbell Ct. (Magnolia Hall Subdivision, Lots 2-6) with staff conditions, seconded by Commissioner Marquardt.

Commissioner Thompson stated that use of cobblestone material appears to be more fitting for the surroundings and more historic than a plain concrete driveway.

Commissioner Laster stated that after several renditions of the front hardscape design, the use of cobblestone accents is more fitting and appropriate for the site. Also, the Commission has approved the use of cobblestones in the past.

Chair LeMarinel agreed with Commissioner Laster about the driveway and mentioned his concerns about how much uniformity should be present regarding the walkways and stairs into the homes. Chair LeMarinel stated that each home has a different style whether it is Victorian or Tudor inspired and would one typically see the same cobblestone steps and brick stairways for each style of home. Chair LeMarinel further stated that uniformity may be acceptable, but he would like to hear feedback from the rest of the Board.

Commissioner Worthington added that it would be beneficial to know the size of the stone along with the "lay" of the brick to compare with the stone features of each home.

Mr. Goddard stated that the intent is to use a natural cobblestone measuring 4" by 8" in a design like the photo (provided in the application documents) of an historic stone walkway on 3rd Avenue in downtown Franklin. Mr. Goddard also noted that the walkway would be "laid" in a running band from the sidewalk to the front door. Also, Mr. Goddard noted his efforts to keep the design to a minimal and not include too many details.

Chair LeMarinel noted that some of the homes have a brick foundation while others don't and asked if the same brick would be used for each home.

Mr. Goddard explained that the brick stairway would match the brick foundation of the home.

Chair LeMarinel noted his reservations about how the brick and stone will look for each individual home and stated that more information may be needed.

Commissioner Ingram stated that if one walked through downtown Franklin, the walkways and stairway into each home would not be the same as each home has its own architectural inspiration.

Chair LeMarinel added that the walkways interface with the front of the home and stated that he is unsure about the materials.

Commissioner Pearce stated that until Chair LeMarinel mentioned the material use for the walkways, she didn't think about how each style of home may require a different walkway. If the walkway varied according to the style of the home, it would

soften the entrance into the home and add value to the development.

Commissioner Thompson commented about the preference of using brick and cobblestone over the use of concrete – wouldn't that be the preferred material? Further, Commissioner Thompson stated that if the home is brick, the applicant should use matching brick and if the home isn't brick use the cobblestone material.

Chair LeMarinel stated that he is fine with the use of brick and stone as the materials but also fine with concrete if a higher grade of concrete is used. There are many fine older homes that have concrete used throughout.

Commissioner Ingram stated and asked if an amendment should be added.

Chair LeMarinel stated that the amendment would need to be clearly stated and if someone would like to put forward an amended, that would be fine.

Commissioner Pearce asked if the Chair would like to craft an amendment.

Chair LeMarinel explained that the motion on the floor is to approve with staff conditions, the amendment would need to remove the walkways from the motion and then a motion would be needed to address what should be done with the sidewalks.

Amendment (Walkway Removal)

Commissioner Ingram amended the main motion to remove the walkway from the main motion, seconded by Commissioner Pearce.

Commissioner Pearce suggested the applicant attend the next DRC meeting for discussion.

Commissioner Ingram suggested giving the applicant some kind of direction regarding the material use according to the style of the home.

Chair LeMarinel stated that after the amendment is voted on, some sort of action by the Commission will be necessary regarding the walkway.

The amendment carried 8-0.

MOTION to Defer (Walkways)

Commissioner Ingram motioned to defer the walkway portion of the application to the next HZC meeting, October 13, 2025, seconded by Commissioner Pearce.

Chair LeMarinel stated that the brick and stone materials are appropriate but more specific information is needed. The Commission is looking for compatibility among all the elements of each home.

Commissioner Worthington stated that the intent of the deferral is to provide an opportunity for the applicant to connect the sidewalk element to the house.

Commissioner Orr stated that the applicant may want choose a style or brick dependent on the architectural features of the home.

Chair LeMarinel noted that the concern the Commission has is that the elements are compatible with the homes.

Commissioner Laster stated that clarity on the exact materials would be helpful. In the current application the photo appears to be flagstone instead of cobblestone.

Commissioner Pearce suggested that the applicant provide renderings of the front elevation with the addition of the sidewalk.

The motion to defer carried 8-0.

7. Consideration Of Partial Demolition, Additions, Alterations, Alterations, And Fencing At 106 Winslow Rd.; Steve Maher, Applicant.

Sponsors: Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that the property at 106 Winslow Road is located in within the Franklin Road Historic District. A series of alterations are proposed within the application that include:

- Demolition of the non-historic screened-in porch,
- New construction of a screened-in porch,
- Construction of new dormers,
- Garage door replacement,
- New rear door and construction of covered porch,
- Rear yard fencing
- Misc. Items
 - o Front porch lighting
 - o Bay window roofing material change
 - o Chimney pot
 - o Rear window replacement
 - o Reconfiguration of exterior basement entrance
- General property maintenance

Recommendation:

Staff recommend denial of the dormer on the right elevation and the garage door replacement, based on the following grounds:

1. Place dormers on additions in locations with obscured visibility from the front facade or street.
2. Design doors and doorways to an addition to read as secondary in appearance and detailing to the historic building
3. Use traditional materials with appearances similar to the doors on the historic building.

Staff recommend approval of the demolition of the screened-in porch, construction of the screened- in porch, construction of the left elevation dormer, new rear French doors, covered porch, breezeway construction, rear yard fencing, the outlined miscellaneous items, and general property maintenance with conditions outlined in the staff report. Ms. Huffer also noted there are several project considerations also outlined in the staff report.

Applicant Presentation: Stephen Maher. Mr. Maher stated that after the DRC meeting feedback regarding the right dormer, the result was a larger dormer closer to the gutter line. The thought was that the larger dormer would provide detail in the expanse of the roof. Regarding the garage door light pattern, Mr. Maher noted that the intent is to provide as much light as possible as the space will be used as living area. Because the current garage door is the basic off the shelf 40-year-old aluminum door, Mr. Maher explained that there would be two 5-foot doors. Looking at another window on the building regarding light pattern, a 5 over 3 window was selected for the door. Mr. Maher stated that he has looked at other patterns and noted that the intent of the glazing is to allow as much light in as possible.

Citizen Comments: None

Commissioner Thompson asked for clarification on which dormer there is a question about.

Ms. Huffer referred to application documents image and stated that it is the dormer on the right side that will be highly visible from the street.

MOTION

Commissioner Ingram motioned to approve partial demolition, additions, alterations, and fencing at 106 Winslow Rd with staff conditions, seconded by Commissioner Thompson.

Commissioner Laster stated that he agrees with staff regarding the light pattern on the garage doors as a 15 is a lot for the garage doors and recommended a 9-light pattern. Commissioner Laster stated that he has struggled with the right dormer as the dormer would be installed on top of a 1975 addition and does not appear to offset the historic structure.

Chair LeMarinel noted that he looked at the metrics of the home and the current proposal and stated that if this house had been built according to the guidelines, there would have been a break in the roof line. The current proposal shows the dormer setback 3.6 inches from the wall below which is further back than a fully conforming addition and dormer. Also, Chair LeMarinel noted that another standard guideline not associated with the historic guidelines is the 50 % rule which looks at whether the element is past the half point of the house. Regarding future proposals, these two considerations could be used as reasonable barometers for decision making.

Commissioner Worthington stated that the roof massing on the right elevation needs something to break up the expansive space. The dormer provides continuity to the home and Commissioner Worthington stated she can support approval of the dormer.

Commissioner Ingram noted the other dormer options on page 13 of the application and asked for the Commission's comments.

Chair LeMarinel stated that a hipped dormer would be more visible and stand out more. It would be difficult to match the other dormer as it comes to a ridge, the proposed dormer size makes it difficult to find the ridge, making the shed dormer the best option.

Commissioner Laster noted that much consideration has been given to the historical nature of the home with the removal of the porch addition and adding a new porch. The shed dormer also adds conformity to the rear elevation, although the HZC doesn't consider the rear elevation as much, but it is important. The rear conformity adds to the argument and acceptance of the shed dormer in this situation.

Commissioner Pearce stated that the roof line has improved and regarding the shed dormer, it does not appear to be the focal point when looking at the front elevation.

Chair LeMarinel asked if there was any other discussion on the proposed items in the application.

Commissioner Ingram noted that the current motion includes denial of the right-side roof dormer.

Amendment (Right Dormer)

Commissioner Laster amended the motion to allow the right side shed roof dormer, seconded by Commissioner Worthington.

The motion to amend carried 8-0.

Chair LeMarinel asked if there was any more discussion on the main motion as amended.

There was none.

The overall motion as amended, carried 8-0.

Commissioner Pearce asked if the garage door light patterns was discussed.

Chair LeMarinel stated that the window light pattern was discussed, and the applicant will need to revise the light pattern with drawings.

OTHER BUSINESS

RECEIPT OF ADMINISTRATIVE COA APPROVALS ON BEHALF OF THE HZC

- 8. **Administrative COA For Signage (Reface Post and Panel) At 404 Bridge St.; Anna Ham, Applicant.**

Sponsors:

- 9. **Administrative COA For Rear Yard Fencing At 340 4th Ave. S.; Allyson Williams, Applicant.**

Sponsors:

- 10. **Administrative COA For Signage At 420 Main St.; Mary Menge, Applicant.**

Sponsors:

ADJOURN

Commissioner Orr motioned to adjourn the September 8, 2025, HZC Meeting, seconded by Commissioner Ingram.

The motion carried 8-0.

There being no further business, the meeting adjourned at 6:02 PM.

Chair

Date



File #: 21-01240

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration Of A Historic Zoning Commission Recommendation For Public Art At 611 West Main St.; Kevin Benson, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning the installation of public art at 611 West main Street on the site of The Williamson County Archives. The Historic Zoning Commission (HZC) provides recommendations to other City review bodies on applications in the Historic Preservation Overlay (HPO). The Historic District Design Guidelines (Guidelines) are used by the HZC to consider exterior alterations that may affect the historic integrity and context of properties within the HPO.

APPLICABLE DESIGN GUIDELINES:
2022 Historic District Guidelines:
Chapter 6: Site & Setting

PROJECT INFORMATION:
COF Project Number: 8948
Applicant: Kevin Benson
Owner: Williamson County Government, Mayor Rogers Anderson, Rep.

BACKGROUND:
The property at 611 West Main Street is at the corner of the five points intersection and is the home of the Williamson County Archives and the Veteran's park, both of which are located within the Historic Preservation Overlay. The proposal is seeking a recommendation from the Historic Zoning Commission to place a piece of art on the property the Williamson County Archives. Following the Historic Zoning Commission meeting, the proposal will seek a recommendation from the Franklin Public Arts Commission and then have a formal vote before the Board of Mayor and Aldermen.

The statue will be positioned on the right side of the building, facing St. Paul's Episcopal Church. The statue's approximate size will be 51" high x 77" wide x 42" deep. The statue will be made of bronze on stained and stamped concrete base that will match the surrounding concrete. The Guidelines recommend:

- Site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts.

While the statue may be visible from certain vantage points, the proposed art appears to meet the Guidelines and will blend with the materials seen in the district.

RECOMMENDATION:

It is recommended that the HZC make a recommendation for approval of the proposal to the Franklin Public Arts Commission and the Board of Mayor and Aldermen for the placement of public art at 611 West Main Street.



Resolution No. 7-25-31
Requested by: Mayor's Office

**RESOLUTION ACCEPTING THE DONATION OF A HISTORICAL STATUE OF
BENJAMIN FRANKLIN FROM MS. PAM LEWIS**

WHEREAS, Tennessee Code Annotated, Section 5-8-101, provides that a county government may accept donations of money, intangible personal property, tangible personal property, and real property that are subject to conditional or restrictive terms if the county legislative body takes action to accept the conditional donation; and

WHEREAS, Ms. Pam Lewis founded PLA Media, a full-service public relations and marketing company for major music labels and independent artists, celebrities, and bestselling authors; and

WHEREAS, Ms. Pam Lewis has been a long time Tennessee citizen that has been involved the music industry; and

WHEREAS, Ms. Lewis has graciously donated to Williamson County an approximately 800 pound bronze historical statue of Benjamin Franklin wearing bifocals and reading the U.S. Constitution while sitting on a bench, conditioned on acceptance by the County Board of Commissioners; and

WHEREAS, the Williamson County Board of Commissioners finds it in the best interest of the citizens of Williamson County to accept the generous donation of a historical statue of Benjamin Franklin:

NOW, THEREFORE, BE IT RESOLVED, that the Williamson County Board of Commissioners, meeting in regular session on this 14th day of July, 2025, hereby accepts the generous donation of an 800-pound bronze historical statue depicting Benjamin Franklin wearing bifocals and reading the U.S. Constitution while seated on a bench from Ms. Pam Lewis, with the condition that the statue be used for a public purpose;

AND BE IT FURTHER RESOLVED that the Board further authorizes the County Mayor to execute any necessary documents to formally accept this conditional gift from Ms. Lewis.



County Commissioner

COMMITTEES REFERRED TO & ACTION TAKEN:

Property Committee For 6 Against 0 Pass ___ Out ___
Commission Action Taken: For ___ Against ___ Pass ___ Out ___

Jeff Whidby, County Clerk

Brian Beathard, Commission Chairman

Rogers C. Anderson, Williamson County Mayor

Date

BILL OF LADING		Carrier: IMAN TRUCKING LLC, 1072031				
Shipper		Pickup Date: 09/08/2025				
Lundeen Sculptures, Ltd. 338 E. 4th Street Loveland, CO 80537 Olivia P: +1 (970) 669-7176		Origin Terminal				
		Loveland, CO 80537 Phone: P: +1 (970) 669-7176				
		Destination Terminal				
Kevin Benson 305 Beasley Drive Franklin, TN 37064 Kevin Benson P: +1 (615) 487-8250		Franklin, TN 37064 Phone: P: +1 (615) 487-8250				
		Truckload Identifiers				
Consignee		Pickup Hours: 08:00 - 13:00 Delivery Hours: 08:00 - 16:00				
3rd Party Bill To						
Priority 1 Inc. P.O. Box 398 North Little Rock, AR 72115 P: +1 (888) 569-8035						
Special instructions:						
Freight Terms: <input type="checkbox"/> Prepaid <input type="checkbox"/> Collect <input checked="" type="checkbox"/> 3rd Party						
Units	Type	Pieces	Weight	Dimensions	HM	Item Description
1	Pallet	0	500 lbs	48" x 48" x 76"		Statue
1	0		500 lbs			Grand Totals
Where the rate is dependent on value, shippers are required to state specifically in writing the agreed or declared value of the property as follows: "The agreed or declared value of the property is specifically stated by the shipper to be not exceeding ___ per ___."						
Remit COD to:						
Collect _____ Prepaid _____ Customer check acceptable _____ COD Amount: \$						
Note: Liability limitation for loss or damage in this shipment may be applicable. See 49 USC 14706(c)(1)(A) and (B)						
Received, subject to individually determined rates or contracts that have been agreed upon in writing between the carrier and shipper, if applicable, otherwise to the rates, classifications and rules that have been established by the carrier and are available to the shipper, on request, and to all applicable state and federal regulations.			Trailer Loaded: ___ by Shipper ___ by Driver		Freight Counted: ___ by Shipper ___ by Driver	
The Carrier shall not make delivery of this shipment without payment of and all other lawful charges. Shipper: _____						
Shipper Signature / Date				Consignee Signature / Date		
This is to certify that the above-named materials are properly classified, described, packaged, marked and labeled, and are in proper condition for transportation according to the applicable regulations of the Department of Transportation. Shipper: <i>Olivia Lundeen</i> Time In: _____ Time Out: _____				This is to certify that the above-named materials are properly classified, described, packaged, marked and labeled, and are in proper condition for transportation according to the applicable regulations of the Department of Transportation. Consignee: <i>Kevin Benson</i> Time In: _____ Time Out: _____ 9/11/25		
Carrier Signature / Date						
Carrier acknowledges receipt of packages and required placards. Carrier certifies emergency response information was made available and/or carrier has the Department of Transportation emergency response guidebook or equivalent documentation in vehicle. Property described above is received in good order, except as noted. Carrier: _____						

Rogers C. Anderson
Williamson County Mayor



Property Management
Kevin R. Benson, Director

MEMORANDUM FOR CITY OF FRANKLIN, HISTORIC ZONING COMMISSION

SUBJECT: Permission to place a Bronze Sculpture of Benjamin Franklin on Williamson County Property located at 611 West Main Street

Historic Zoning Commission,

MS. Pam Lewis made an extremely generous gift of a 500 pound bronze historical statue of Benjamin Franklin wearing bifocals and reading the U.S. Constitution while sitting on a bench. The location that the county would like to place the statue is at our Archives Museum located at 611 West Main Street. The placement of the statue will have MR. Franklin looking down Main Street toward the square.

The size of the statue is 51" high x 77" wide x 42" deep. The statue will be placed and secured on colored and stamped concrete to match the existing concrete in the vicinity of the selected location. The surrounding area will have complimentary landscaping placed around it and the entire statue will be lit during times of darkness.

A placard will be placed adjacent to the statue and a possible informational Kiosk may follow at a latter time. The Kiosk is an educational tool that can enhance the ability of those wanting to learn about the man that Franklin, Tennessee was named after.

The city of Franklin, Tennessee was named after the American Founding Father Benjamin Franklin. The city was founded in 1799 by Abram Maury Jr., who initially planned to name it Marthasville after his wife, Martha. However, Martha insisted that the town be named in honor of Benjamin Franklin, a close friend of Dr. Hugh Williamson, a local Continental Congress member for whom Williamson County was later named.

We look forward to the approval of the placement of this beautiful public art piece that will enhance one of the only green spaces in the Historic Downtown Overlay.


KEVIN R. BENSON
Director
Property Management



OWNER AFFIDAVIT

City of Franklin, Tennessee

When an application is not filed by the owner of the property, the City requires documentation that the owner of the property is aware of an application being filed on their behalf.

I/We ROGERS C. ANDERSON
(please print name(s) as listed on deed; if property owner is a company, provide full company name plus specific name(s) of representative)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

078CJ 00100 00009078C
(Property Parcel/Tax ID Number)
and located at:

611 WEST MAIN STREET
(Street Address)

I am/We are fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I) (we) hereby appoint

KEVIN R. BENSON
(Please print name(s) in Full - This should be the applicant listed in IDT)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

Rogers C. Anderson
Owner Signature

N/A
Additional Owner Signature, if applicable

1320 WEST MAIN STREET
Property Owner Mailing Address

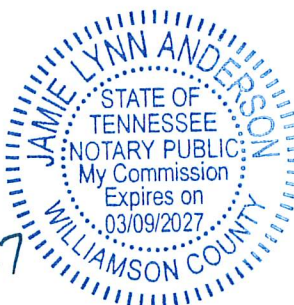
FRANKLIN, TN 37064
City, State & Zip

Subscribed and sworn to before me this

30 day of September 2025.

Jamie Lynn Anderson
Notary Public

My Commission Expires: 03/09/2027



Benjamin Franklin Location

Write a description for your map.

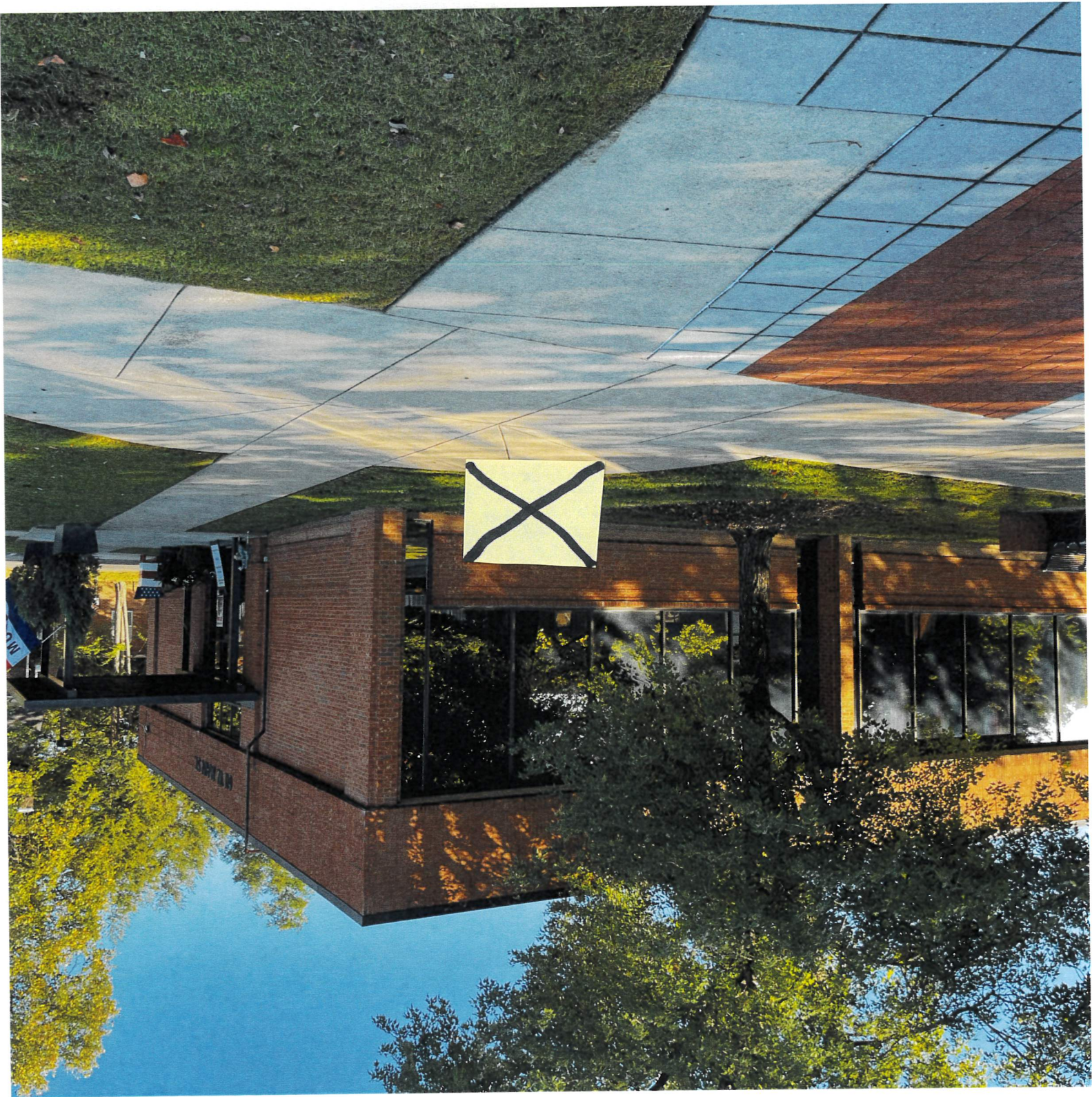
Legend

Google Earth

@ 2025 Google

5.88 ft









File #: 21-01235

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration Of Roofing Alterations At 312 3rd Ave. S.; Josh Foy, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning roofing alterations at 312 3rd Avenue South.

APPLICABLE DESIGN GUIDELINES:
2022 Historic District Guidelines:
Chapter 2: Historic Residential Buildings

PROJECT INFORMATION:
COF Project Number: 8944
Applicant: Josh Foy
Owner: James B. Tafel, Jr.

BACKGROUND:
The property at 312 3rd Avenue South is located in the Downtown Franklin National Register Historic District. The NRHP listing notes that the building was constructed circa 1890 and is a T-plan residence. The proposal includes the removal of a portion of the metal roofing and replacing it with a rubber membrane roofing material. The material change is needed as the metal roofing is leaking into the building and the membrane roof will aid in water runoff from the existing 2:12 roof slope. The existing roofing is dark in color and the rubber membrane roofing will closely match the existing roofing. The portion that is to be replaced will not be seen from streetview as it is over a later addition. The Guidelines recommend:

- Preserve historic roof forms and materials. Roofing sections on main and other visible facades should remain unaltered.
- If localized damage occurs, replace the damaged materials only. If partial or wholesale replacement is needed, use materials whose composition and appearance match the historic materials.
- Alternative materials may be considered for use on a case-by-case basis. Considerations include the potential impact on historic significance, durability, accuracy of appearance, location, environmental impacts, and interaction with historic building materials.

While the rubber membrane is not a historic material for the building, it is an alternative material that will preserve the building's integrity and prevent water intrusion.

RECOMMENDATION:

Staff recommends approval with the following conditions:

1. The rubber membrane roofing shall only be installed in the approved location per the application.
2. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
3. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.







ROOF AREA

TO BE REPLICATED





-Images attached of aerial roof view

-Image with the location of the proposed replacement area

-Images of The existing roof material attached

-EPDM is 60mil

- Thickness: 60 mils (0.060 inches or 1.52 mm)
- Material: EPDM (Ethylene Propylene Diene Terpolymer), a synthetic rubber membrane
- Color =black

-The roof pitch in the proposed replacement area is 2/12



File #: 21-01238

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration Of Alterations (Accessory) At 106 Winslow Rd.; Steve Maher, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning the garage door replacement and the construction of a rear dormer at 106 Winslow Rd.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines:
Chapter 5: Historic Accessory Structures

PROJECT INFORMATION:
COF Project Number: 8920
Applicant: Stephen Maher
Owner: Stephen and Nancy Maher Rev Trust

BACKGROUND:
The property at 106 Winslow Road is located in within the Franklin Road Historic District. The building appears to be a cottage-style house with Tudor Revival influences. The building and accessory structure were constructed in the 1930s. A series of alterations and additions were approved at the September HZC meeting and the change of the doors were not approved. Within the current application, the garage doors are proposed to be replaced and a rear dormer is proposed to be constructed on the accessory structure.

Garage Door Replacement

It is proposed to replace the metal overhead garage doors with wood carriage-style doors. The existing garage doors are simple in design and utilize two very small window openings near the top of the doors. It is proposed it utilize a similar design of door that uses a combination of a window on the top of the door and a paneled wood design on the lower portion of the door, that is seen on Winslow Road for the doors on the garage. The proposed doors have a six-window-lite pattern on the top of each of the doors, which is a style that is seen in the historic districts in Franklin. The Guidelines recommend:

- Design doors and doorways to an addition to read as secondary in appearance and detailing to the historic building.

- Use traditional materials with appearances similar to the doors on the historic building.

The proposed doors are appropriate per the Guidelines' recommendation.

Dormer Construction

A dormer is proposed to be constructed on the rear of the accessory structure. It utilizes a similar design and materials that are seen on the principal building. The Guidelines recommend:

- Place dormers on additions in locations with obscured visibility from the front facade or street.
- Appropriately size and locate dormers on the addition. Dormers should be designed to be similar yet subordinate in detailing, scale, width, and massing to dormers on the historic building.
- Relate the style, scale, and proportion of dormer windows to windows on lower floors.
- Dormer roof pitch should be at least 3:12 and no less than half the main roof pitch.
- Dormers should be located below the main ridge of the addition.
- Dormers should be recessed at least 1 foot from the exterior building wall.
- Dormer sidewalls should be at least 30 inches from the exterior building wall.

As proposed, the dormer is appropriately placed and sized for the accessory structure per the Guidelines.

RECOMMENDATION:

Staff recommends approval of the application with the following conditions:

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

9/26/25

Emily Huffer, Preservation Planner
City of Franklin Tennessee
Historic Zoning Commission
Planning Department
Phone: (615) 794-6795
emily.huffer@franklintn.gov

VIA: Upload to the City of Franklin portal

RE: 106 Winslow Road, Certificate of Appropriateness:

Accessory Structural carriage doors and dormer

Emily,

The following is a project description of the work being proposed for the property at 106 Winslow Road.

Project Description: Renovation of Historic Accessory structure at 106 Winslow Road, Franklin, TN:

This project involves the minimal exterior renovation of a historic accessory structure at 106 Winslow Road in Franklin, Tennessee. The scope of work is as follows:

Key components of the renovation include:

- **Garage Door Replacement:** Existing metal overhead garage doors will be replaced with custom built wood carriage-style doors with proportionate glazing to better reflect the home's historic character.
- **Accessory structure dormer:** A single new dormer is proposed on the rear of the existing structure to allow more light into the space. It is proposed on the rear facing the existing adjacent property zoned commercial and will not be visible from the primary street. The dormer is designed as directed by the guidelines and is similar in proportion to the existing dormer but slightly smaller to be compatible with the accessory structure.
- **Miscellaneous in-kind repairs and exterior Restoration:**
 - Full roof replacement using similar shingles.
 - Repointing of existing stone stoops and landings to ensure structural integrity and visual continuity.

- Repair and repainting of damaged wood trim.
- Replacement and/or repair of gutters to ensure proper drainage and preservation of the building envelope.

This renovation will prepare the structure to eventually be used as an accessory dwelling while making the proposed updates to improve livability and long-term durability.

Thank you for your attention to this matter.

Regards,



Stephen Maher

Stephen and Nancy Maher Rev Trust

Property owners

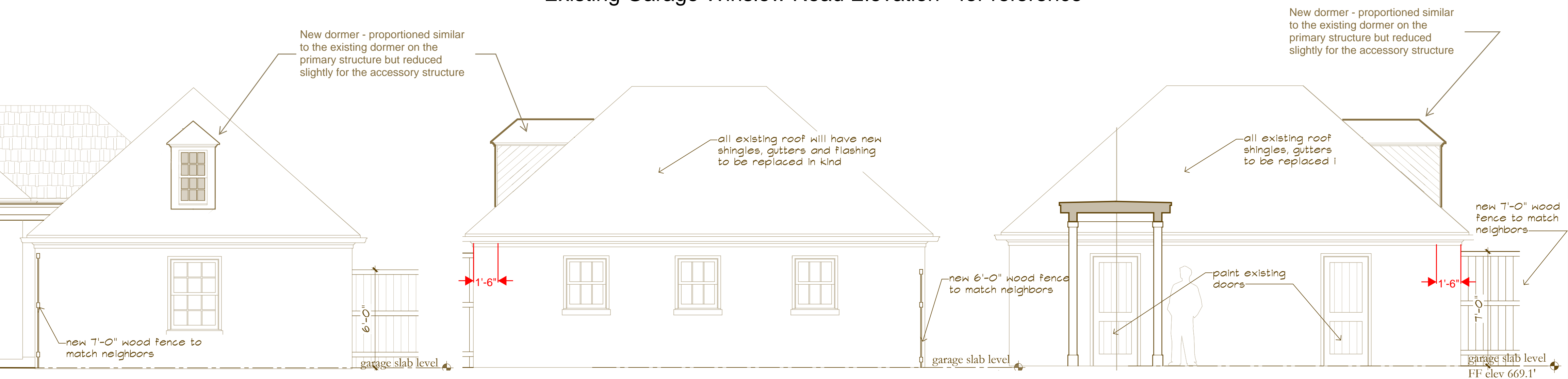
1215 S. Harpeth Rd.

Kingston Springs, TN 37082

615-504-8946



Existing Garage Winslow Road Elevation - for reference



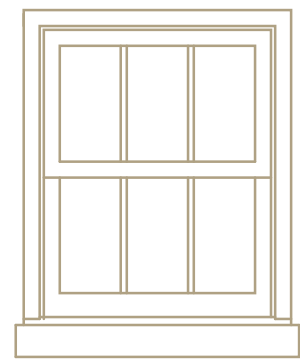
Garage Rear Elevation - new dormer

Garage Side Elevation - New dormer

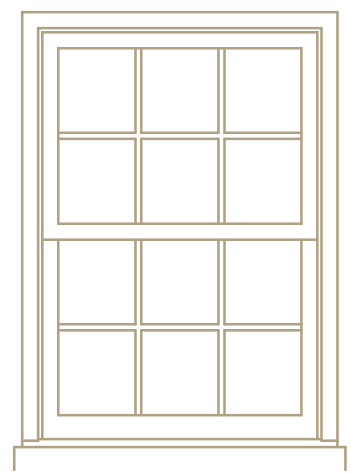
Garage Side Elevation - New dormer



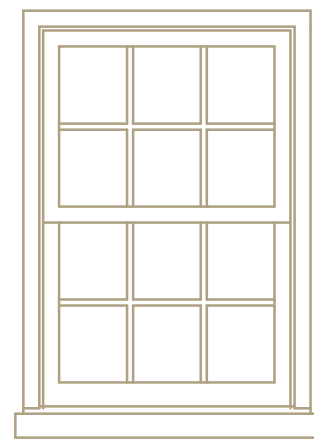
SW 9524
Crooked River
RGB 107 112 92



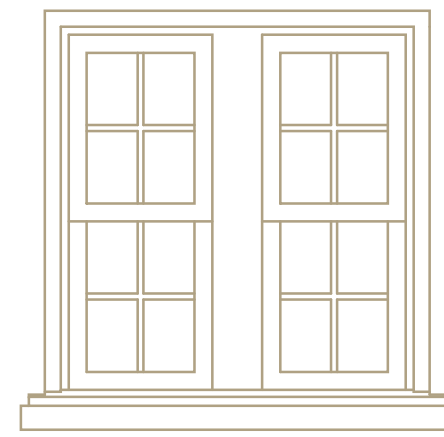
Accessory Building
side double hung



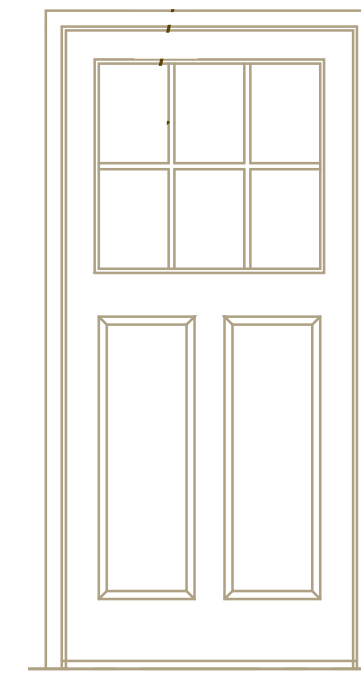
Accessory Building
rear double hung



Primary structure
double hung



Primary structure
Front bay



Main entry door

106 Winslow Existing Fenestration



Proposed New Carriage Style Doors - Garage Front Elevation



File #: 21-01239

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration Of Alterations (Accessory) At 1001 Fair St.; Kelly Harville, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning alterations to the accessory structure at 1001 Fair Street.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines:
Chapter 5: Historic Accessory Structures

PROJECT INFORMATION:
COF Project Number: 8945
Applicant: Kelly Harville
Owner: Kelly Harville

BACKGROUND:
The property located at 1001 Fair Street is located in the Hincheyville National Register Historic District. The NRHP lists the building as being constructed circa 1930 and is deemed contributing within the district. The accessory structure faces 10th Avenue North. The proposal includes the following items:

- Repair and replace in-kind the siding if deteriorated
- Replace the roofing
- Install gutters
- Replace the non-historic sliding glass doors.

Siding Repair

The application notes that there may be deteriorated portions of the siding that may need repair or replacement. The Guidelines recommend:

- Maintain and preserve historic wood siding, shingles, weatherboard, board-and-batten, and other historic wooden elements.

- Paint, repair, and provide other regularly needed maintenance. Should historic exterior wood siding require repair or replacement, the resulting materials, profiles, and designs should match the historic configuration.

The in-kind repair and replacement of the wood siding is supported by the Guidelines.

Roof Replacement

The existing roofing on the building appears to be an asphalt shingle roof and it is proposed to replace it with an in-kind replacement of an asphalt shingle roof. The Guidelines recommend:

- Preserve historic roof forms and materials.
- If partial or wholesale replacement is needed, use materials whose composition and appearance match the historic materials.

As proposed, the in-kind replacement of the roof is supported by the Guidelines.

Gutter Installation

It is proposed to install half-round gutters on the accessory structure to match the principal building's gutters. The Guidelines recommend:

- Use gutters, downspouts, and splash blocks in a design appropriate to the age of the building they support. Use half-round gutters if the building dates from before the 1930s. Use ogee gutters if the building dates from after the 1930s.
- Locate downspouts away from architectural features and in less visible locations.

As proposed, the installation of half-round gutters is supported by the Guidelines.

Garage Door Replacement

The existing garage doors are sliding glass doors. It is proposed to replace the existing doors with a door design that was previously used on the structure. The carriage style doors utilize a six-window-lite pattern on the top of each door and a crossbuck design on the bottom of each door. The Guidelines recommend:

- Preserve and maintain original entrance locations and elements, such as original doors, transoms, sidelights, and surrounds. Leave unpainted doors unpainted.
- Avoid replacing original doors unless significant deterioration is demonstrated.
- Use designs appropriate for the style and age of the building for replacement doors and avoid modern solid-core wooden doors, doors with similar variations, and doors with ornate designs of wrought-iron or similar metals.

As proposed, the proposal meets the intent of the Guidelines.

RECOMMENDATION:

Staff recommends approval of the application with the following conditions:

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.

2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

September 22, 2025

RE: Certificate of Appropriateness

Proposed repairs to existing/original Shed at 1001 Fair Street, Franklin, TN

The project involves minimal repairs to exterior wood siding, new asphalt roof and half round gutters, and replacement of shed entry door.

Key components:

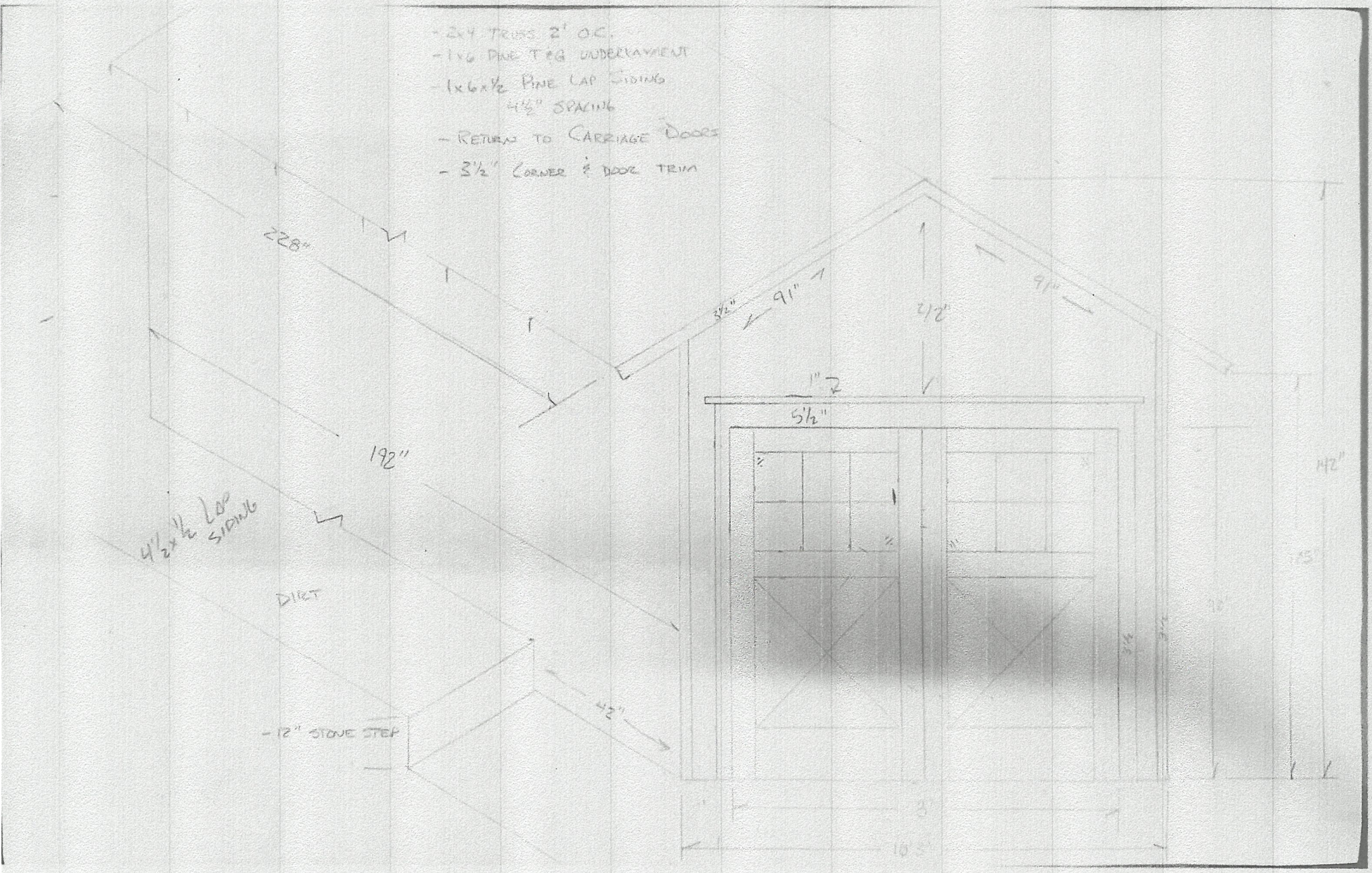
- **Shed Door Replacement:** Existing sliding glass door will be replaced with custom built wood carriage style doors similar in size and style to original doors and in keeping with home's historic character (see photos).

- **Roof and gutters will be replaced with materials matching those existing on house.**
 - Roofing – Laminated asphalt shingles, weathered wood**
 - Gutters – Half round, dark brown**

1001 Fair Street, Franklin, TN 37064



- 2x4 TRUSS 2' OC.
- 1x6 PINE T&G UNDERLAMENT
- 1x6x1/2 PINE LAP SIDING
4 1/2" SPACING
- RETURN TO CARRIAGE DOORS
- 3 1/2" CORNER & DOOR TRIM



4 1/2 x 1/2 LAP SIDING

DIRT

- 12" STONE STEP





1002 West Main St. Frontl. b. Ttl 37068



Google

Image capture: Feb 2021 © 2025 Google United States Terms

312 3rd Ave. S Franklin, TN
37064









File #: 21-01219

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:
Consideration Of Site Alterations (Walkway Material) At 1835, 1837, 1839, 1841, And 1843 William Campbell Ct. (Magnolia Hall Subdivision, Lots 2-6); David Horwath, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning site materials for the walkways on Lots 2-6 of the Magnolia Hall Subdivision, 1835-1843 William Campbell Court.

APPLICABLE DESIGN GUIDELINES:
2016 Franklin Historic District Design Guidelines:
Landscaping (p. 70)

PROJECT INFORMATION:
COF Project Number: 8869
Applicant: David Horwath, Magnolia Hall, LLC.
Owner: David Horwath, Magnolia Hall, LLC.

BACKGROUND:
The properties located at 1835-1843 William Campbell Court are located in the Boyd Mill Avenue Historic District. The properties include Lots 2-6 of the Historic Magnolia Hall Subdivision. The neighborhood development site features the William Campbell House, constructed ca. 1840, and is listed on the National Register of Historic Places. The item was deferred during the September 2025 HZC meeting from a comprehensive application for site materials.

The proposal includes a change in the walkway material to be cobblestone. This material would be used from the sidewalk to the front porch of each building. The steps in the path of the walkway on each lot will utilize either stone or brick, depending on the materials approved for the building. The path of the walkway has been altered. The Guidelines recommend the following:

- New sidewalks and walkways should follow historic patterns of alignment, configuration, width, and materials.

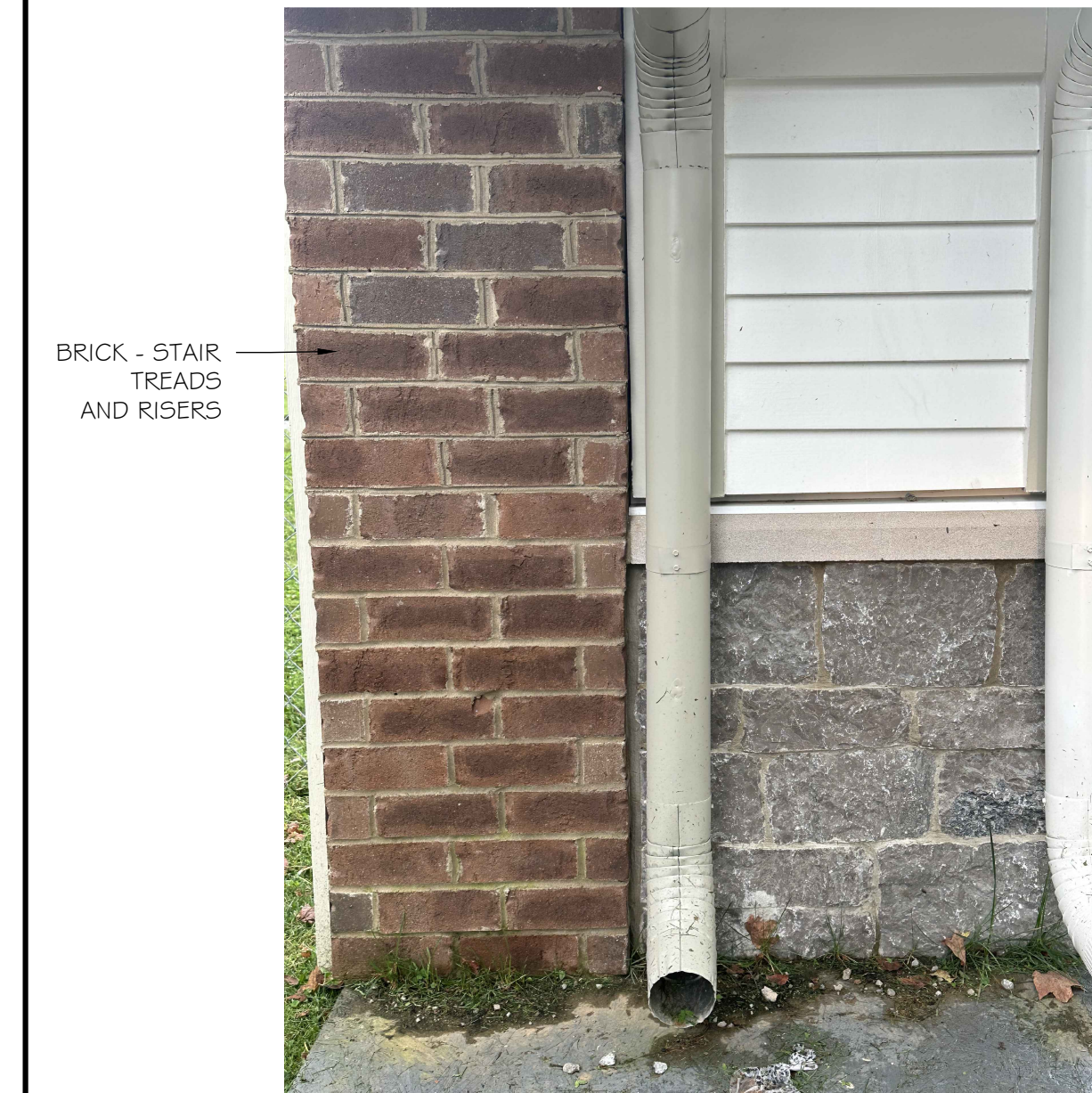
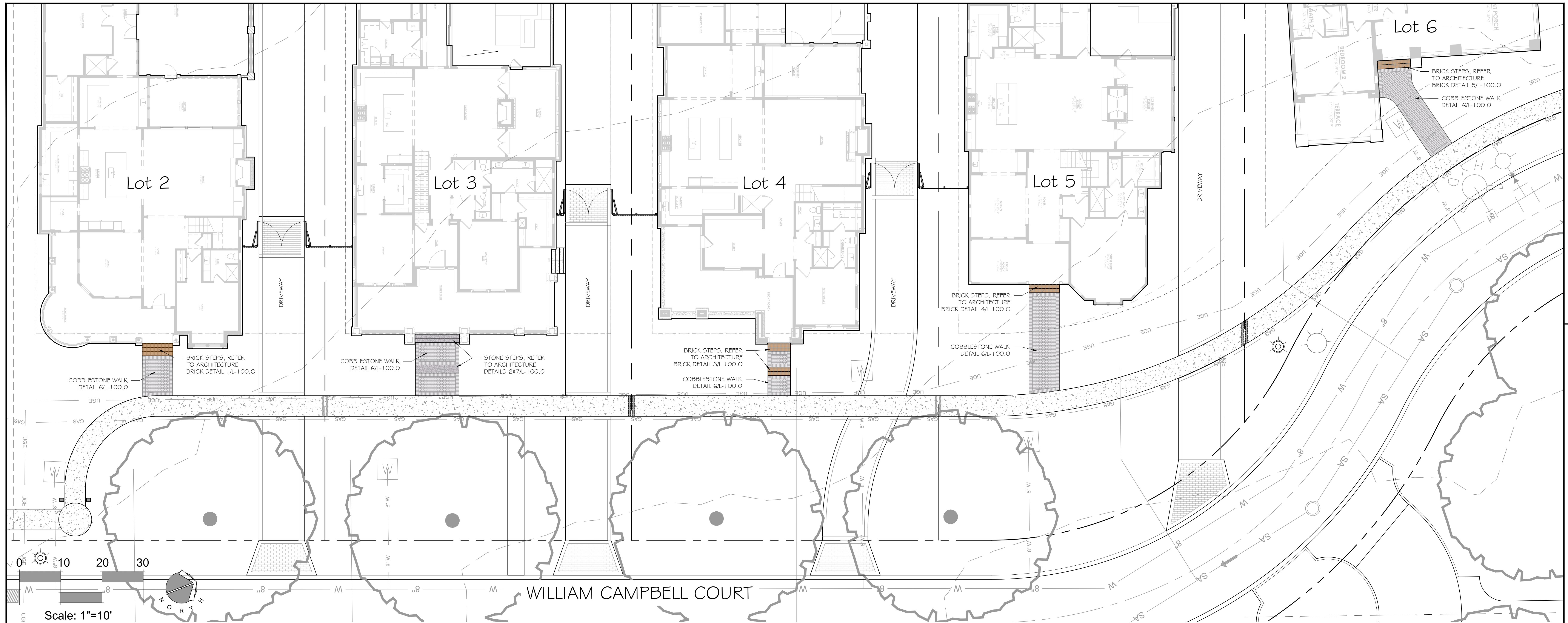
A variety of materials can be seen in the district for the walkway material, including but not limited to

brick, stone, and concrete. The historicity of these materials is not known, but they are commonly seen. While cobblestone is a less common stone within the district, it is a stone material that is of high quality. The use of stone for the walkway materials for the properties is appropriate.

RECOMMENDATION:

Staff recommends approval of the walkway material with the following conditions:

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



1 Lot 2 Materials Board
 L-100.0 Pictorial - design intent NTS



2 Lot 3 Materials Board
 L-100.0 Pictorial - design intent NTS



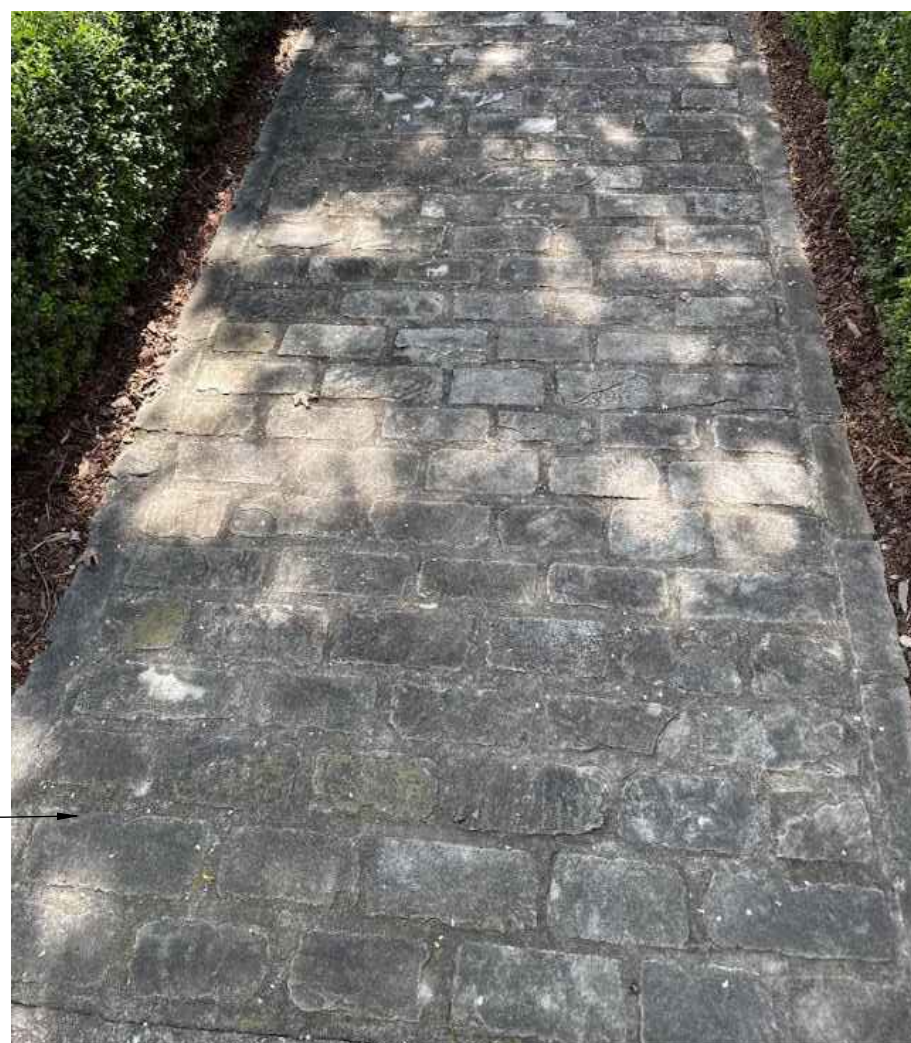
3 Lot 4 Materials Board
 L-100.0 Pictorial - design intent NTS



4 Lot 5 Materials Board
 L-100.0 Pictorial - design intent NTS



5 Lot 6 Materials Board
 L-100.0 Pictorial - design intent NTS



6 Stone Lead Walks - example found at 234 4th Ave North
 L-100.0 Pictorial - design intent NTS



7 Stone Stair Treads
 L-100.0 Pictorial - design intent NTS

date: 9/25/25
 revisions:

project no. 19068
 scale: shown on plan

L-100.0



File #: 21-01216

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:
Consideration Of Alteration (Principal Building) At 1009 Fair St.; Patrick Ogle, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning a material change on the principal building at 1009 Fair Street.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines:
Chapter 2: Historic Residential Buildings

PROJECT INFORMATION:
COF Project Number: 8947
Applicant: Patrick Ogle
Owner: Patrick Ogle

BACKGROUND:
The property located at 1009 Fair Street is located in the Hincheyville National Register Historic District. The site features a ca. 1930 bungalow with Craftsman influence and is contributing to the district. The buildings are currently under construction for approved work for reconstruction, alterations, and additions.

The proposal is to change the material of the reconstructed front porch gable from smooth paneling to cedar shake. The smooth panel material was approved in November 2023. At the time, the use of cedar shake in the gables was not proposed. The use of cedar shake as the material for the gables elsewhere on the building was approved in February 2025. It is difficult to discern the material of the front porch gable roof in the historic photo for which reconstruction was approved for the porch. The Guidelines recommend the following:

- Preserve original elements and materials, such as columns, flooring, railings, and decorative trim.

While staff is unable to find additional photographic evidence of the material in the historic front porch

gable, the use of cedar shake, smooth paneling, or stucco for elements related to porch materials and gables is appropriate to the Craftsman style.

RECOMMENDATION:

Staff recommends approval with the following conditions:

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



425 BOYD MILL AVE



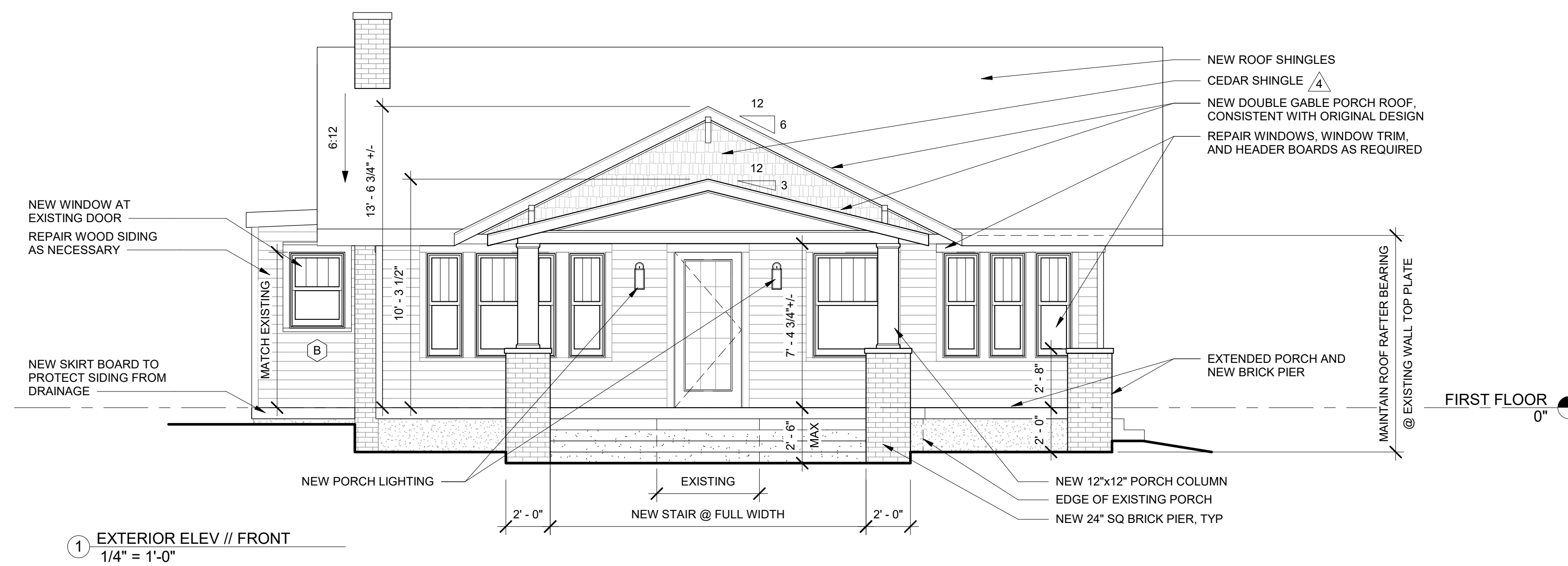
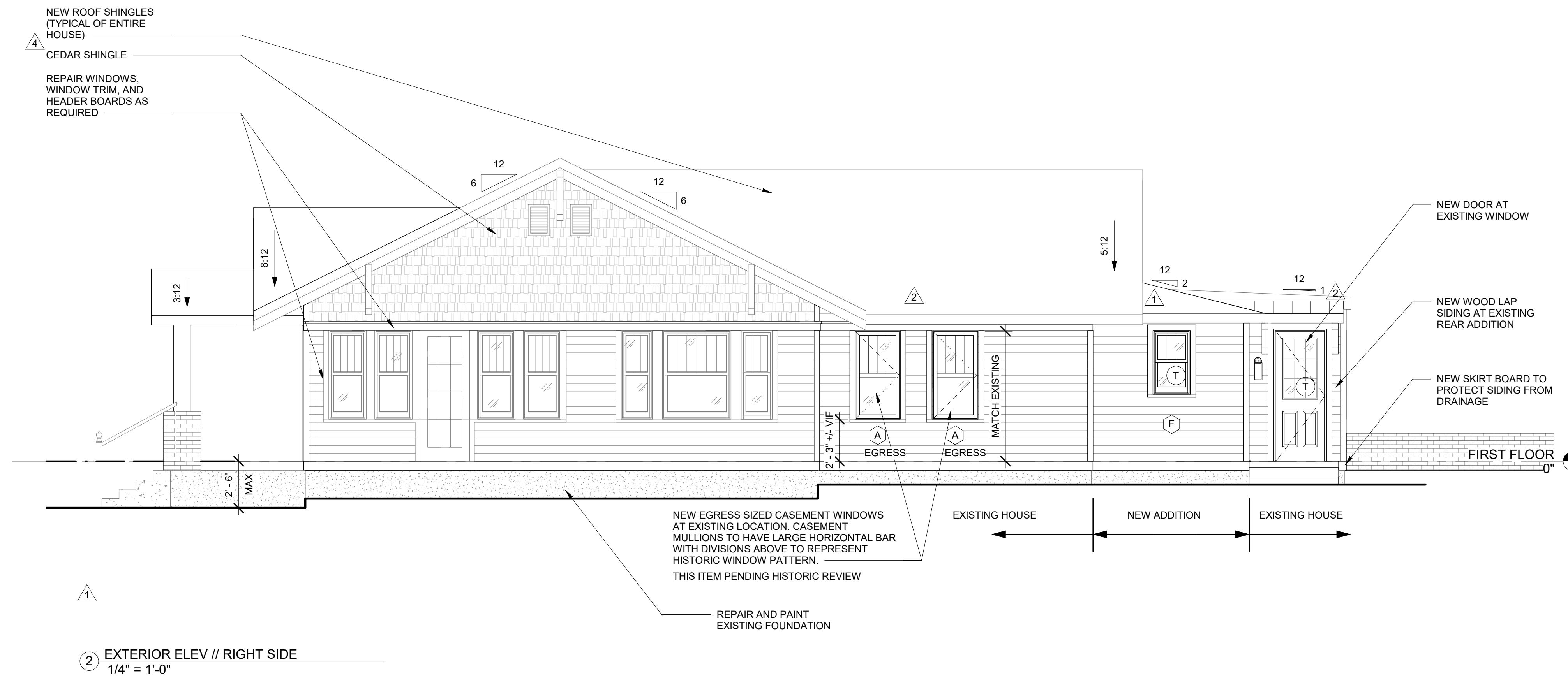
EXISTING SIDING FOUND UNDER ASBESTOS SIDING

ELEVATION LEGEND

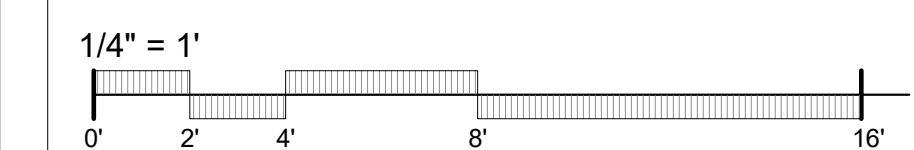
- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- WINDOW TYPE - SEE A601
- EXISTING CEDAR SHAKE (ASSUMED) UNDER CURRENT SIDING. SEE NOTES BELOW
- WOOD CLAPBOARD SIDING EXTERIOR
- TEMPERED GLASS

GENERAL NOTES

1. PROVIDE HALF ROUND METAL GUTTERS AND ROUND DOWNSPOUTS.
2. SEE SHEET A101 FOR WINDOW AND DOOR SPECIFICATIONS AND COLOR.
3. EXTERIOR FINISHES:
SIDING COLOR: TBD
ASPHALT SHINGLE: CERTAINTEED
ASPHALT SHINGLE MODEL: LANDMARK
ASPHALT COLOR: TBD
METAL ROOF COLOR: TBD
TRIM COLOR: TBD
4. NOT USED

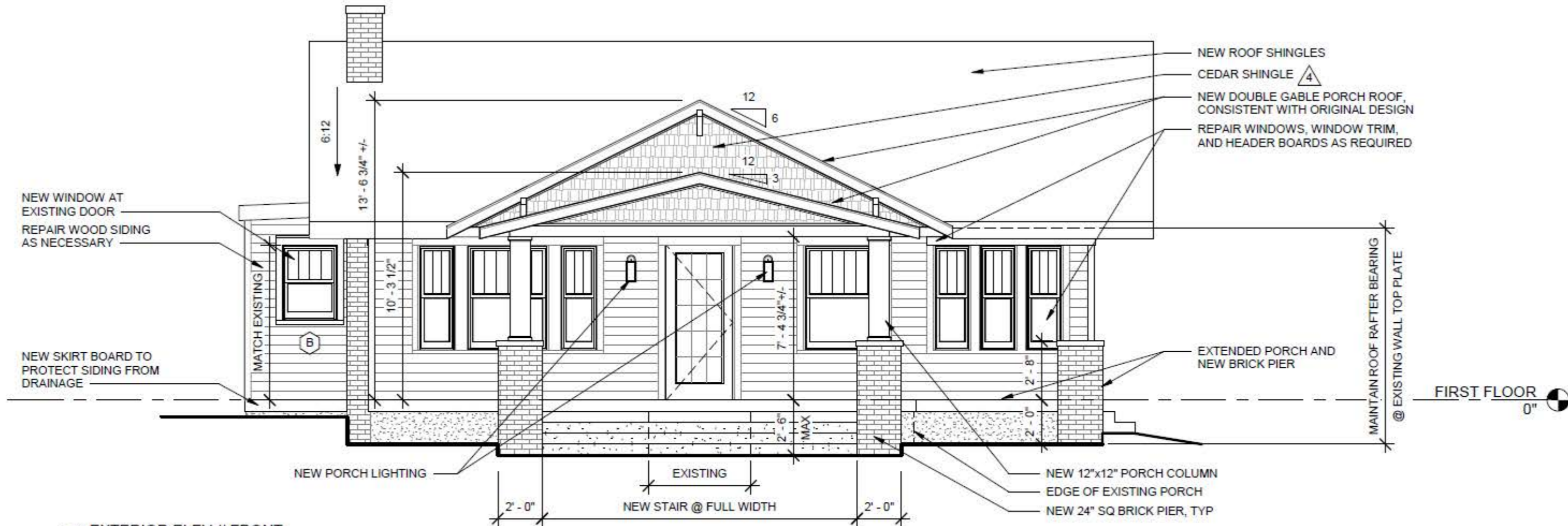


GRAPHIC SCALES

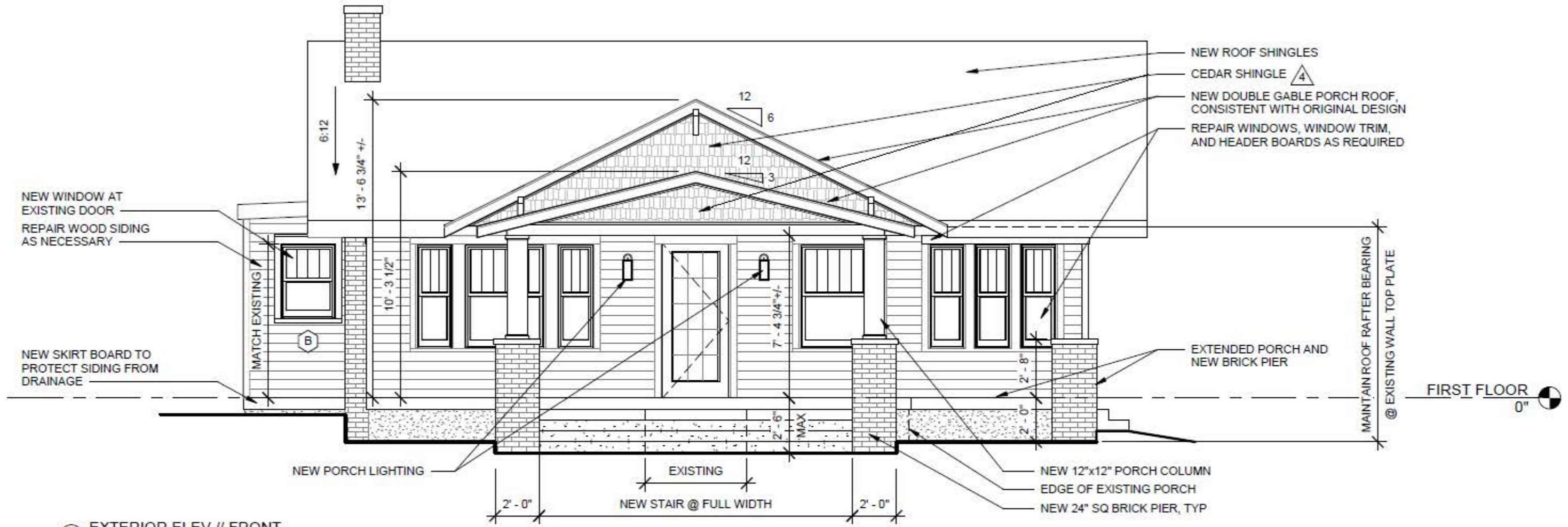


CONSTRUCTION DOCUMENTS

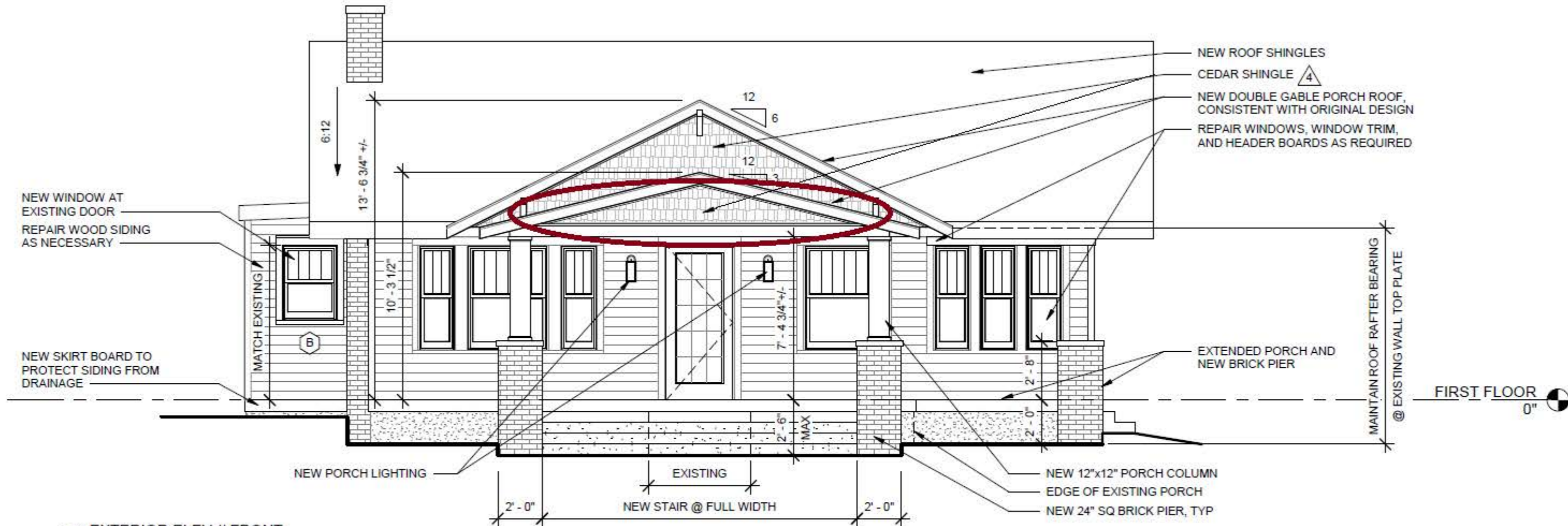
1009 FAIR STREET RESIDENCE
1009 FAIR STREET, FRANKLIN TN 37064
RENOVATIONS AND ADDITIONS



① EXTERIOR ELEV // FRONT
 1/4" = 1'-0"



① EXTERIOR ELEV // FRONT
 1/4" = 1'-0"



① EXTERIOR ELEV // FRONT
 1/4" = 1'-0"

← 517 Church St
 Franklin, Tennessee

Google Street View

Feb 2022 [See more dates](#)



224 4th Ave S
 Franklin, Tennessee

 **Google Street View**

Jan 2021 [See more dates](#)





416 Boyd Mill



File #: 21-01215

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:
Consideration of Signage at 230 Public Square; Raenah Anderson, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning signage for the tenant at 230 Public Square.

APPLICABLE DESIGN GUIDELINES:
2022 Historic District Design Guidelines
Chapter 8: Signs (Wall & Directory)

PROJECT INFORMATION:
COF Project Number: 8946
Applicant: Raenah Anderson, Jarvis Signs
Owner: Fourth Capital

BACKGROUND:
The property located at 230 Public Square is located in the Downtown Franklin National Register Historic District. The site features a ca. 1890 two-story brick commercial building that features a detailed full-width entry bay. The proposal was discussed during the September 2025 DRC meeting and additional renderings for reference and changes have been made to the application.

The proposal includes a request for four signs; 1) wall sign on the front façade, 2) directory sign on the front façade, 3) wall sign on the right façade, and 4) wall sign on the rear façade. The applicant included images of the previously existing signage and an exhibit of the signage at the recommended nine square foot sign area size. The Guidelines recommend the following:

- Wall signs be at a maximum of 12' from grade.
- Wall sign area be 9 square feet and proportionate to the building façade and other signage.

The wall sign on the front façade exceeds the recommended nine square foot sign area size and recommended twelve-foot height from grade. The side and rear wall signs exceed the recommended nine-square-foot sign area size.

RECOMMENDATION:

Staff recommends denial of the front wall sign based on the following Guidelines:

- Wall signs should be at a maximum of 12' from grade.
- The wall sign area should be 9 square feet and proportionate to the building façade and other signage.

Staff recommends approval of the directory sign, side wall sign, and rear wall sign with the following conditions:

1. The wall sign area must not exceed 9 square feet.
2. Mounting bolts must be installed through mortar joints rather than the face of the masonry.
3. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
4. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

PREVIOUS FIFTH THIRD BANK SIGNAGE FOR REFERENCE



310 Madison St
Madison, TN 37115



615.865.6062



www.jarvissigns.com

Customer:

VOLUNTEER BANK
230 PUBLIC SQUARE
FRANKLIN, TN

File Location:

DRAWINGS\VOLUNTEER STATE
BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By: Project Manager:

AJS AJS

PAGE #

SG.1A

Original Date:	Revision Date:	Rev #
06/16/25		

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BUILDING FRONTAGE - 36'-10"



**16" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
SERVICE AND FOCUS EXISTING LIGHTS**



310 Madison St
Madison, TN 37115



615.865.6062



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Customer:

VOLUNTEER BANK
230 PUBLIC SQUARE
FRANKLIN, TN

File Location:

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VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By:

AJS

Project Manager:

AJS

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Sign Type:

VARIOUS

Drawn By:

AJS

Project Manager:

AJS

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SG.1.1

Original Date:
06/16/25

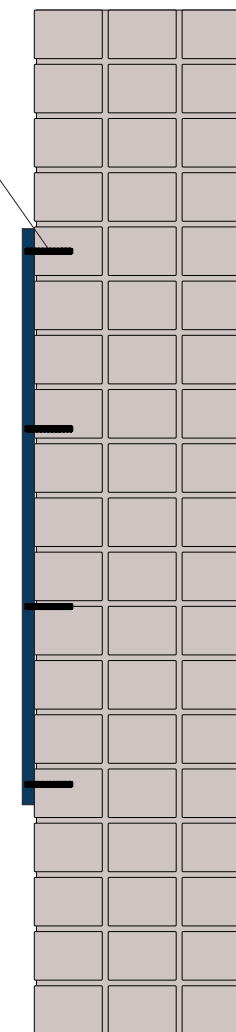
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1/4"-20 ALUMINUM STUDS, 2" LONG
MINIMUM 4 PER LETTER.
CLEAR SILICONE ADHESIVE ON STUDS AND BACK OF LETTER



2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"

80 3/4"



1 FRONT VIEW
SCALE: 3/4"=1'-0"

16" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
PAINT LETTERS PMS2955C. PAINT V ACCENT PMS299C
STUD MOUNT FLUSH TO BUILDING.

ADD 1 GOOSENECK LIGHT.
SPEC IS RAB GN1LED26NACB WITH BLACK FINISH

8.97 SQUARE FEET

BUILDING FRONTAGE - 71'-0"



16" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
1 GOOSENECK LIGHT



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Customer:

VOLUNTEER BANK
230 PUBLIC SQUARE
FRANKLIN, TN

File Location:

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BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By:

AJS

Project Manager:

AJS

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SG.2

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FRANKLIN, TN

File Location:

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BANK\2024 BRAND CHANGE\
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Sign Type:

VARIOUS

Drawn By:

AJS

Project Manager:

AJS

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1 FRONT VIEW
SCALE: 3/4"=1'-0"

16" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
PAINT LETTERS PMS2955C. PAINT V ACCENT PMS299C
STUD MOUNT FLUSH TO BUILDING.

ADD 1 GOOSENECK LIGHT.
SPEC IS RAB GN1LED26NACB WITH BLACK FINISH

8.97 SQUARE FEET

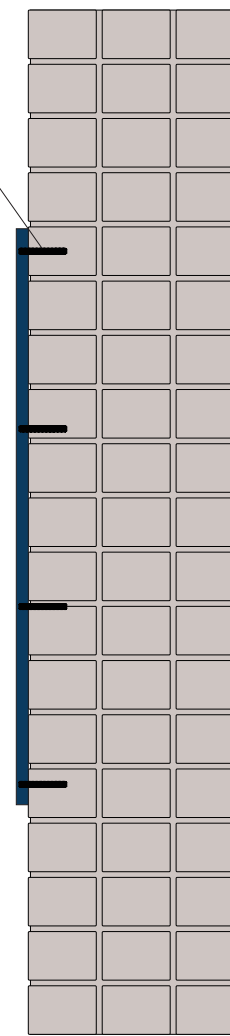


GN1LED26NACB

- Adjustable 45° swivel joint
- Superior heat sink
- Die-cast aluminum housing
- 5-Year, No-Compromise Warranty

[View Technical Specs >](#)

1/4"-20 ALUMINUM STUDS, 2" LONG
MINIMUM 4 PER LETTER.
CLEAR SILICONE ADHESIVE ON
STUDS AND BACK OF LETTER



2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"

BUILDING FRONTAGE - 60'-0"



16" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
1 GOOSENECK LIGHT



310 Madison St
Madison, TN 37115



615.865.6062



www.jarvisigns.com

Customer:

VOLUNTEER BANK
230 PUBLIC SQUARE
FRANKLIN, TN

File Location:

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BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By: Project Manager:

AJS AJS

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SG.3

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230 PUBLIC SQUARE
FRANKLIN, TN

File Location:

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BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By: Project Manager:

AJS AJS

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1 FRONT VIEW
SCALE: 3/4"=1'-0"

16" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
PAINT LETTERS PMS2955C. PAINT V ACCENT PMS299C
STUD MOUNT FLUSH TO BUILDING.

ADD 1 GOOSENECK LIGHT.
SPEC IS RAB GN1LED26NACB WITH BLACK FINISH

8.97 SQUARE FEET

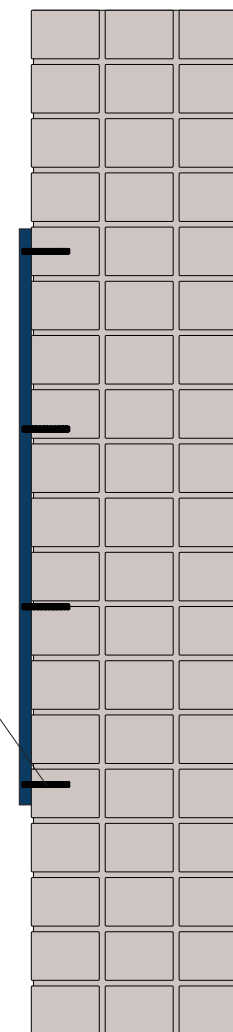


GN1LED26NACB

- Adjustable 45° swivel joint
- Superior heat sink
- Die-cast aluminum housing
- 5-Year, No-Compromise Warranty

[View Technical Specs >](#)

1/4"-20 ALUMINUM STUDS, 2" LONG
MINIMUM 4 PER LETTER.
CLEAR SILICONE ADHESIVE ON
STUDS AND BACK OF LETTER



2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"



20" X 16" DIRECTORY SIGN



310 Madison St
Madison, TN 37115



615.865.6062



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Customer:

VOLUNTEER BANK
230 PUBLIC SQUARE
FRANKLIN, TN

File Location:

DRAWINGS\VOLUNTEER STATE
BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By: AJS **Project Manager:** AJS

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230 PUBLIC SQUARE
FRANKLIN, TN

File Location:

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BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By: Project Manager:
AJS AJS

PAGE #

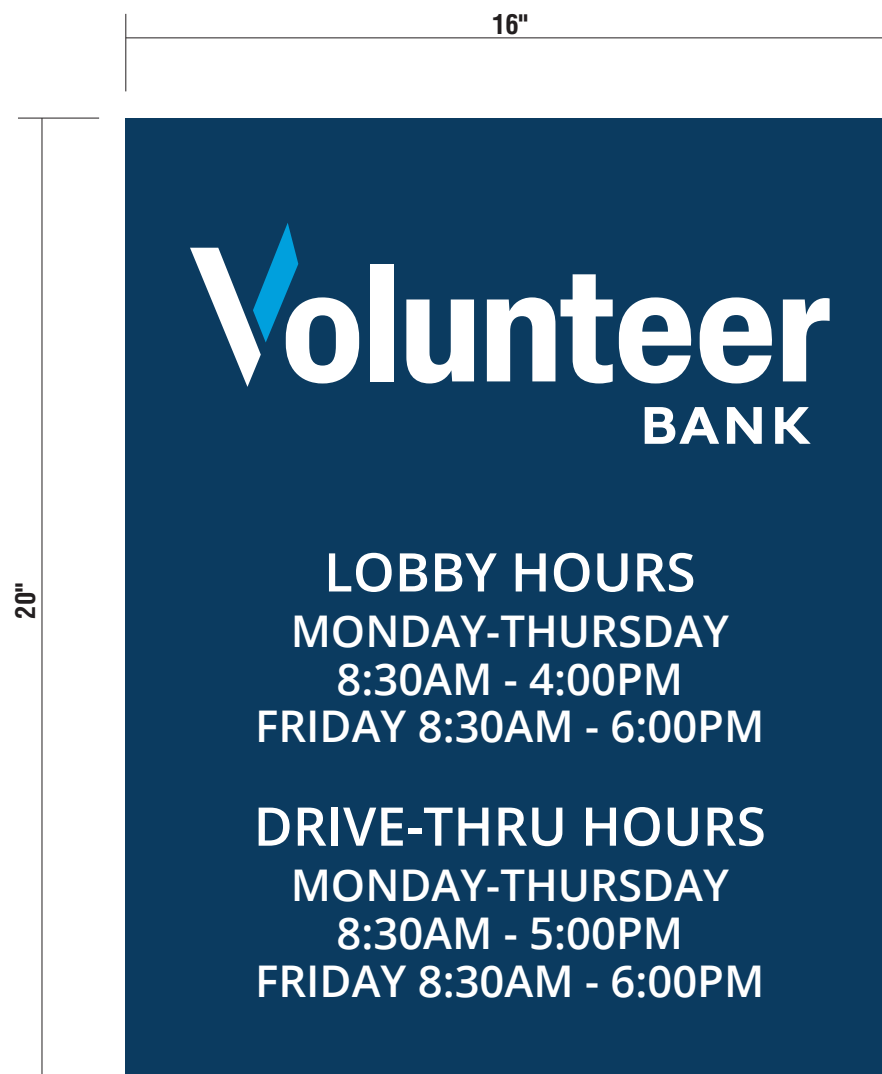
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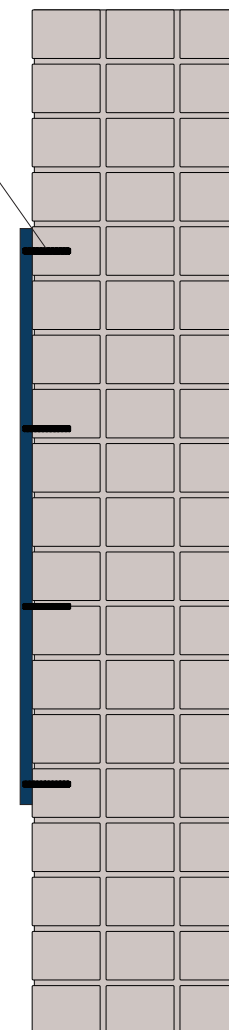
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1 FRONT VIEW
SCALE: 3"=1'-0"

1/4"-20 ALUMINUM STUDS, 2" LONG
MINIMUM 4 PER LETTER.
CLEAR SILICONE ADHESIVE ON
STUDS AND BACK OF LETTER



2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"

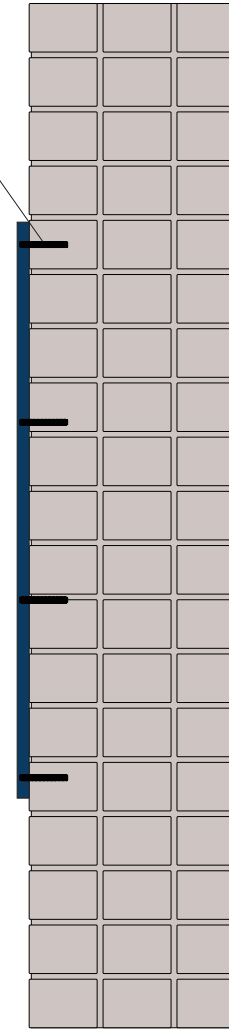
20" X 16" NON-ILLUMINATED DIRECTORY SIGN

- 1/4" THICK ALUMINUM PANEL, PAINTED PMS2955C
- LOGO AND TEXT TO BE VINYL. WHITE, AND ORACAL 651-053 LIGHT BLUE
- STUD MOUNT FLUSH TO WALL

2.22 SQUARE FEET



1/4"-20 ALUMINUM STUDS, 2" LONG
MINIMUM 4 PER LETTER.
CLEAR SILICONE ADHESIVE ON
STUDS AND BACK OF LETTER



2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"



1 FRONT VIEW
SCALE: 3"=1'-0"

7" X 39" NON-ILLUMINATED ATM SIGN

- 1/4" THICK ALUMINUM PANEL, PAINTED PMS2955C
- LOGO AND TEXT TO BE VINYL. WHITE, AND ORACAL 651-053 LIGHT BLUE
- STUD MOUNT FLUSH TO WALL

1.9 SQUARE FEET



310 Madison St
Madison, TN 37115



615.865.6062



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Customer:

VOLUNTEER BANK
230 PUBLIC SQUARE
FRANKLIN, TN

File Location:

DRAWINGS\VOLUNTEER STATE
BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

ATM LOGO

Drawn By: Project Manager:
AJS AJS

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SG.6

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PREVIOUS FIFTH THIRD BANK SIGNAGE FOR REFERENCE



JARVIS SIGNS

DESIGN • BUILD • INSTALL • SERVICE



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Madison, TN 37115



615.865.6062



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FRANKLIN, TN

File Location:

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BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By: Project Manager:

AJS AJS

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BUILDING FRONTAGE - 36'-10"



**30" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
SERVICE AND FOCUS EXISTING LIGHTS**



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Madison, TN 37115



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VOLUNTEER BANK
230 PUBLIC SQUARE
FRANKLIN, TN

File Location:

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BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By:

AJS

Project Manager:

AJS

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Original Date:

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FRANKLIN, TN

File Location:

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BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:

VARIOUS

Drawn By:

AJS

Project Manager:

AJS

PAGE #

SG.1.1

Original Date:
06/16/25

Revision Date: **Rev #**

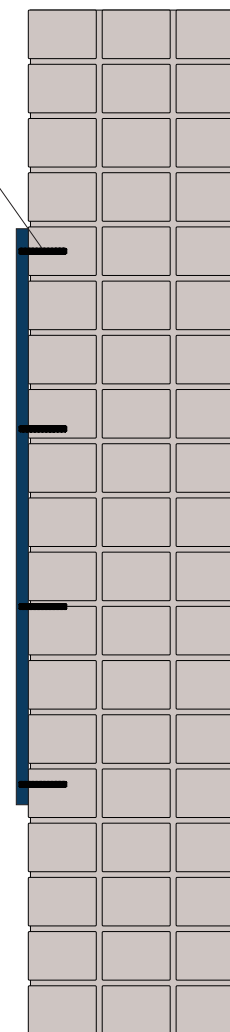
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1/4"-20 ALUMINUM STUDS, 2" LONG
MINIMUM 4 PER LETTER.
CLEAR SILICONE ADHESIVE ON STUDS AND BACK OF LETTER



2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"

151 3/8"

30"



1 FRONT VIEW
SCALE: 3/4"=1'-0"

30"HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
PAINT LETTERS PMS2955C. PAINT V ACCENT PMS299C
STUD MOUNT FLUSH TO BUILDING.
SERVICE AND FOCUS EXISTING LIGHTS

31.54 SQUARE FEET

BUILDING FRONTAGE - 71'-0"



43.5" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
3 GOOSENECK LIGHTS

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VOLUNTEER BANK
230 PUBLIC SQUARE
FRANKLIN, TN

File Location:
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BANK\2024 BRAND CHANGE\
VB FRANKLIN SQUARE.AI

Sign Type:
VARIOUS

Drawn By: AJS **Project Manager:** AJS

PAGE #
SG.2

Original Date:	Revision Date:	Rev #
06/16/25		

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1 FRONT VIEW
SCALE: 1/2"=1'-0"

43.5" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
PAINT LETTERS PMS2955C. PAINT V ACCENT PMS299C
STUD MOUNT FLUSH TO BUILDING.

ADD 3 EVENLY SPACED GOOSENECK LIGHTS.
SPEC IS RAB GN1LED26NACB WITH BLACK FINISH

66.31 SQUARE FEET

2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"



GN1LED26NACB

- Adjustable 45° swivel joint
- Superior heat sink
- Die-cast aluminum housing
- 5-Year, No-Compromise Warranty

[View Technical Specs >](#)

BUILDING FRONTAGE - 60'-0"



36" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
3 GOOSENECK LIGHTS



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File Location:

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Sign Type:

VARIOUS

Drawn By:

AJS

Project Manager:

AJS

PAGE

SG.3

Original
Date:
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Sign Type:

VARIOUS

Drawn By:

AJS

Project Manager:

AJS

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181 11/16"

36"

Volunteer BANK

1 FRONT VIEW
SCALE: 3/4"=1'-0"

36" HEIGHT, 1/2" THICK ALUM FLAT CUT OUT LOGO
PAINT LETTERS PMS2955C. PAINT V ACCENT PMS299C
STUD MOUNT FLUSH TO BUILDING.

ADD 3 EVENLY SPACED GOOSENECK LIGHTS.
SPEC IS RAB GN1LED26NACB WITH BLACK FINISH

45.42 SQUARE FEET

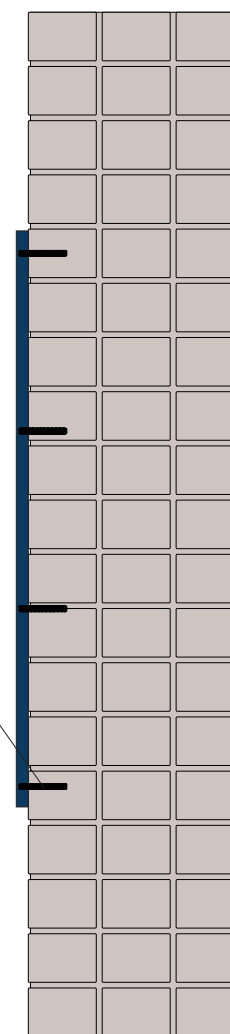


GN1LED26NACB

- Adjustable 45° swivel joint
- Superior heat sink
- Die-cast aluminum housing
- 5-Year, No-Compromise Warranty

[View Technical Specs >](#)

1/4"-20 ALUMINUM STUDS, 2" LONG
MINIMUM 4 PER LETTER.
CLEAR SILICONE ADHESIVE ON
STUDS AND BACK OF LETTER



2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"



20" X 16" DIRECTORY SIGN



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Sign Type:

VARIOUS

Drawn By: Project Manager:

AJS AJS

PAGE #

SG.5

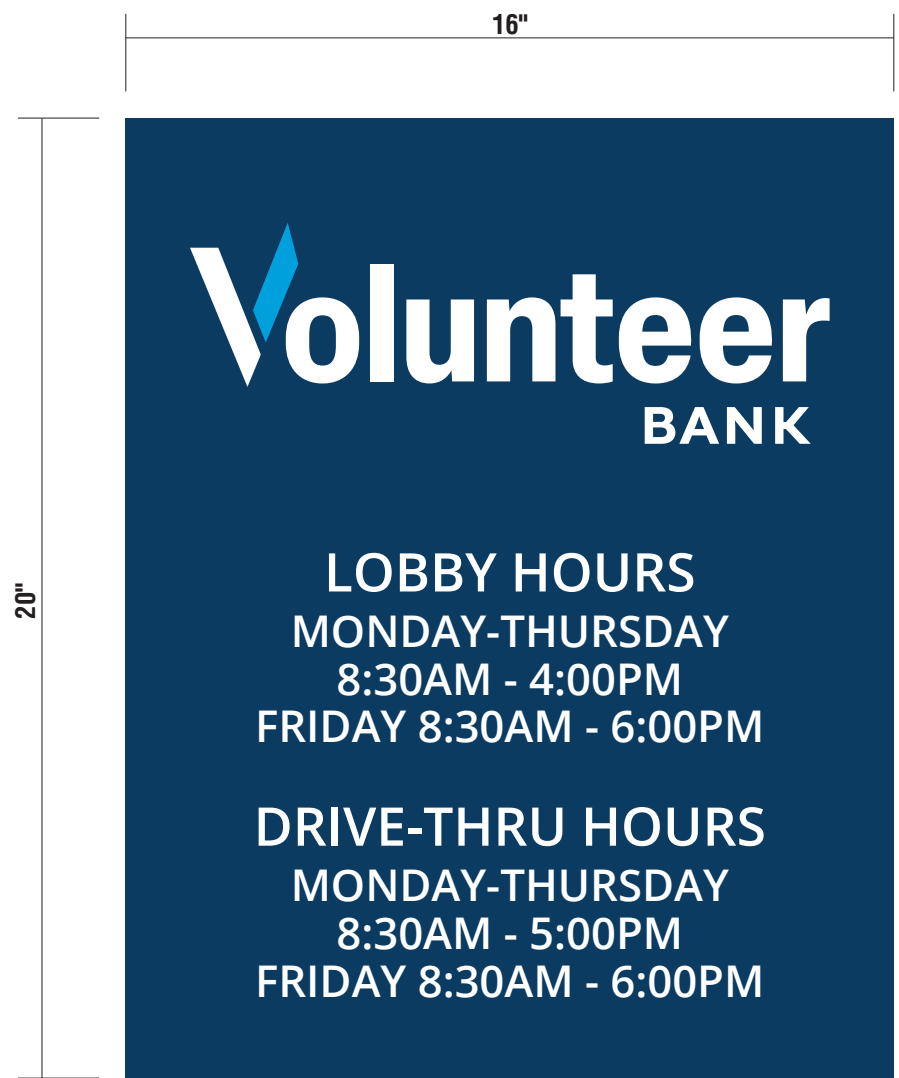
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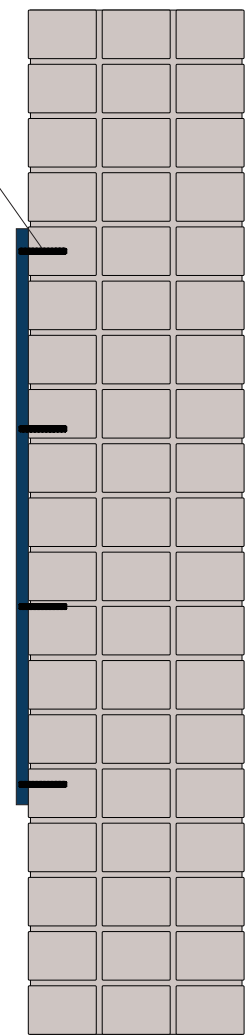


1 FRONT VIEW
SCALE: 3"=1'-0"

- 20" X 16" NON-ILLUMINATED DIRECTORY SIGN**
- 1/4" THICK ALUMINUM PANEL, PAINTED PMS2955C
 - LOGO AND TEXT TO BE VINYL. WHITE, AND ORACAL 651-053 LIGHT BLUE
 - STUD MOUNT FLUSH TO WALL

2.22 SQUARE FEET

1/4"-20 ALUMINUM STUDS, 2" LONG
MINIMUM 4 PER LETTER.
CLEAR SILICONE ADHESIVE ON
STUDS AND BACK OF LETTER



2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"

Customer:
VOLUNTEER BANK
230 PUBLIC SQUARE
FRANKLIN, TN

File Location:
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BANK\2024 BRAND CHANGE\
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Sign Type:
VARIOUS

Drawn By: Project Manager:
AJS AJS

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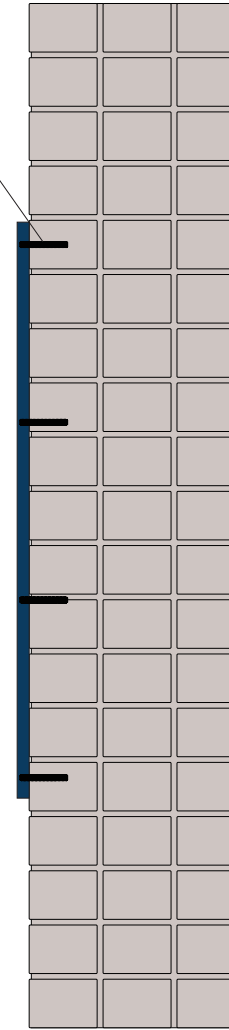
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1/4"-20 ALUMINUM STUDS, 2" LONG
MINIMUM 4 PER LETTER.
CLEAR SILICONE ADHESIVE ON
STUDS AND BACK OF LETTER



2 STANDARD INSTALL DETAIL
SCALE: 1-1/2"=1'-0"



1 FRONT VIEW
SCALE: 3"=1'-0"

7" X 39" NON-ILLUMINATED ATM SIGN

- 1/4" THICK ALUMINUM PANEL, PAINTED PMS2955C
- LOGO AND TEXT TO BE VINYL. WHITE, AND ORACAL 651-053 LIGHT BLUE
- STUD MOUNT FLUSH TO WALL

1.9 SQUARE FEET



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Sign Type:

ATM LOGO

Drawn By: Project Manager:
AJS AJS

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File #: 21-01234

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration of an Addition (Principal) At 305 3rd Ave. S.; Brandon Priddy, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning an addition to the principal building at 305 3rd Avenue South.

APPLICABLE DESIGN GUIDELINES:
2022 Historic District Guidelines:
Chapter 2: Historic Residential Buildings

PROJECT INFORMATION:
COF Project Number: 8903
Applicant: 906 Studio, PLLC., Brandon Priddy, Rep.
Owner: Vince Emmett

BACKGROUND:
The property at 305 3rd Avenue South is located in the Downtown Franklin National Register Historic District. The NRHP listing notes that the building is known as the Miller-Beasley House, was built in 1866 and is a one-story brick Greek Revival-influenced residence. The proposal includes a 836 sq. ft. addition to the building that will include the 1990s minor accessory structure.

Placement, Orientation, Building Form, Height, & Size

The addition is proposed to be placed on the right side of the building. The addition will be 160' from the sidewalk to the front of the building. While the original 1866 front portion of the building has a height of 23'-4", the addition is lower in height and measures 14'-7". However, the view from the west elevation, which is looking at the building from S. Margin Street, shows that the addition will be a higher height than the middle (1990s) portion of the building. The Guidelines recommend:

- Place additions in subordinate locations at the rear of the building or on an obscured facade not readily visible from the street in order to minimize their impact.
- Orient additions so that the overall characteristics of the site (site topography, character-defining site features, trees, and significant district vistas and public views) are retained.
- Design the massing, scale, and proportions to be subordinate to the historic building.

- Design additions to be compatible with the historic building yet clearly identifiable through the use of differentiating methods such as roof breaks, wall insets, wall off-sets, material changes, and lower eave lines. A combination of these methods should be considered based on the specific context of the building and the site.
- Where feasible, use a lower scale form as a connecting element to join an addition to the historic building.
- If a rear addition is not feasible, an addition on the side facade may be appropriate when it is properly designed to complement the original building without overpowering it. An addition on the side facade should set back from the historic forms and avoid alteration to or distraction from character-defining historic features.
- Design the length of an addition to be subordinate to that of the historic building, where visible from street view. The width of side additions should not exceed one-third of the width of the front facade of the existing building.
- Design the addition so that it has a lower scale and height than the historic building. The appearance of height should be designed to be minimized from adjacent properties.
- Design the size of an addition to be subordinate to that of the historic building. The building footprint of an addition should not exceed 50 percent of the building footprint of the historic portions of the building (portions to remain that are at least 50 years of age).

The addition will be visible from the street, but the applicant has incorporated feedback from multiple DRC meetings to soften the design and to make it compatible with the elements that are seen on the existing building. The addition will be 20' in width, so it meets the Guidelines by not exceeding a third of the width of the front facade. By utilizing the 1990s addition, the addition will be connected by a lower-scale connecting element. The addition will not exceed the addition size recommendations, per the Guidelines.

Rear Porch

On the rear of the addition, a small porch is proposed facing the rear of the lot. It will utilize five wood columns that are similar in design to those utilized on the building. The Guidelines recommend:

- Design new porches and stoops to rear or side facades with minimal visibility.
- Design the scale, proportion, and character of porch elements, including columns, corner brackets, and railings and pickets, to be compatible with yet less elaborate than the historic building.
- Design porches so that the height and slopes are compatible with the historic building and the roofline does not interfere with second-story facades.
- Use wood materials and simple wood rail designs with square balusters. Brick and metal may be considered if appropriate to the historic building. Avoid contemporary materials and do not use cast concrete steps where visible from the street.

As it is proposed, the placement and detailing of the porch is appropriate on the rear of the addition.

Foundations, Materials & Exterior Finishes and Details & Ornamentation

The addition is proposed to utilize brick and the same metal roofing in the same red color and profile as what exists on the building. On the north and south elevations, brick detailing is proposed in the gable of the building, which is similar to the inspiration images of smokehouses. The Guidelines recommend:

- Design foundations and piers to be compatible with those on the historic building. If the historic building is masonry and concrete blocks are used for the foundation, paint the addition foundation a color to match the exposed mortar joints in the historic building. If a masonry veneer is used, it must replicate a genuine stone or brick.
- Use materials and exterior finishes that complement the historic building, such as frame, brick, or stone. Frame additions are recommended when the historic building is brick or stone.
- Match surrounding historic masonry in width of the mortar joints, size and scale of the bricks, color, and texture.
- Use roofing materials that complement the architectural style of the historic building, such as asphalt, wood, stone, slate, or fiber-glass shingles, 5V metal, or standing-seam metal.
- Use details and ornamentation that are similar in character and proportions, but less elaborate than those on the historic building.
- Use a material for details on an addition that match those of the historic building in profile and dimension.
- Incorporate soffits, cornices, fascia, frieze boards, moldings, or other elements into an addition that are generally similar to those of the historic building.

Portions of the addition do utilize brick detailing that differentiates the building from the foundation, but from the south elevation, it is hard to discern the foundation from the addition. However, the inspiration images that were provided do not show a foundation that is delineated on the building. On the main part of the building, a lighter stone is utilized for the foundation. It is unknown what color brick or the color of the mortar is proposed for the addition. It is shown that the addition will utilize similar detailing on the building.

Entrances & Windows

There will be only one door on the existing 1990s structure, and it faces the rear of the property. The material and size of the door have not been included in the application. Faux shutters are utilized on the elevations to have a similar pattern of solids to voids on the principal building. The Guidelines recommend:

- Design doors and doorways to an addition to read as secondary in appearance and detailing to the historic building.
- Use traditional materials with appearances similar to the doors on the historic building.
- Design new windows to be compatible with the size, detailing, placement, rhythm, and relationship of solids to voids of those on the historic building.
- Design windows to match the historic materials found on the building, but composite materials that have the appearance of wood are appropriate for windows, stops, jambs, and trim.
- Determine whether shutters are compatible with the architectural style of the building. Where appropriate, use wood shutters that appear operable and fit the reveal of the window precisely.

The material of the door and shutters should align with the Guidelines.

Gutters & Downspouts

It is proposed to include gutters, downspouts, and scuppers in a similar design and material that is seen on the rest of the building. The Guidelines recommend:

- Match the gutter style to the historic building or use a complementary gutter style.

Matching the gutters, downspouts, and scuppers to what is on the historic building is appropriate.

Future lighting and hardscaping were not included as part of the application, and staff will need more information on these items if they are proposed.

RECOMMENDATION:

Staff recommends approval of the addition with the following conditions:

1. The brick color and mortar color shall return to the Preservation Planner for approval prior to building permit submittal.
2. The masonry shall match in width of the mortar joints, size and scale of the bricks, color, and texture.
3. The window and door specifications shall align with the Guidelines for material, profile, and size, and return to the Preservation Planner for approval prior to building permit submittal.
4. The shutter material shall return to the Preservation Planner for approval prior to building permit submittal.
5. Any proposed lighting and hardscaping on the addition shall return to the Preservation Planner or the HZC for approval.
6. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
7. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

Project Considerations:

1. Note: A minimum 36" wide side-hinged egress door is required. The egress door shall open directly to a yard or court, and the path of egress shall not require travel through a garage.
2. The property is currently zoned Residential 4 (R4). The landscape surface area ratio requirement for this district is 40%. Landscape surface area ratio is the percentage of the property covered by grass, garden, dirt, soil, or pervious hardscape.
3. Be advised that a foundation survey is required at foundation inspection.

906

305 3rd Avenue South : Project Description

Prepared for the
Franklin Historical Zoning Commission

906 Studio Architects : September 26, 2025

Owner Vince Emmett is proposing an addition to his home, the **historic Miller-Beasley House (1866)** in downtown Franklin. Due to the lack of room to the rear, the proposed addition has been located to the side of the main home and, so as not to interrupt the primary building mass or compete with the original historic home, **will be set back approximately 160 feet from Third Avenue South** as well as behind an approximately 6' tall existing brick wall with a solid metal gate. We are also proposing to sink the addition approximately 24" into the existing grade to minimize height. This provides minimal visibility from the road, as demonstrated by images which have been provided.

Our research has revealed historic precedence for additional buildings on the site. A Sandborn fire insurance map from 1913 (see exhibit) shows three accessory structures on the site (none remain today) of various sizes, including one building approximately the size of our proposal and another roughly in the area we are proposing. We feel this establishes precedent on the site for buildings in addition to what is existing in a similar manner as we are proposing.

The proposal conforms to design guidelines as follows:

- Size (page 40): combined building footprints shall not exceed 35% of the site : proposed overall footprints would cover 30% of site
- Size (page 40): combined additions shall not exceed 50% of historic structure : proposed addition in combination with existing non-historic additions equal 32% of historic home
- Front elevation (page 39): size of side addition shall be no more than 1/3 of the front façade (see site plan)
- Design side addition to be subordinate to historic building (page 39): note there is no door facing the front

For the proposed addition we have utilized very simple detailing as to a) not detract from the historic structure (per guidelines) and b) to clearly differentiate between original home and addition (per guidelines). To provide wall articulation we are showing faux windows with closed shutters. This is because the function of the space (high end theater) necessitates high performance absorption/insulation wall systems and the windows required to maintain these design standards would represent a substantial additional cost and not be operable and stay covered. As such we are requesting faux shutters be acceptable.

The materials for this proposed addition are metal roof and dark brick. The brick color will be dark to correspond to the existing wall and also differentiate this addition from the main home. Note that the connection point will be through a 1990s addition to the home so none of the original historic structure will be impacted.



906 STUDIO, PLLC
249 4TH AVENUE N
SUITE 200
FRANKLIN, TN 37064
615.988.9065
906studio.com

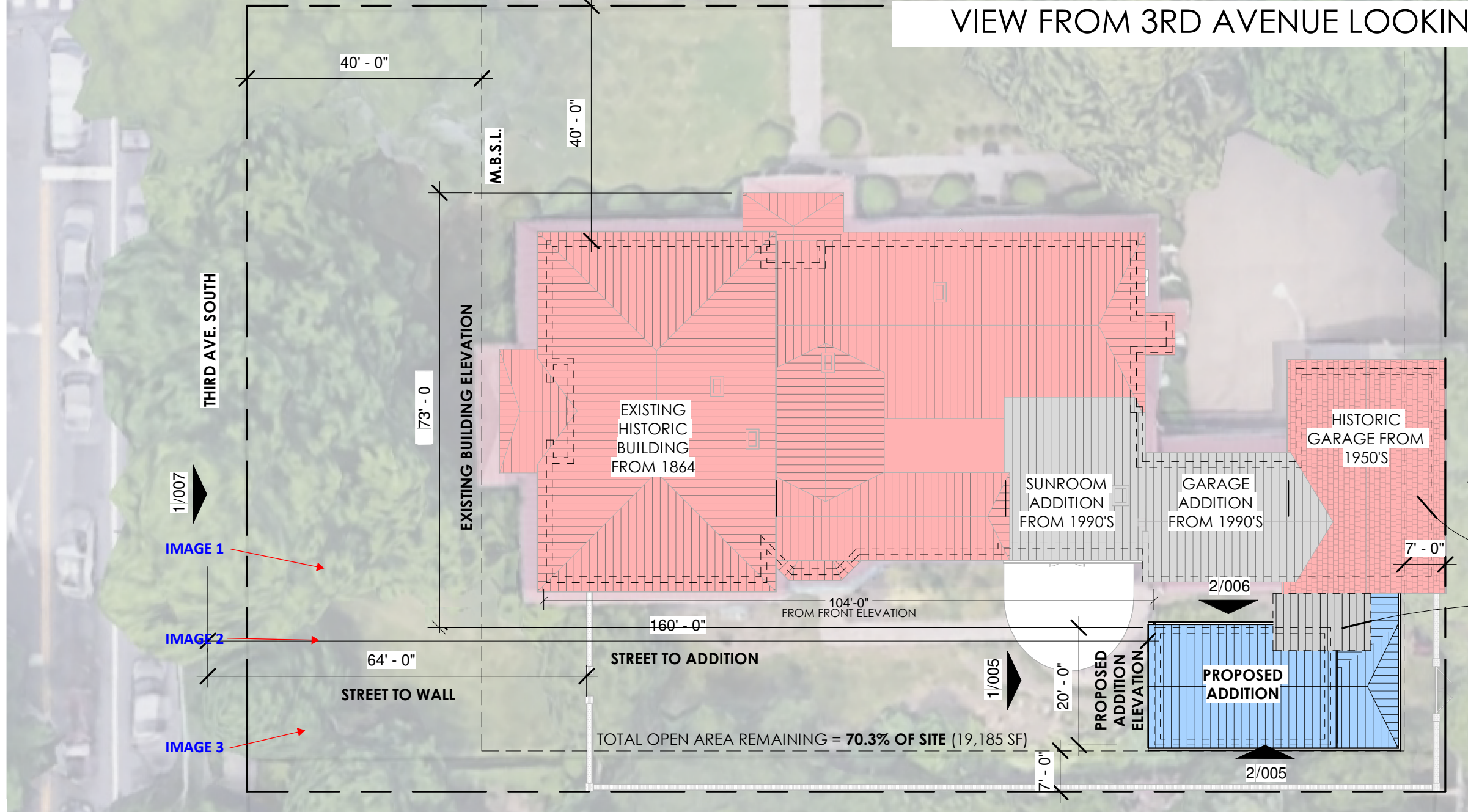
VINCE EMMETT
305 3RD AVE. SOUTH

305 3RD AVE FRANKLIN, TN 37064

09/26/2025



VIEW FROM 3RD AVENUE LOOKING NORTH



HISTORIC BUILDING	6,773.05 SF
90s ADDITION	1,289.95 SF
PROPOSED ADDITION	884.19 SF
TOTAL ADDITION	2,174.14 SF
COMBINED ADDITIONS =	32%
Proposed Addition Footprint is Less than 50% of Historic Building Footprint	

Per Franklin Historic Design Guideline, landscape surface area in the Planned District (PD) should not exceed 35%

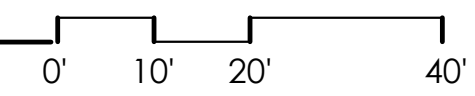
SITE	27,302.00 SF
EXISTING BUILDING	7,281.12 SF
PROPOSED ADDITION	884.19 SF
TOTAL PROPOSED BUILDING	8,165.31 SF
LANDSCAPE SURFACE AREA =	30%

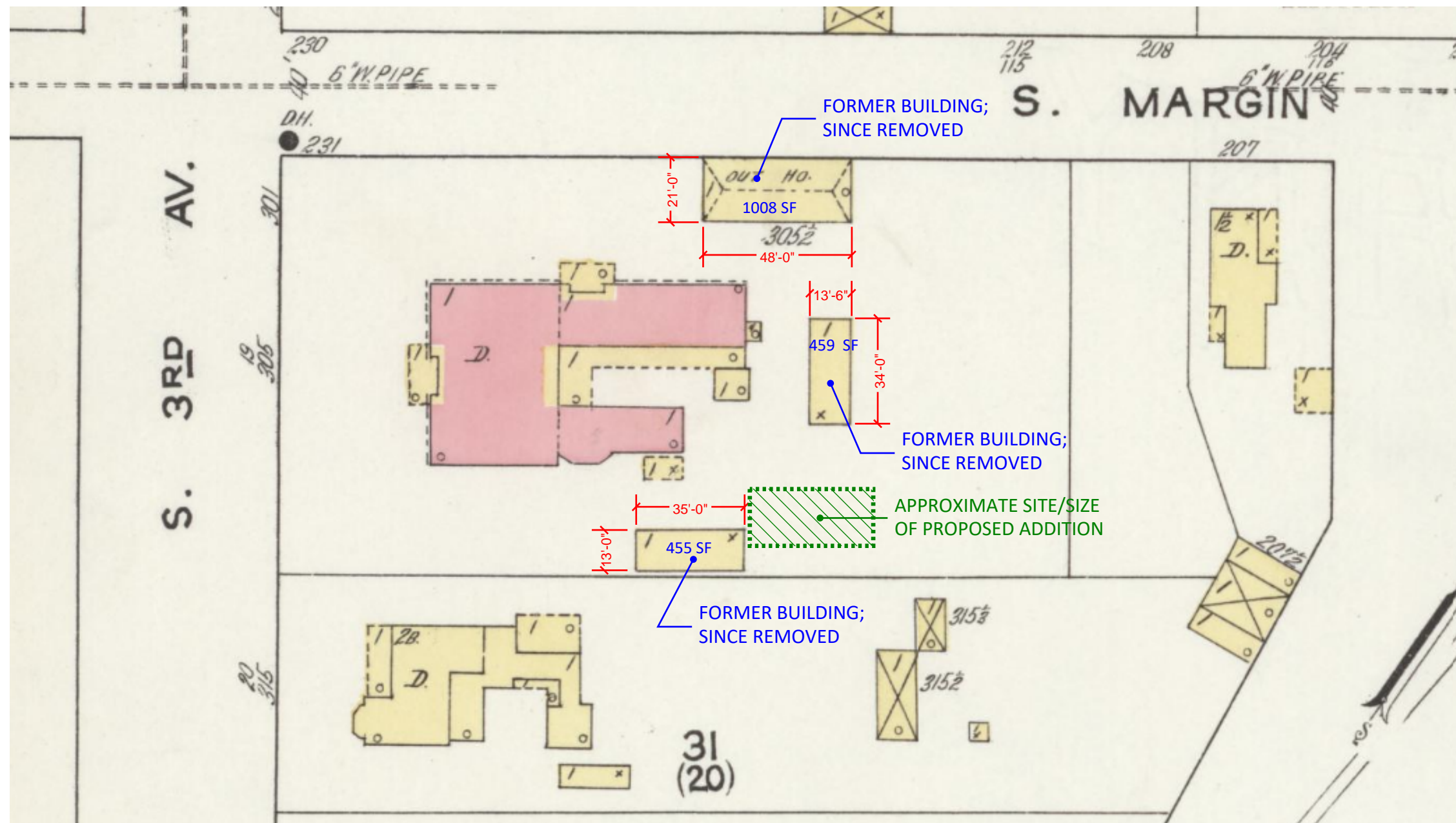
IN-KIND REPLACEMENT OF EXISTING SHINGLE GARAGE ROOF

STORAGE ADDITION FROM 1990'S TO BE REMODELED WITH PROPOSED ADDITION

SITE PLAN

1" = 20'-0"





1913 SANDBORN FIRE INSURANCE MAP

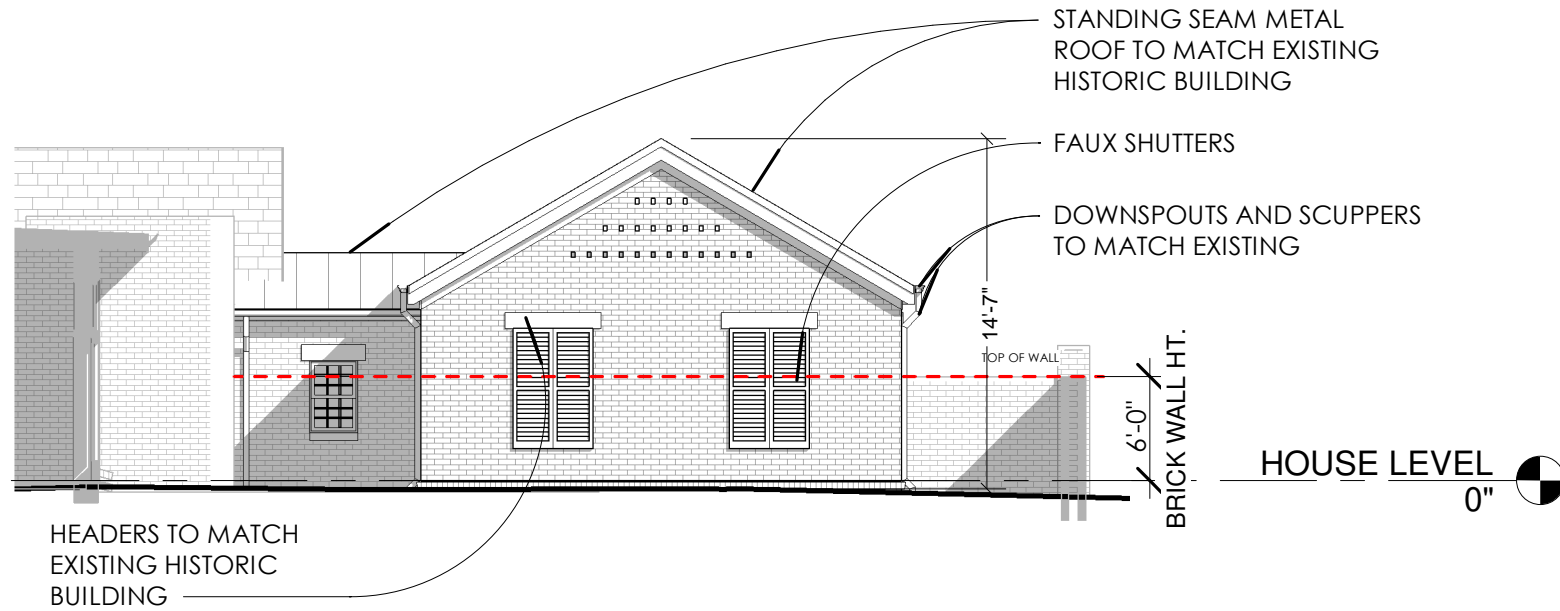
THIS MAP ESTABLISHES HISTORICAL PRECEDENCE FOR OUT-BUILDINGS ON VARIOUS AREAS OF THE SITE INCLUDING THE SITE OF PROPOSED ADDITION



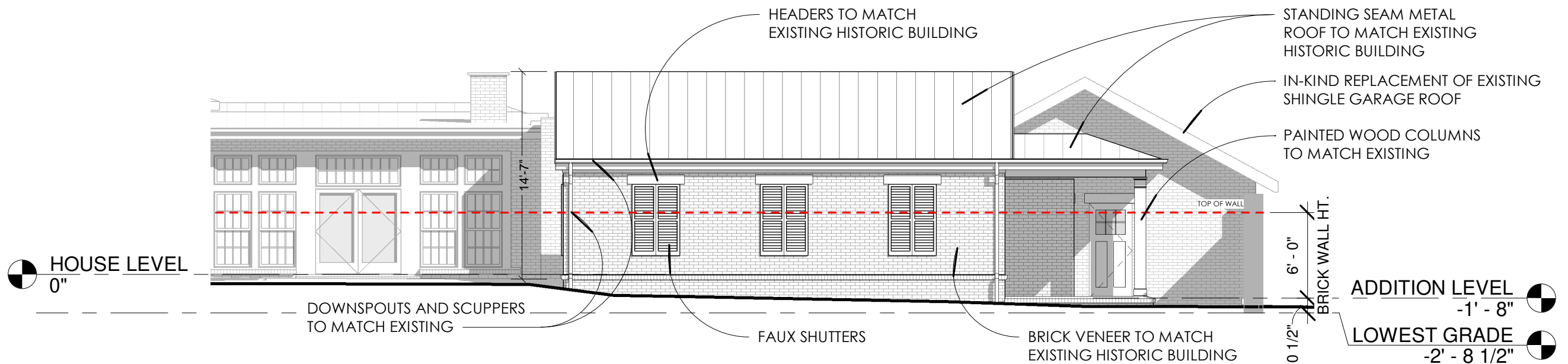
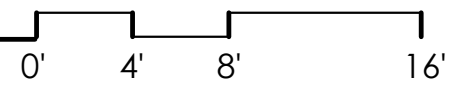
1 EXISTING CONDITION



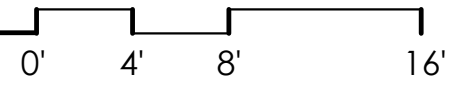
1 STORAGE ADDITION FROM 1990'S

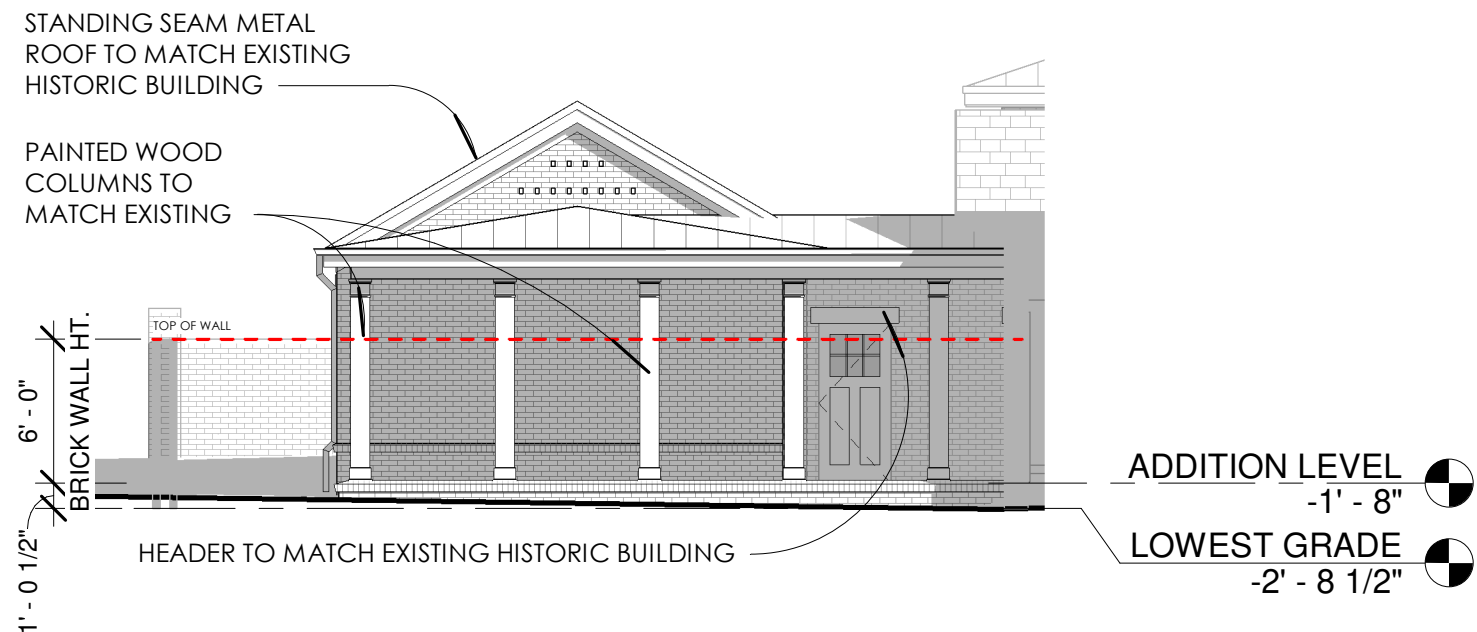


1 SOUTH ELEVATION
1/8" = 1'-0"



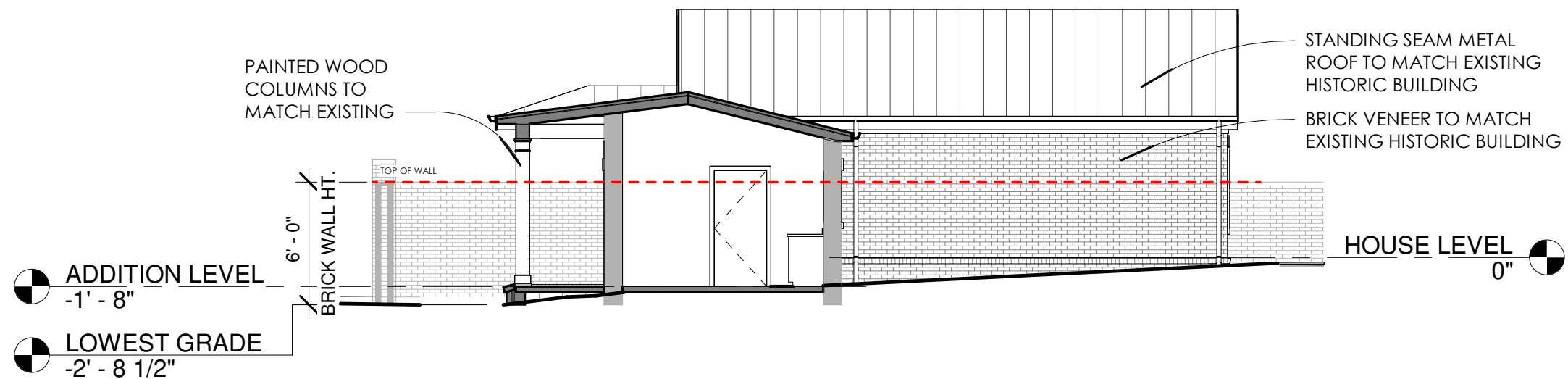
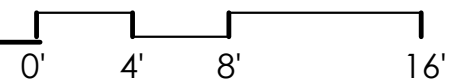
2 EAST ELEVATION
1/8" = 1'-0"





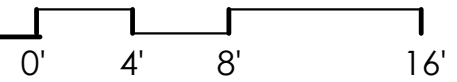
1 NORTH ELEVATION

1/8" = 1'-0"



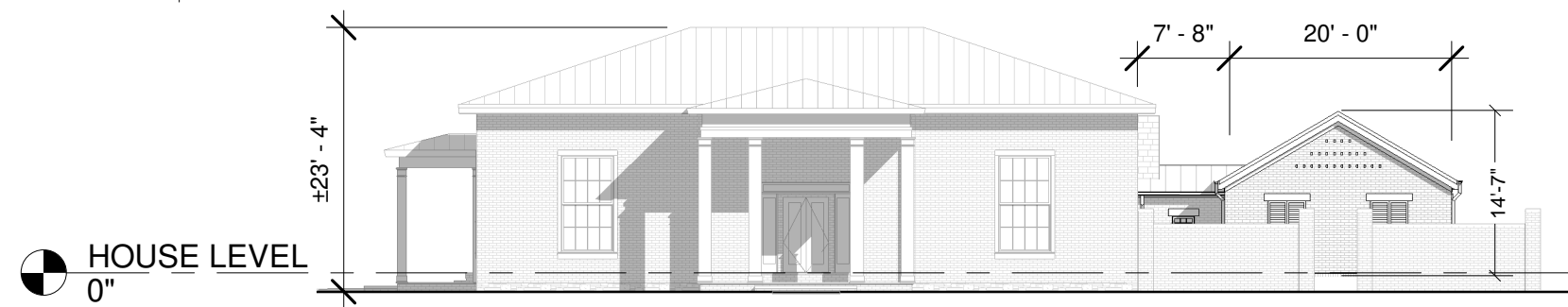
2 WEST ELEVATION

1/8" = 1'-0"

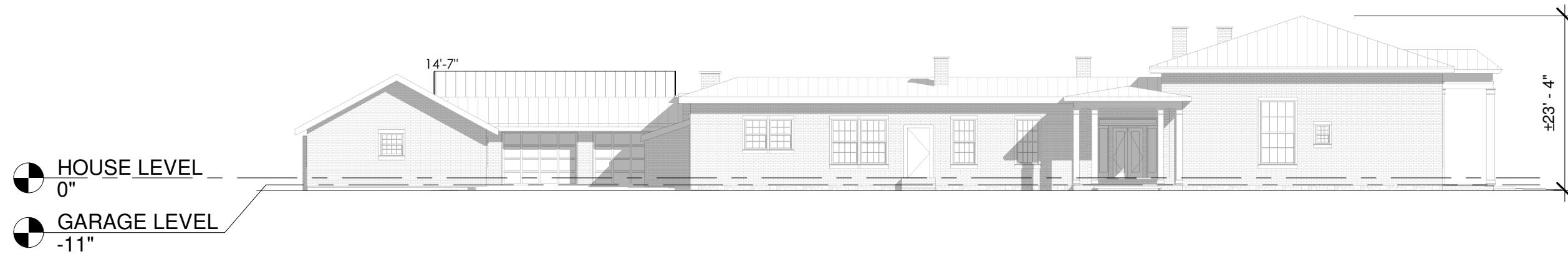
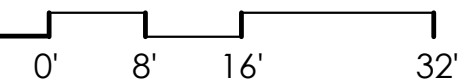


305 3RD AVE. SOUTH

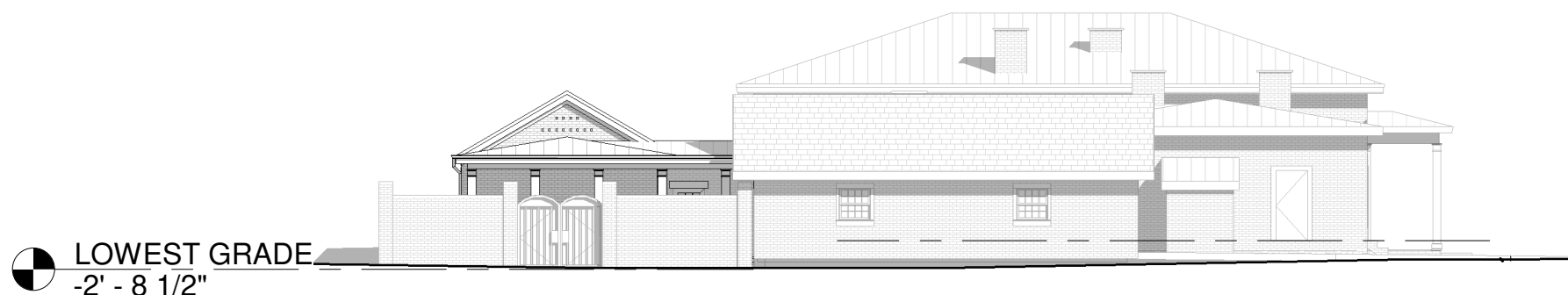
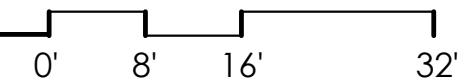
SITE ELEVATIONS
VINCE EMMETT



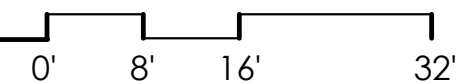
1 3RD AVE S. ELEVATION - SOUTH
1/16" = 1'-0"

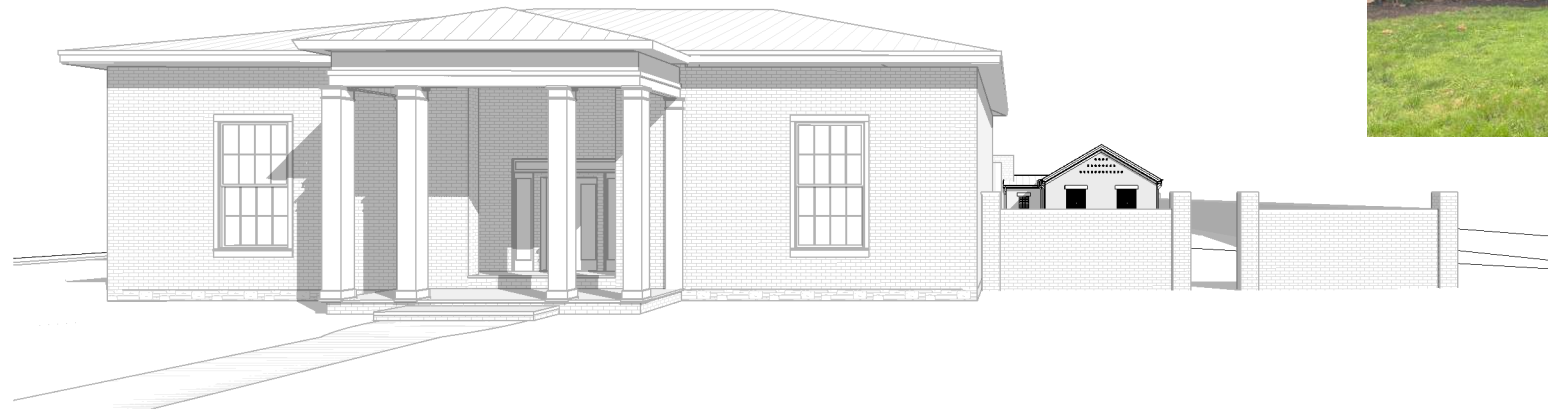


2 S. MARGIN ST. ELEVATION - WEST
1/16" = 1'-0"



3 ADJACENT LOT ELEVATION - NORTH
1/16" = 1'-0"

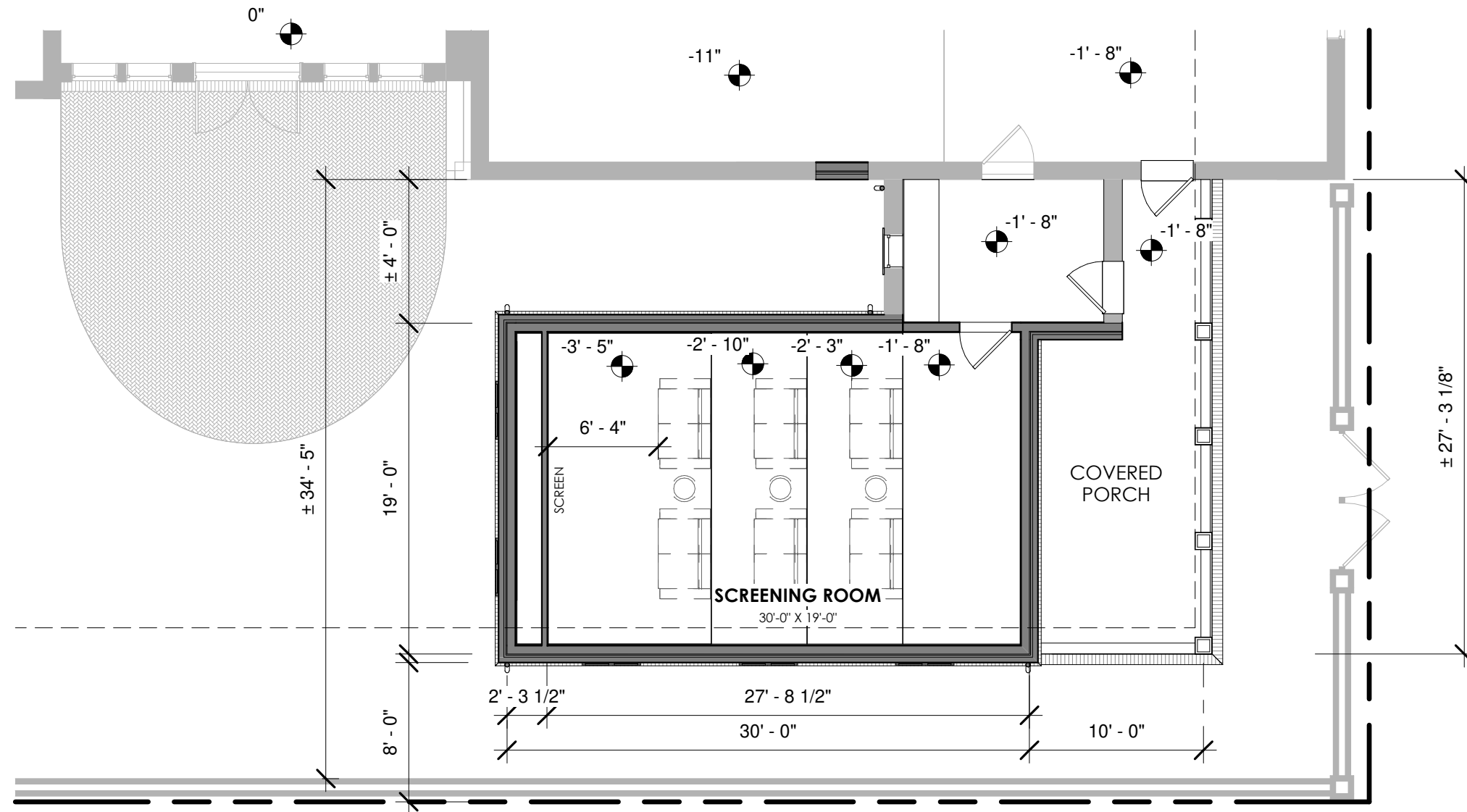




VIEW FROM 3RD AVE S.

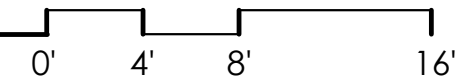


VIEW FROM S. MARGIN ST.



FLOOR PLAN

1/8" = 1'-0"





File #: 21-01236

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:
Consideration Of An Addition And Alterations (Principal) At 728 Fair St.; Amanda McCreary, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning an addition and alterations to the building at 728 Fair Street.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines:
Chapter 2: New Residential Building

PROJECT INFORMATION:
COF Project Number: 8949
Applicant: Amanda McCreary, Chisel Workshop
Owner: Naomi Dubois

BACKGROUND:
The property located at 728 Fair Street is located within the Hincheyville National Register Historic District. The National Register describes the principal building as a pyramidal cottage that was constructed circa 1915. The proposal includes the retroactive construction of an addition, infilling under the addition, adding new windows, the construction of a new rear deck, infilling under the addition, and a new dormer.

Addition
An unapproved addition was constructed in 2020 without a COA or a building permit. The Guidelines recommend designing the size of an addition to be subordinate to that of the historic building. The building footprint of an addition should not exceed 50 percent of the building footprint of the historic portions of the building. The historic footprint of the building is 1150 sq. ft., and an addition was added to the building in the 1970s-1980s, adding 492 sq. ft. The 2020 addition added 107 sq. ft. to the building and with the proposed addition, it exceeds the recommended addition size for historic residential buildings. The project has come before the DRC this year and DRC members expressed that the addition is compatible with the building and the addition was only 24 sq. ft. over the Guidelines' recommendation.

Although the addition is slightly over the size recommendation, the proposed window and door pattern on the rear would better align with the Guidelines to have a more traditional appearance. The shed roof material over the proposed rear door has not been called out, but should align with the existing roof color and material.

Alterations

On the right elevation of the building, two new windows are proposed. They appear to match the size and appearance of the existing windows on the right elevation. The Guidelines recommend:

- Design new windows to be compatible with the size, detailing, placement, rhythm, and relationship of solids to voids of those on the historic building.
- Use windows with historic profiles and dimensions with a double-hung appearance. Use true divided-light (TDL) or simulated divided-light (SDL) windows rather than snap-in muntins or grids between the glass (GBG) styles.
- Design windows to match the historic materials found on the building, but composite materials that have the appearance of wood are appropriate for windows, stops, jambs, and trim.

The plan calls out the use of Marvin wood windows, which align with the Guidelines.

Deck

On the rear of the building, the deck is proposed to be rebuilt with wood and have the CMU foundation be a parge-coated finish. The existing foundation on the 1970s-1980s addition uses a CMU block foundation and the pargecoating will blend the rear deck and the foundation. The color of the parge-coating has not been provided, but it should be complementary to the historic color of the foundation of the building. The Guidelines recommend:

- Place new decks on rear or obscured facades with minimal visibility from the street.
- Use wood materials and simple wood rail designs with square balusters.
- Design foundations and piers to be compatible with those on the historic building. If the historic building is masonry and concrete blocks are used for the foundation, paint the addition foundation a color to match the exposed mortar joints in the historic building. If a masonry veneer is used, it must replicate a genuine stone or brick.
- Where foundation infilling is desired, use square lattice work placed behind the piers. Paint lattice work a dark color or match it to the color of the exposed mortar joints in the piers.

As proposed, the construction of a new rear deck is appropriate as proposed. The color of the pargecoating should blend with the foundation color of the historic portion of the building.

Dormer

On the left elevation, a dormer is proposed. The dormer is tucked in behind the main roof mass and does not appear that it will be highly visible from the street. The Guidelines recommend the following:

- Place dormers on additions in locations with obscured visibility from the front facade or street.
- Appropriately size and locate dormers on the addition. Dormers should be designed to be similar yet subordinate in detailing, scale, width, and massing to dormers on the historic building.
- Relate the style, scale, and proportion of dormer windows to windows on lower floors.
- Dormer roof pitch should be at least 3:12 and no less than half the main roof pitch.
- Dormer should be located below the main ridge of the addition.

- Dormer should be recessed at least 1 foot from the exterior building wall.
- Dormer sidewalls should be at least 30 inches from the exterior building wall.

The color of the metal roofing of the dormer roof has not been provided. The roofing should blend with the existing color and material of the roofing.

RECOMMENDATION:

Staff recommends denial of the rear addition based on the following grounds:

- Design the size of an addition to be subordinate to that of the historic building. The building footprint of an addition should not exceed 50 percent of the building footprint of the historic portions of the building.

Staff recommends the approval of the alterations, deck construction, dormer construction, with the following conditions:

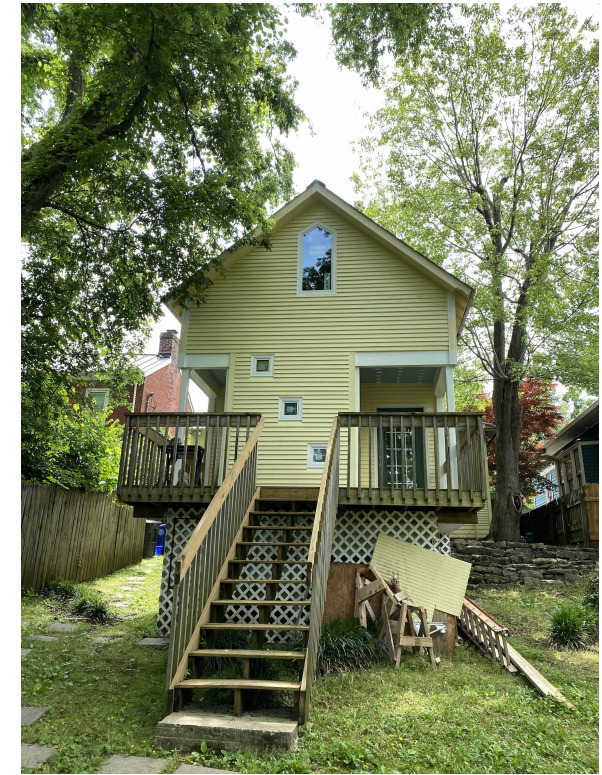
1. The new roofing additions shall blend with the existing color and material of the existing roof.
2. The windows must have historic profile and dimension and consist of either wood or a composite material with the appearance of wood. The window specifications must be approved by the Preservation Planner or the HZC prior to issuance of a building permit.
3. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
4. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



EXISTING: FRONT ELEVATION



EXISTING: SIDE ELEVATION FROM STREET



EXISTING: REAR ELEVATION



EXISTING: LEFT SIDE @ REAR



EXISTING: LEFT SIDE @ REAR

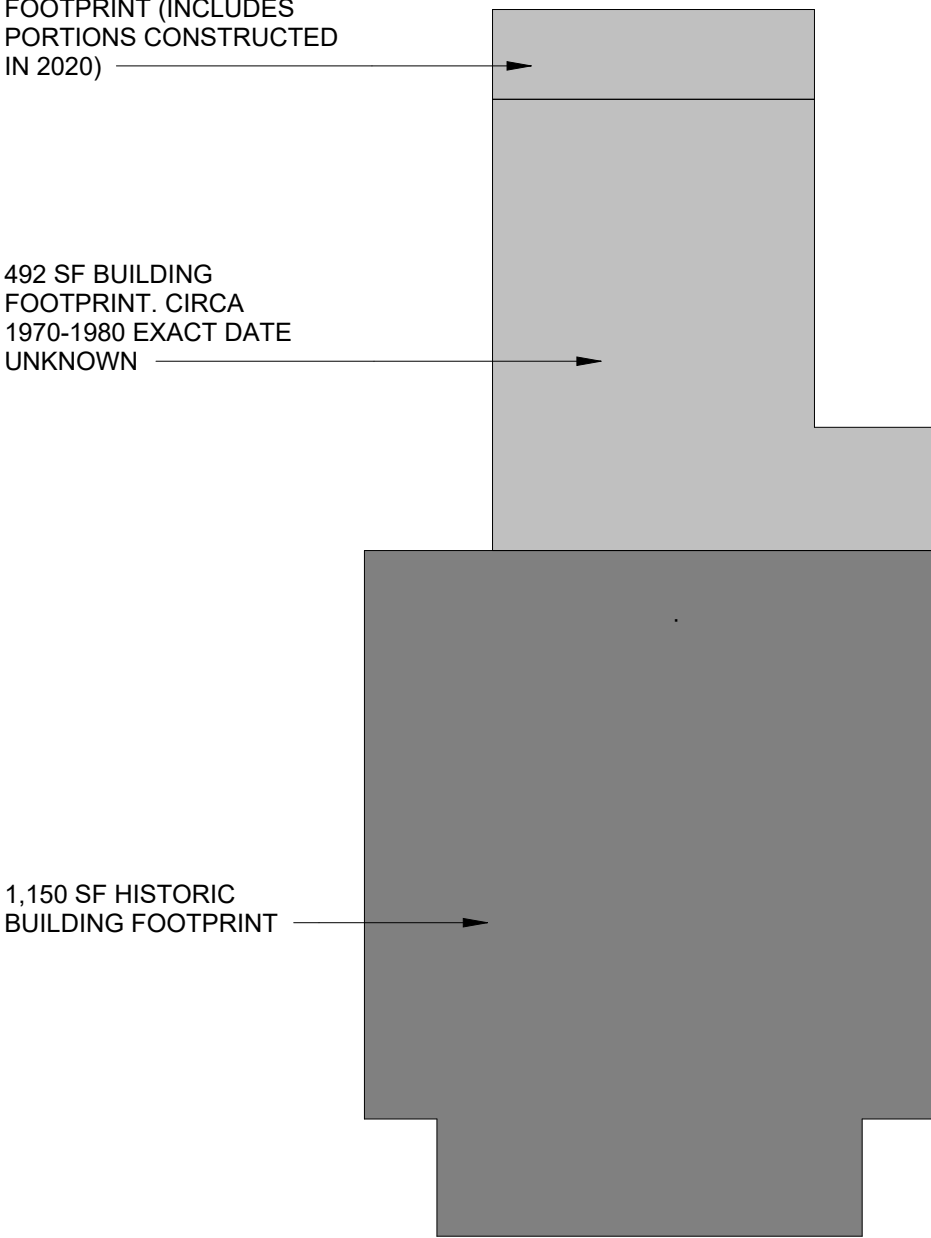


EXISTING: RIGHT SIDE @ REAR

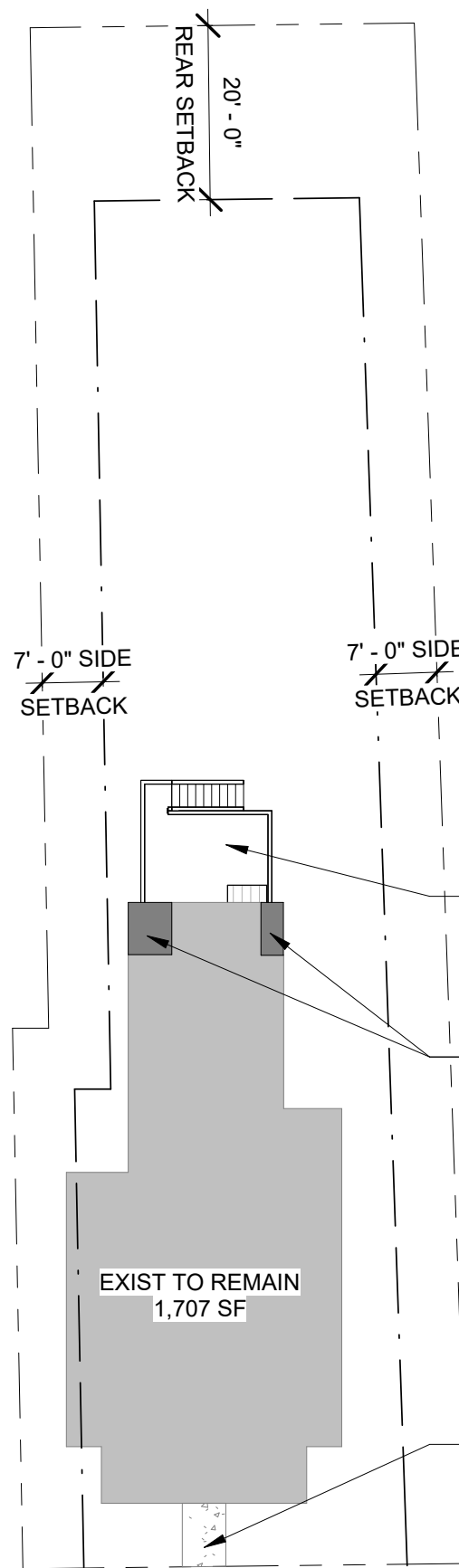
107 SF PROPOSED
FOOTPRINT (INCLUDES
PORTIONS CONSTRUCTED
IN 2020)

492 SF BUILDING
FOOTPRINT. CIRCA
1970-1980 EXACT DATE
UNKNOWN

1,150 SF HISTORIC
BUILDING FOOTPRINT

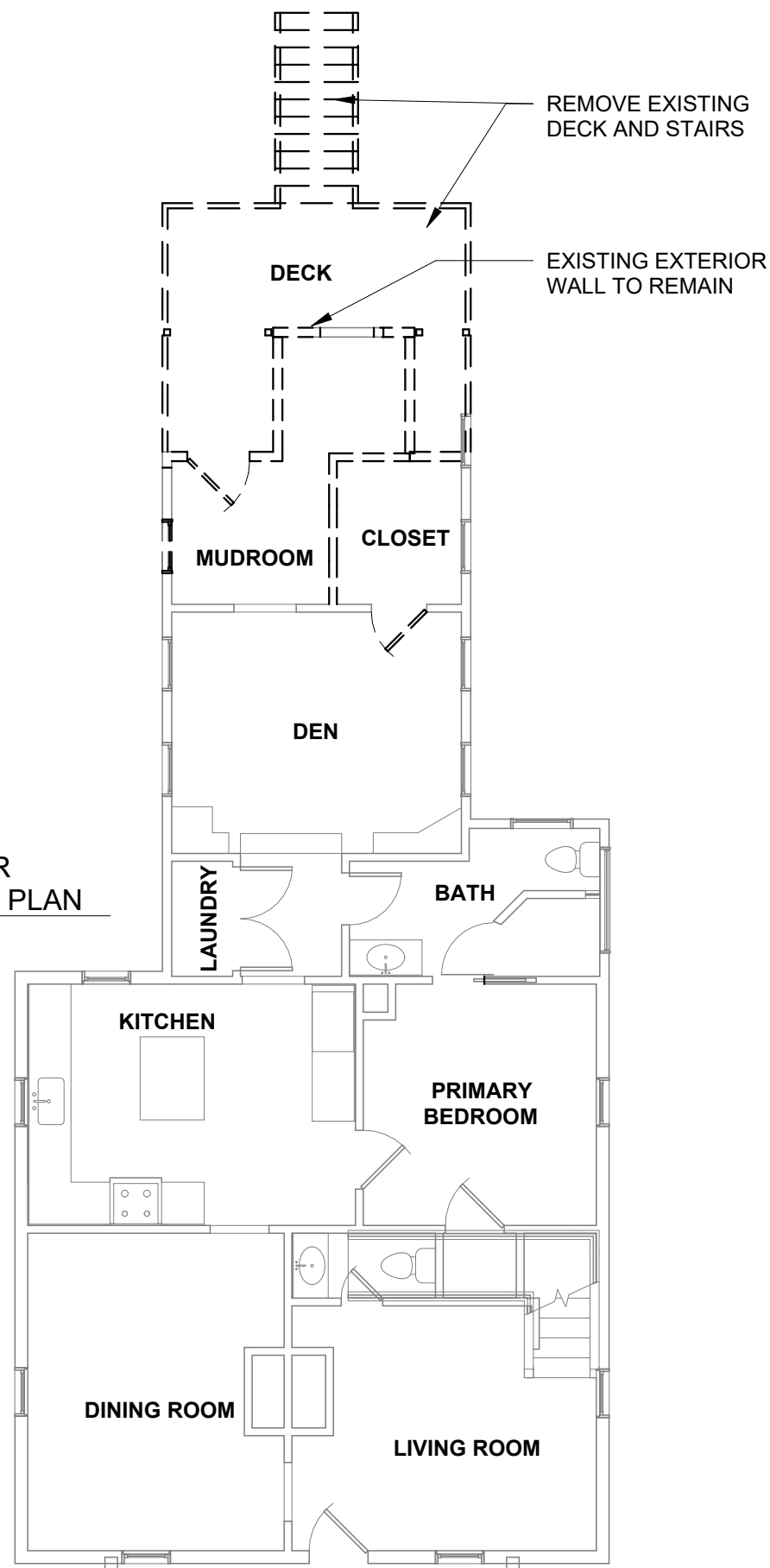


② BUILDING FOOTPRINT //
AGE OF STRUCTURES
3/32" = 1'-0"

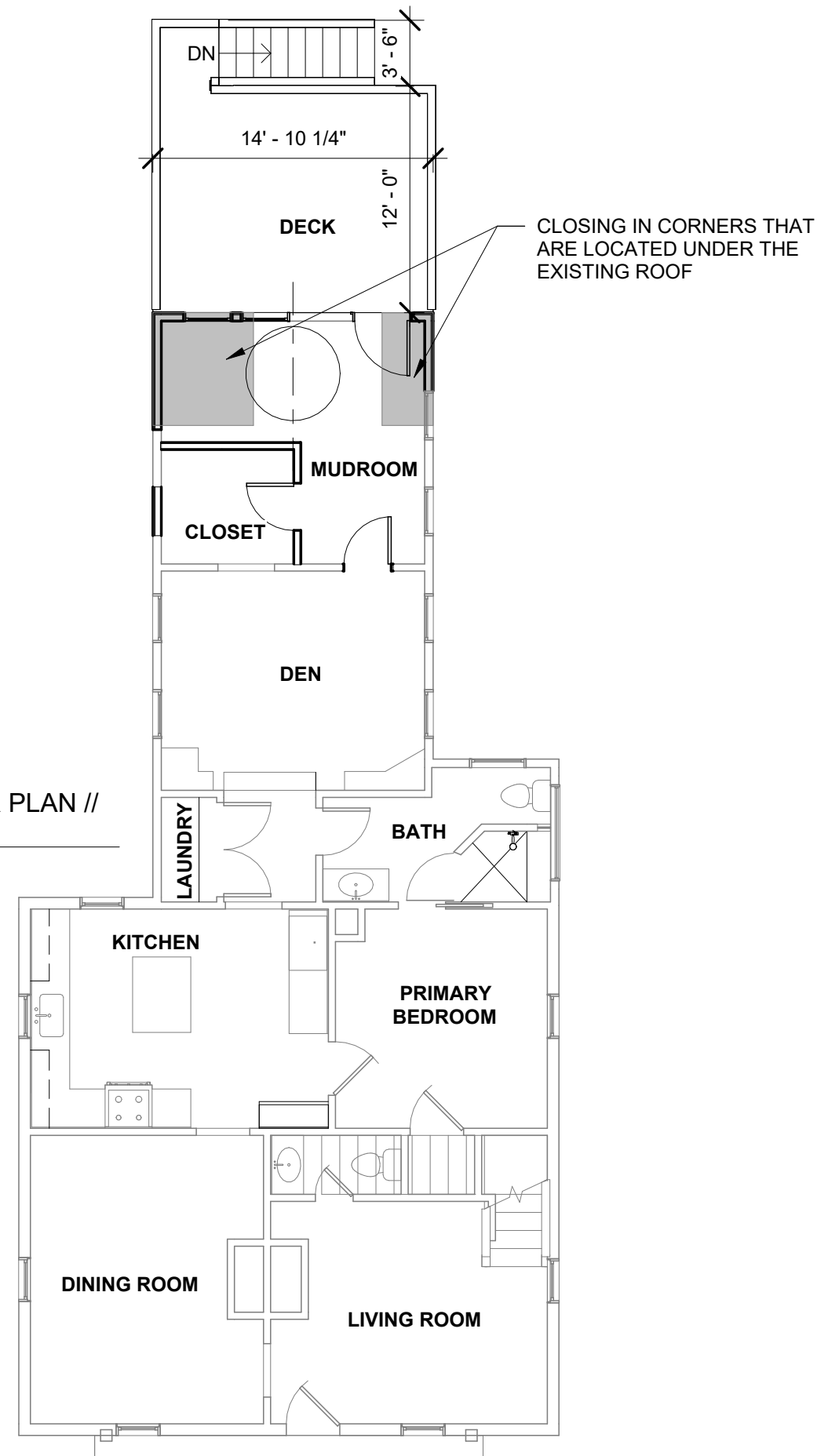


① SITE PLAN
1" = 20'-0"

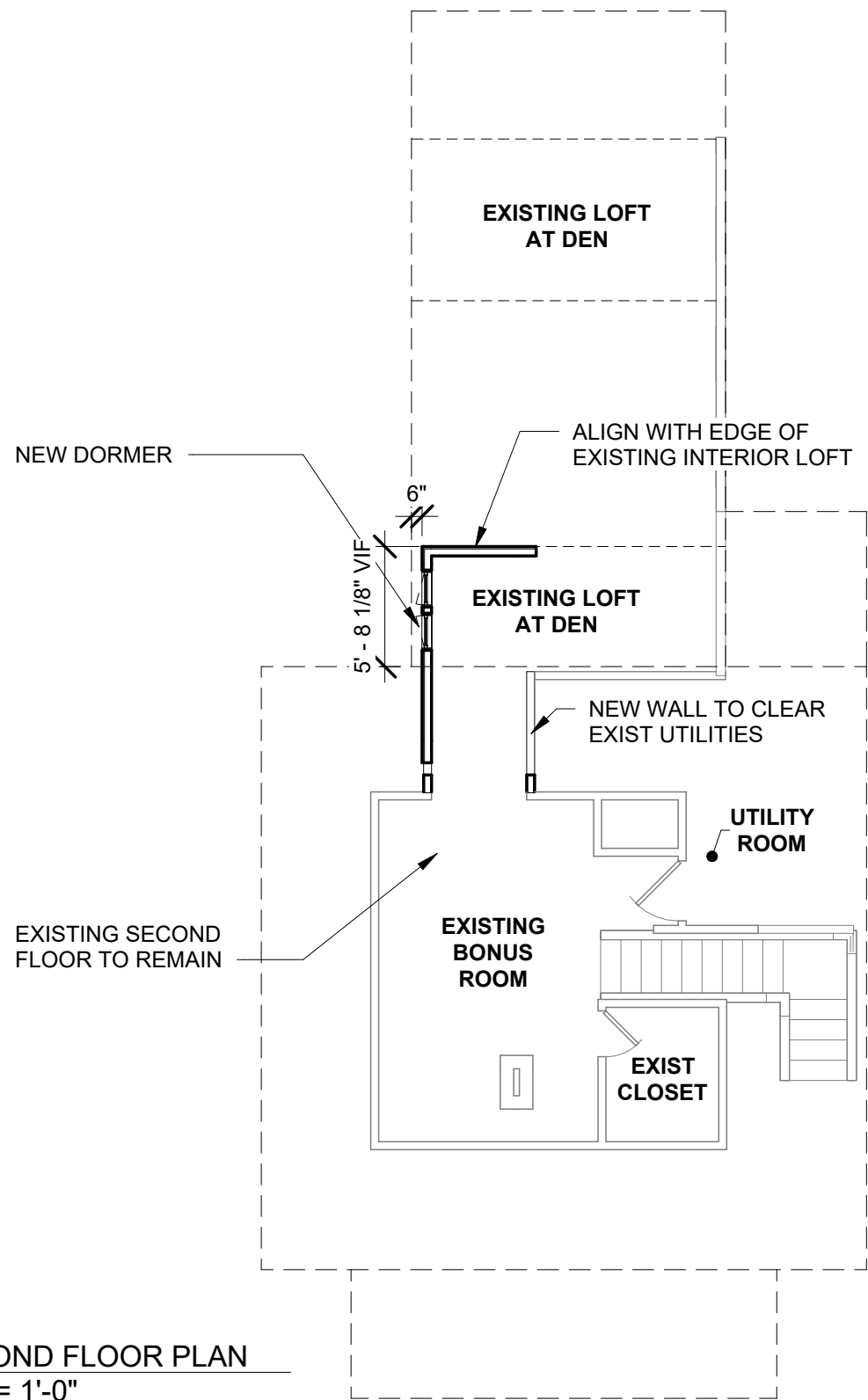
1. ZONING CLASSIFICATION: R4 RESIDENTIAL
2. EXISTING LOT SIZE: 8,276 SF (PER GIS)
3. MAIN STRUCTURE SETBACKS:
REAR SETBACK: 20' PER ZONING
SIDE YARD SETBACK: 7' PER ZONING
FRONT YARD SETBACK: EXISTING TO REMAIN
4. LANDSCAPE SURFACE AREAS: MIN 40%
HOUSE, DECK, AND WALKS: 2,008 SF
LANDSCAPE AREA: 6,268 SF
LANDSCAPE SURFACE AS CALCULATED: 76%
5. BUILDING FOOTPRINT (SEE SHEET SP100):
MAIN HOUSE (NO CHANGE TO EXIST ROOF):
EXISTING BUILDING: 1,707 SF
REAR ADDITION: 46 SF
TOTAL FOOTPRINT 1,753 SF
6. FINISHED BUILDING AREA:
MAIN HOUSE:
FIRST FLOOR: 1,450 SF
SECOND FLOOR ADDITION: TBD SF
TOTAL COVERAGE TBD SF



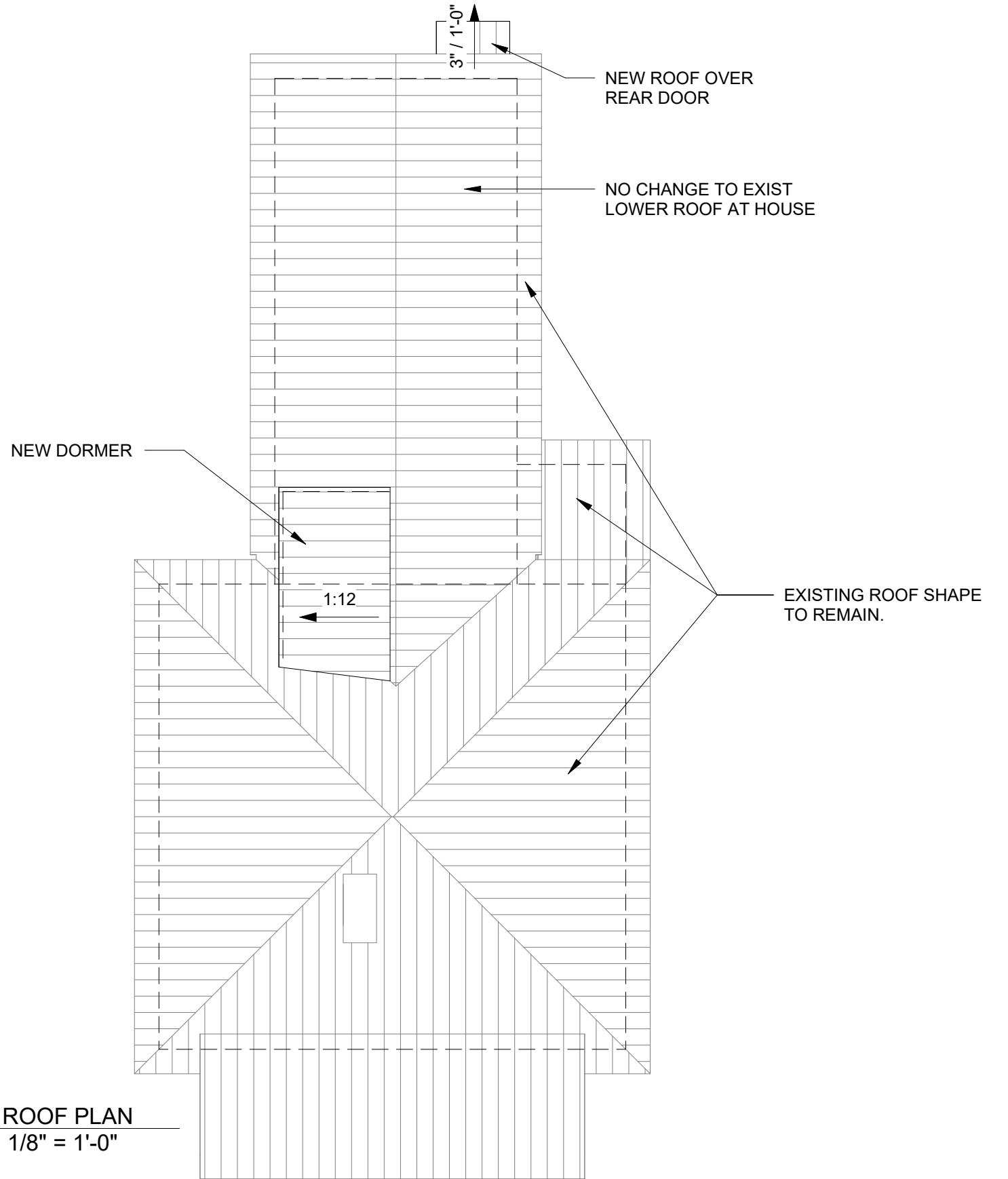
1 FIRST FLOOR DEMOLITION PLAN
1/8" = 1'-0"



2 FIRST FLOOR PLAN // PROPOSED
1/8" = 1'-0"



① SECOND FLOOR PLAN
1/8" = 1'-0"



② ROOF PLAN
1/8" = 1'-0"

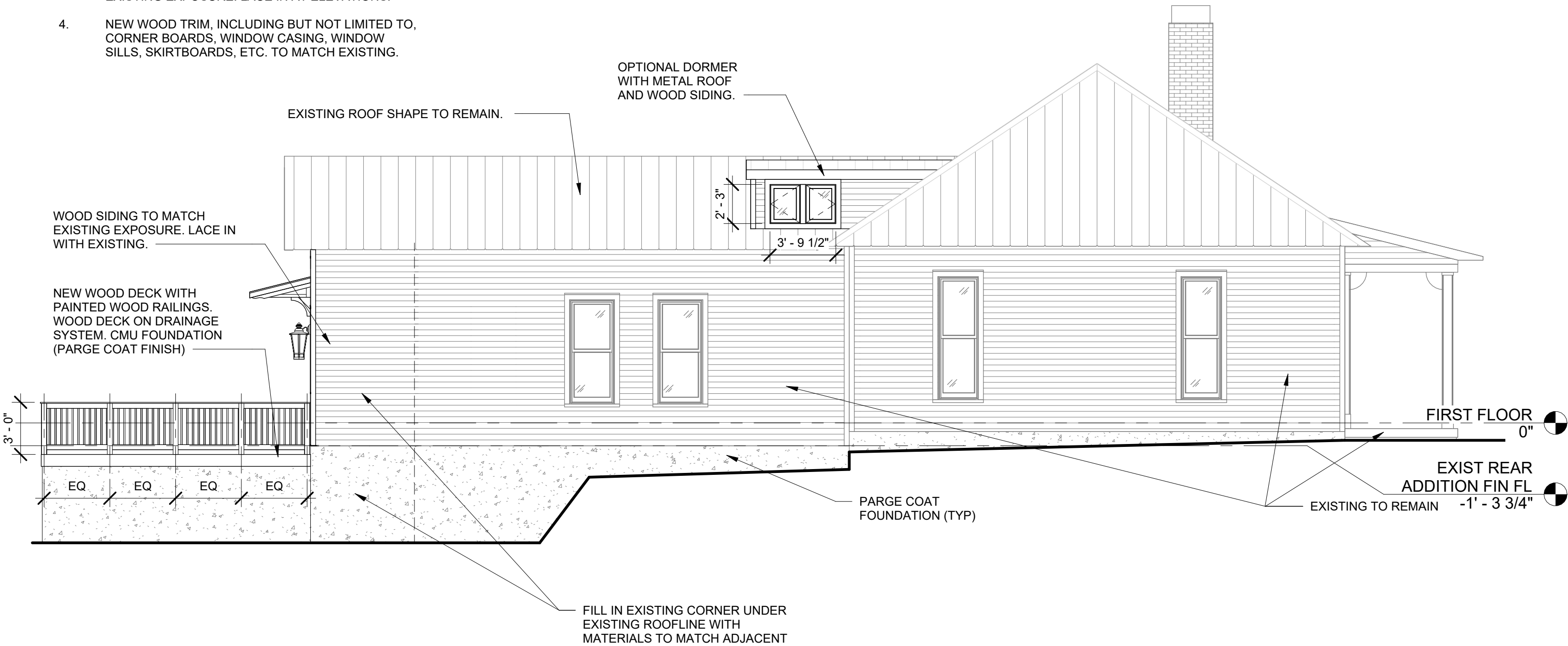


① EXTERIOR ELEV // FRONT PROPOSED
3/16" = 1'-0"

NO CHANGE TO FRONT ELEVATION

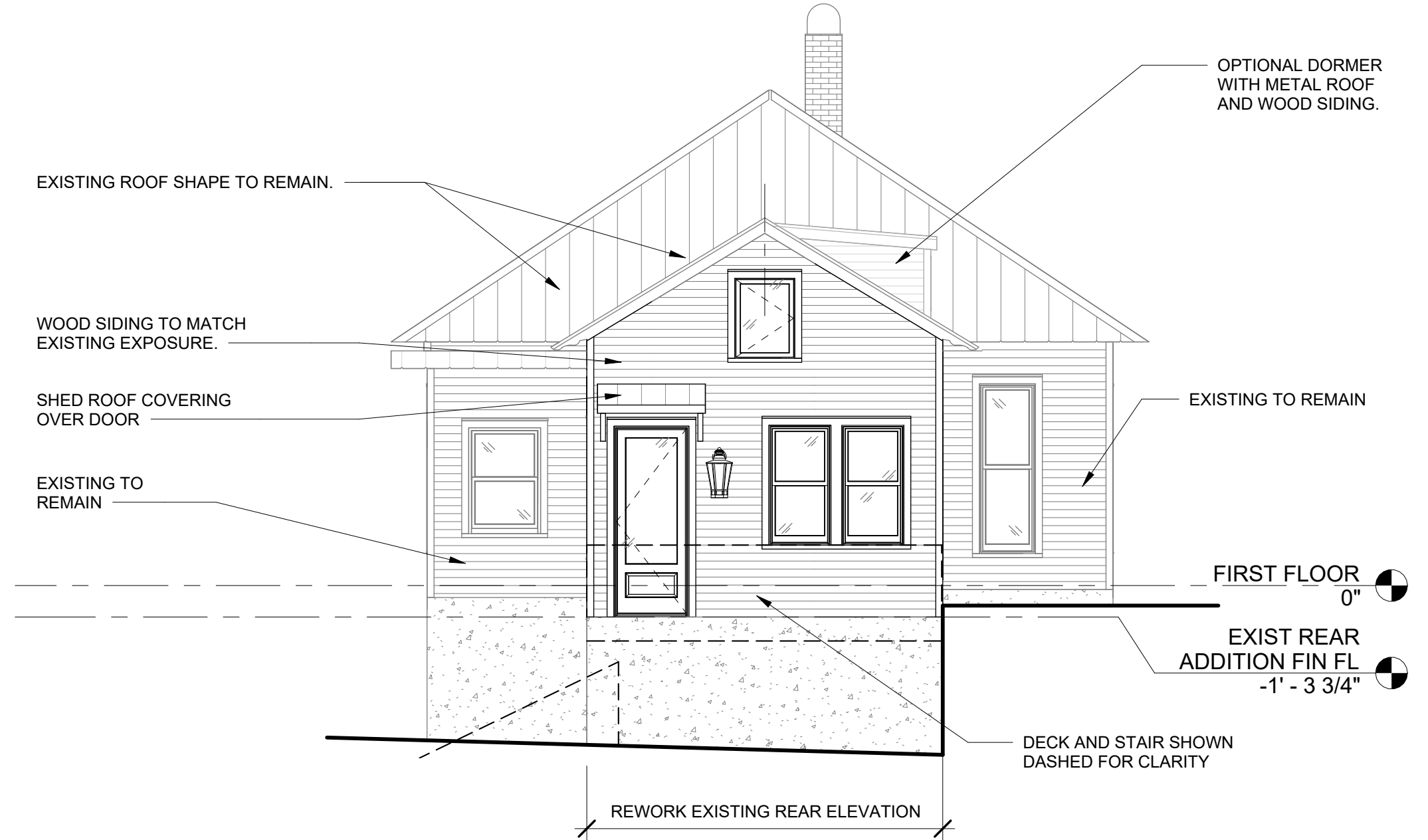
ELEVATION NOTES

1. NO CHANGES TO THE EXISTING ROOFLINE AND ROOF SHAPE EXCEPT FOR DORMER ADDITION AND REAR ENTRY COVER. NEW ROOF TBD. ROOF MATERIAL NOT CONSIDERED AS PART OF THIS APPLICATION.
2. NEW WINDOWS TO BE MARVIN WOOD WINDOWS TO MATCH PROFILE OF EXISTING WINDOWS.
3. ALL NEW SIDING TO BE WOOD SIDING TO MATCH EXISTING EXPOSURE. LACE IN AT ELEVATIONS.
4. NEW WOOD TRIM, INCLUDING BUT NOT LIMITED TO, CORNER BOARDS, WINDOW CASING, WINDOW SILLS, SKIRTBOARDS, ETC. TO MATCH EXISTING.



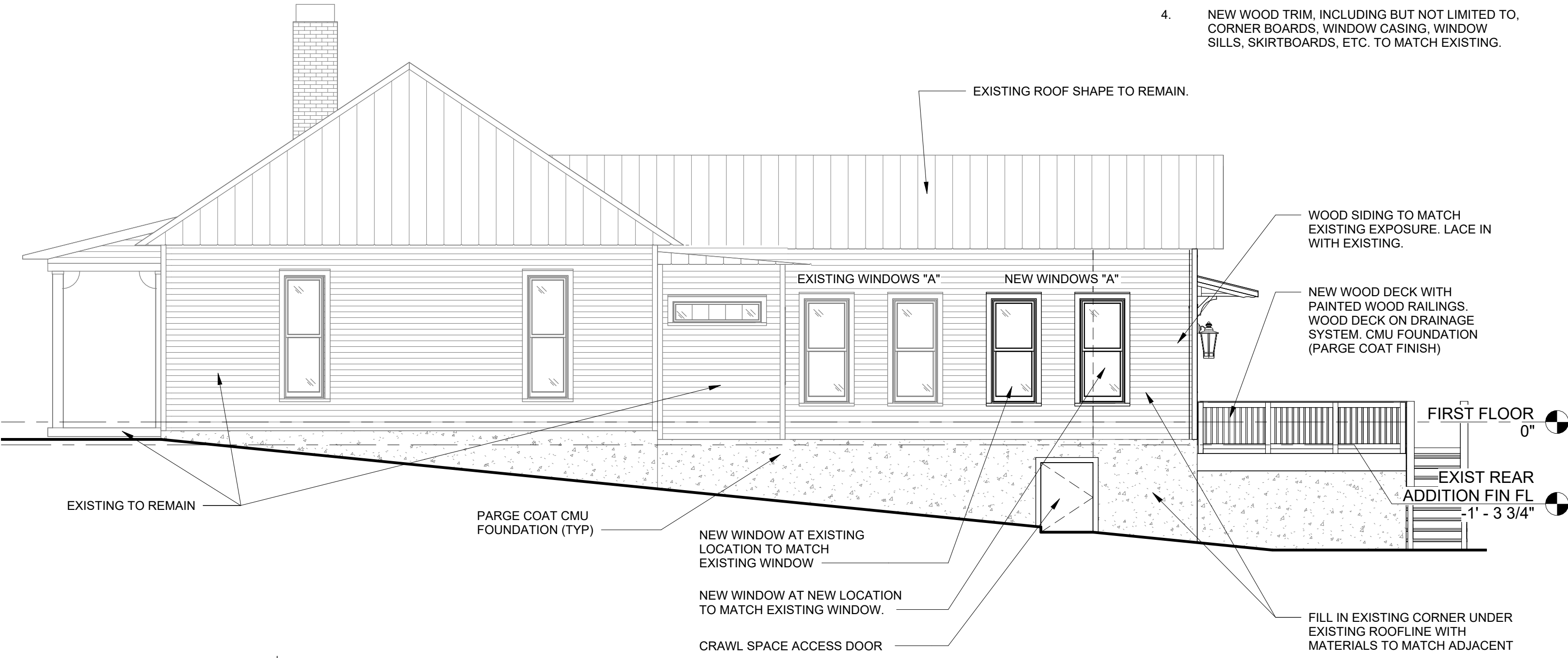
ELEVATION NOTES

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2. NEW WINDOWS TO BE MARVIN WOOD WINDOWS TO MATCH PROFILE OF EXISTING WINDOWS.
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4. NEW WOOD TRIM, INCLUDING BUT NOT LIMITED TO, CORNER BOARDS, WINDOW CASING, WINDOW SILLS, SKIRTBOARDS, ETC. TO MATCH EXISTING.

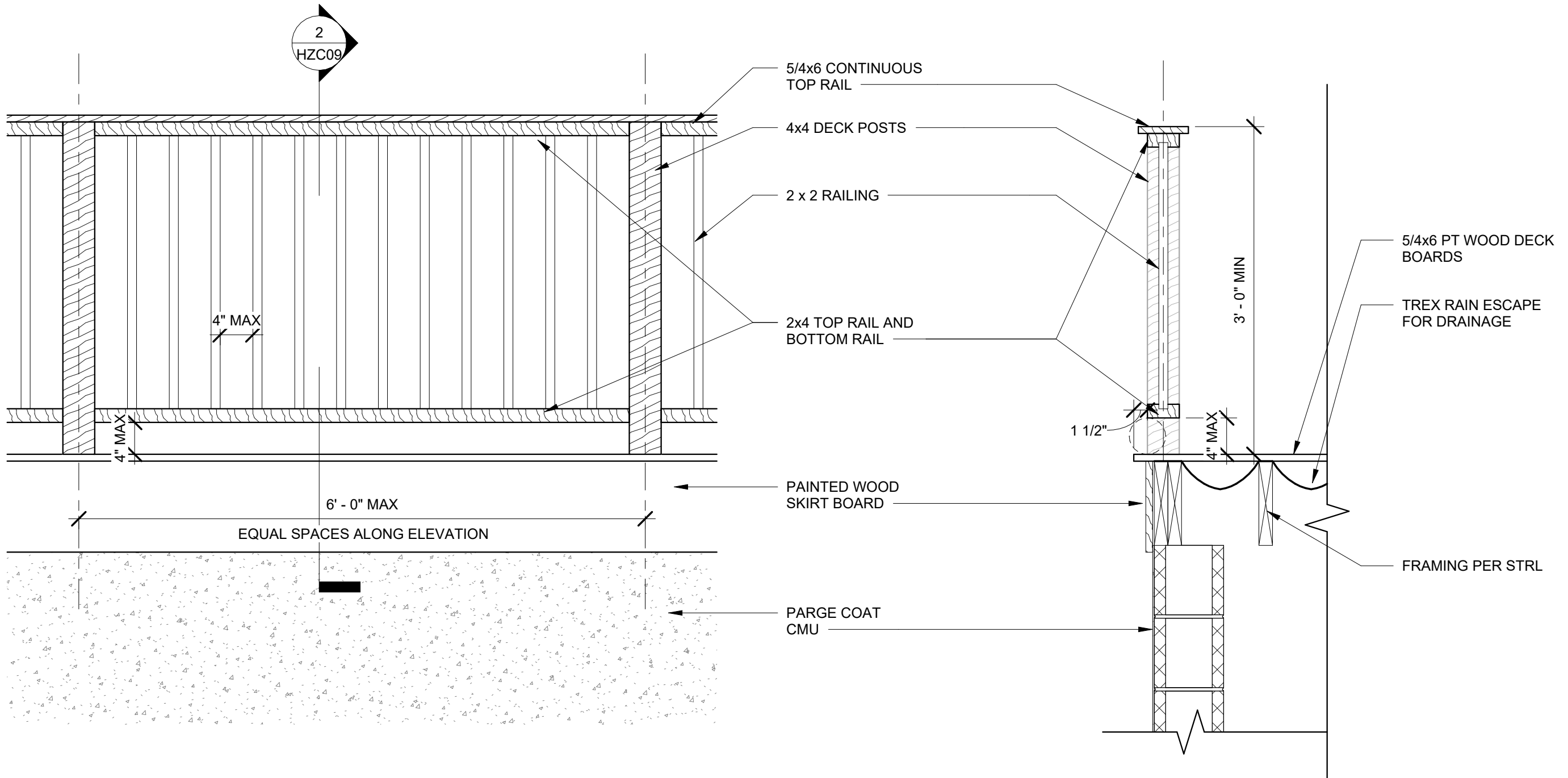


ELEVATION NOTES

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2. NEW WINDOWS TO BE MARVIN WOOD WINDOWS TO MATCH PROFILE OF EXISTING WINDOWS.
3. ALL NEW SIDING TO BE WOOD SIDING TO MATCH EXISTING EXPOSURE. LACE IN AT ELEVATIONS.
4. NEW WOOD TRIM, INCLUDING BUT NOT LIMITED TO, CORNER BOARDS, WINDOW CASING, WINDOW SILLS, SKIRTBOARDS, ETC. TO MATCH EXISTING.



ALL DECK RAILINGS AND TRIM BOARDS
TO BE PAINTED BM WHITE DOVE OC-17.



① RAILING ELEVATION
1" = 1'-0"

② RAILING SECTION
1" = 1'-0"



File #: 21-01221

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:
Consideration Of Addition And Alterations (Principal And Accessory) At 1008 Fair St.; Jacob Layne, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning alterations and additions to the principal building and accessory structure at 1008 Fair Street.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines:
Chapter 2: Additions to Historic Residential Buildings
Chapter 5: Non-historic Accessory Structures
Chapter 7: Fences, Gates, and Walls
Chapter 9: Modern Features

PROJECT INFORMATION:
COF Project Number: 8895
Applicant: Jacob Layne, Studio 906
Owner: Katy Bell

BACKGROUND:
The property located at 1008 Fair Street is in the Hincheyville National Register Historic District. The site features a ca. 1889 one-story Federal-style house that has a full-width front porch which is contributing to the National Register Historic District. The site also has an accessory structure with a pyramidal roof that the National Register lists as a ca. 2000s construction and is non-contributing. The requests were denied during the August 2025 HZC meeting. Changes have been made to the proposal since the September 2025 DRC meeting.

The proposal includes a request for alterations and an addition to the principal building and accessory structure and fencing on the site.

Principal Building:
A 158 sq. ft. addition is proposed on the rear of the principal building that intends to mimic an

enclosed porch. The location, size, height, materials, and form are appropriate and create a subordinate addition that is compatible with the historic building yet clearly identifiable. The roof form and 1:12 pitch are appropriate to assist in creating a subordinate form. The details, ornamentation, window profile, and rhythm have been improved to be more compatible with the historic building and are appropriate.

A roof infill addition is proposed on the rear of the building to create a 1 ½ story building form between the two wing gables at the rear of the building. The infill will not be visible from public view, maintains the form of the existing building, and is subordinate to the historic building and height. The roof form has a 0.25:12 pitch that is appropriate, as it assists in creating a subordinate form for the infill. The windows proposed in the infill are appropriate and relate to and are compatible with the windows seen on the historic building.

Building Alterations

There are several other building alterations that are proposed within the application. A series of window alterations are proposed on the rear and less visible facades, including the following items:

Rear Elevation:

- New fixed wood window in the left gable
- New double hung in the right gable

Right Elevation:

- New Small Casement window
- New fixed wood windows (2)

On the rear elevation, a new fixed clad-wood window is proposed in the top left dormer. The size of the window mimics the size of the vent in the top left dormer. The window is a six-lite pattern window, which is compatible with the window pattern that exists on the building. On the right gabled portion of the building, a six-over-six clad-wood double-hung window is proposed. The window size is smaller than the surrounding windows, and it is unknown if its size relates to the windows on other elevations.

On the right elevation, a small wood-clad window is proposed, and two large multi-lite fixed windows are proposed to flank the existing large multi-lite window near the rear.

The Guidelines recommend the following for the window installations on the rear and right elevations:

- Design new or replacement windows to have historic profiles and dimensions and a double-hung appearance. Use true divided-light (TDL) or simulated divided-light (SDL) windows rather than snap-in muntins or grids between the glass (GBG) styles.
- Design new or replacement windows to match the historic materials found on the building.
- Use clear glass in replacement panes on the front facade and where highly visible from the street.

The proposed location of the new windows appear appropriate per the Guidelines; their material should be changed from wood-clad to wood windows to align with the Guidelines recommendation.

Accessory Structure:

The proposal includes alterations and an addition to the existing accessory structure. The National Register lists the building as a ca. 2000 structure. Historic Sanborn maps indicate that, historically, there may have been a structure in the same area as the existing structure. With the information currently available, the structure is reviewed as a non-historic accessory structure.

The proposed alterations to the existing structure would increase the height from 16'6" to 18'5". The historic building is 18' to the ridge. Dormers are proposed on the front and rear elevations. The dormers on the rear elevation are not permitted by Zoning. The Guidelines recommend:

- Design alterations and additions so that the entirety of the accessory structure is compatible and visually subordinate in size, mass, and height to the principal building they support.

While improvements have been made and feedback from the DRC meeting incorporated to simplify the form and massing, the addition and alterations to the structure are not appropriate as they are not subordinate to the historic building and have increased the height to be taller than the historic building.

Fencing:

Behind the principal building, by the driveway, a small amount of fencing is proposed to screen the HVAC and the cellar entrance. While information on the materials or height has not been provided, it is in an appropriate location. The Guidelines recommend the following:

- Design fences and walls to be compatible with the architectural style of the building. For example, wood picket fencing is appropriate for vernacular frame houses.
- Use wood picket, vertical wood plank, split rail, horse fencing, brick, cast iron, or similar metal fencing, as appropriate based on the site and setting.
- Limit height to 7 feet in the rear yard.
- Place ground-mounted mechanical equipment behind buildings and screen it from street view with landscaping, fencing, or walls.

As proposed, the fencing is appropriate, but shall utilize a material and design that is appropriate per the Guidelines.

RECOMMENDATION:

Staff recommends denial of the alterations and addition to the accessory structure based on the following Guidelines:

- Design alterations and additions so that the entirety of the accessory structure is compatible and visually subordinate in size, mass, and height to the principal building they support.

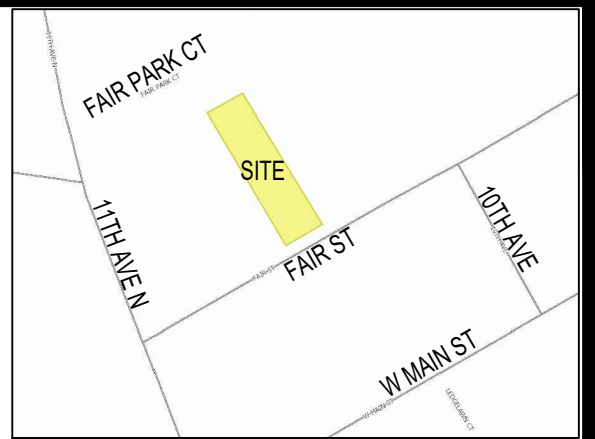
Staff recommends approval of the addition and alterations with the following conditions:

1. The windows must have a historic profile and dimensions and consist of wood to align with the Guidelines. The window specifications must be approved by the Preservation Planner or the HZC prior to issuance of a building permit.
2. The fencing material and design shall be approved by the Preservation Planner prior to installation.

3. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
4. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



IF YOU DIG TENNESSEE...
CALL US FIRST!
1-800-351-1111
TENNESSEE ONE CALL
IT'S THE LAW



VICINITY MAP
(NOT TO SCALE)

JOHN & SHARON MCNEELY
DEED BOOK 9360, PAGE 111
TAX MAP 78B, GROUP F, PARCEL 12.00
PLAT BOOK P69, PAGE 106, LOT 5

BARBARA BENNETT
DEED BOOK 8971, PAGE 348
TAX MAP 78B, GROUP M, PARCEL 7.00
PLAT BOOK P69, PAGE 106, LOT 6

DIANNE & MIKE CHRISTIAN
DEED BOOK 9214, PAGE 617
TAX MAP 78B, GROUP M, PARCEL 8.00
PLAT BOOK P69, PAGE 106, LOT 7

SHANNON & DIANNE
CURTIS REVOCABLE TRUST
DEED BOOK 8590, PAGE 879
TAX MAP 78B, GROUP M, PARCEL 1.00
PLAT BOOK P63, PAGE 87, LOT 1

ROSEANNE SIMPSON LIVING TRUST
DEED BOOK 8280, PAGE 634
TAX MAP 78B, GROUP F, PARCEL 13.00



TN SPCS NAD 83

LEGEND

⊗	FIRE HYDRANT	⊗	UTILITY POLE
●	IRON PIN FOUND	⊕	SPIGOT
⊙	CLEAN OUT	⊕	ELECTRIC METER
⊗	WATER VALVE	⊕	GAS METER
⊕	MAIL BOX	⊕	WATER METER
⊕	SANITARY SEWER MAN HOLE		
⊕	HEDGEROW		
— P/T —	OVERHEAD POWER & TELEPHONE		
---	EDGE OF PAVEMENT		
— x —	FENCE LINE		
— c —	CENTERLINE		
---	GRAVEL		

M.B.S.L. = MINIMUM BUILD SETBACK LINE

- No portion of the described tract lies within Floodplain, and is shown in the area Zone X as said tract shows on FEMA FIRM Map Number 47187C0192H on the Flood Insurance Rate Maps for City of Franklin, Tennessee (effective date December 20, 2024).
- This survey was prepared from current deeds of record without benefit of facts and does not represent a title search or a guarantee of title, and is subject to any state of facts a current, full, or accurate search may reveal. No investigation of independent search for easements, encumbrances, restrictive covenants, or ownership title evidence has occurred. The surveyor reserves the right to revise any easement(s) not provided for or known of per the date of this survey.
- The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility location shown hereon. The Owner(s) and Contractor(s) should assume responsibility to verify utility existence, size, location, depth and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.
- Basis of bearings is based on the Tennessee State Plane Coordinate System 4100 Zone on the 1983 North American Datum (NAD83).
- In Tennessee it is a requirement of the "Underground Utility Damage Prevent Act" that anyone who engages in excavation must notify all known underground utility owner(s) no less than three nor more than ten working days prior to the date of their intent to excavate and also to avoid any hazard or conflict. The Tennessee One Call telephone number is 1-800-351-1111. No utilities were called, nor marked for this project.
- The field data was gathered on January 30, 2025 using standard radial surveying techniques with an Electronic total station (Trimble S-5 robotic instrument) and data collector (Trimble TSC7 with Access Data Collection software) and/or using Global Positioning (GPS)(Trimble R12, R12i).

SCALE 1" = 40'



SURVEYOR'S CERTIFICATE
I HEREBY CERTIFY THAT THIS IS A CATEGORY 1 SURVEY, THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS BETTER THAN 1: 10,000, AND IS IN COMPLIANCE WITH THE CURRENT "TENNESSEE STANDARDS OF PRACTICE FOR LAND SURVEYING".

J. Mark Cantrell
J. MARK CANTRELL, TN PLS# 1859

PROJECT 24-1004	
DATE: 30 JAN 2025	
REVISIONS	
NO.	DATE

SHEET 1 OF 1	
DRAWN BY: IIC	
REVIEWER: JMC	
SCALE: 1" = 40'	

BOUNDARY AS-BUILT SURVEY
ERIK & KATY HAMNES
1008 FAIR ST
DEED BOOK 9459, PAGE 87
TAX MAP 78B, GROUP F, PARCEL 12.00
DEPRIEST SUBDIVISION
PLAT BOOK 27, PAGE 124, LOT 2
WILLIAMSON COUNTY, TENNESSEE



1008 FAIR ST

SITE PLAN
KATY BELL INTERIORS

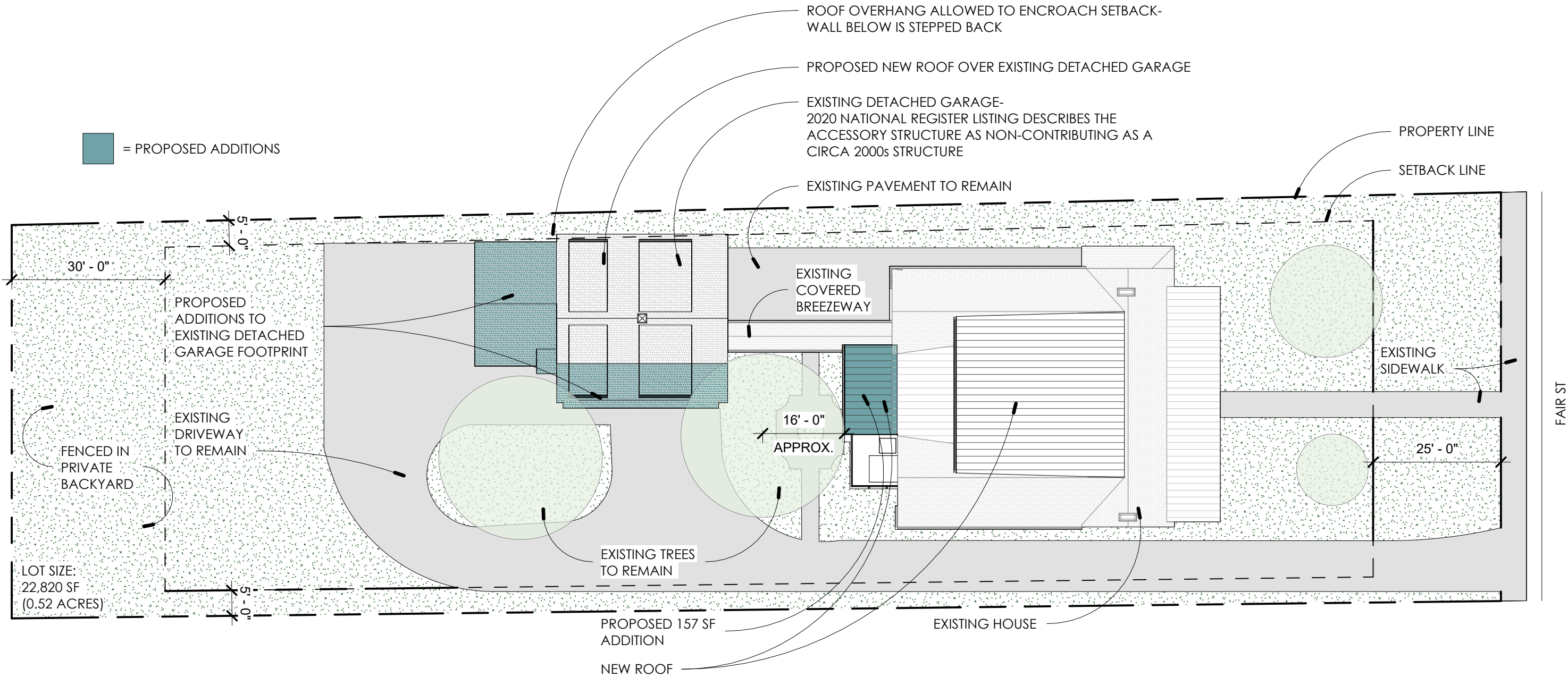
DETACHED GARAGE	
EXISTING DETACHED GARAGE FOOTPRINT:	766 SQ FT (APPROX.)
PROPOSED GARAGE ADDITION FOOTPRINT:	586 SQ FT (586 SQ FT ALLOWED)
PROPOSED DETACHED GARAGE FOOTPRINT:	1,352 SQ FT (1,352 SQ FT MAX.)

*DETACHED GARAGE FOOTPRINT IS ALLOWED TO BE UP TO 50% OF MAIN HOUSE FOOTPRINT

MAIN HOUSE	
EXISTING MAIN HOUSE HISTORIC FOOTPRINT:	2,184 SQ FT
KITCHEN ADDITION FOOTPRINT:	364 SQ FT
TOTAL EXISTING MAIN HOUSE FOOTPRINT:	2,548 SQ FT
PROPOSED DEN ADDITION FOOTPRINT:	157 SQ FT (728 SQ FT ALLOWED)
PROPOSED MAIN HOUSE FOOTPRINT:	2,705 SQ FT

*TOTAL SQ FT OF **ALL** ADDITIONS IS ALLOWED TO BE UP TO 50% OF HISTORIC FOOTPRINT

PROPOSED LSA : 47% (40% MIN.)



PROPOSED SITE PLAN

1" = 20'-0"

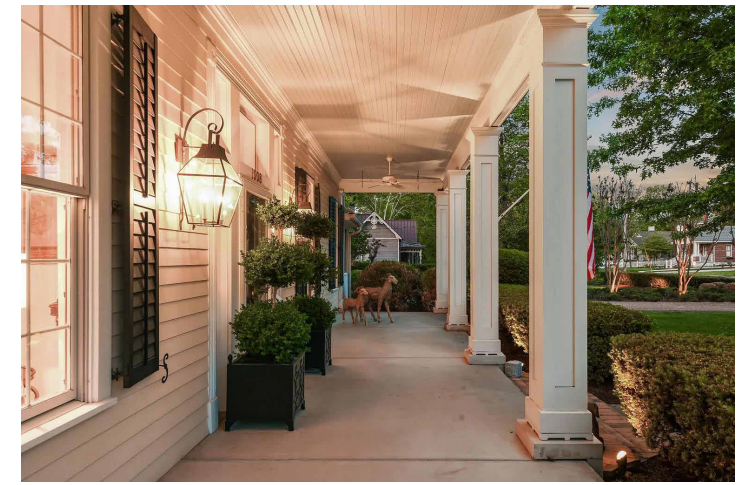


8' DEEP FRONT PORCH

*BACKYARD NOT VISIBLE FROM FRONT. FRONT OF HOME TO REMAIN THE SAME

1008 FAIR ST

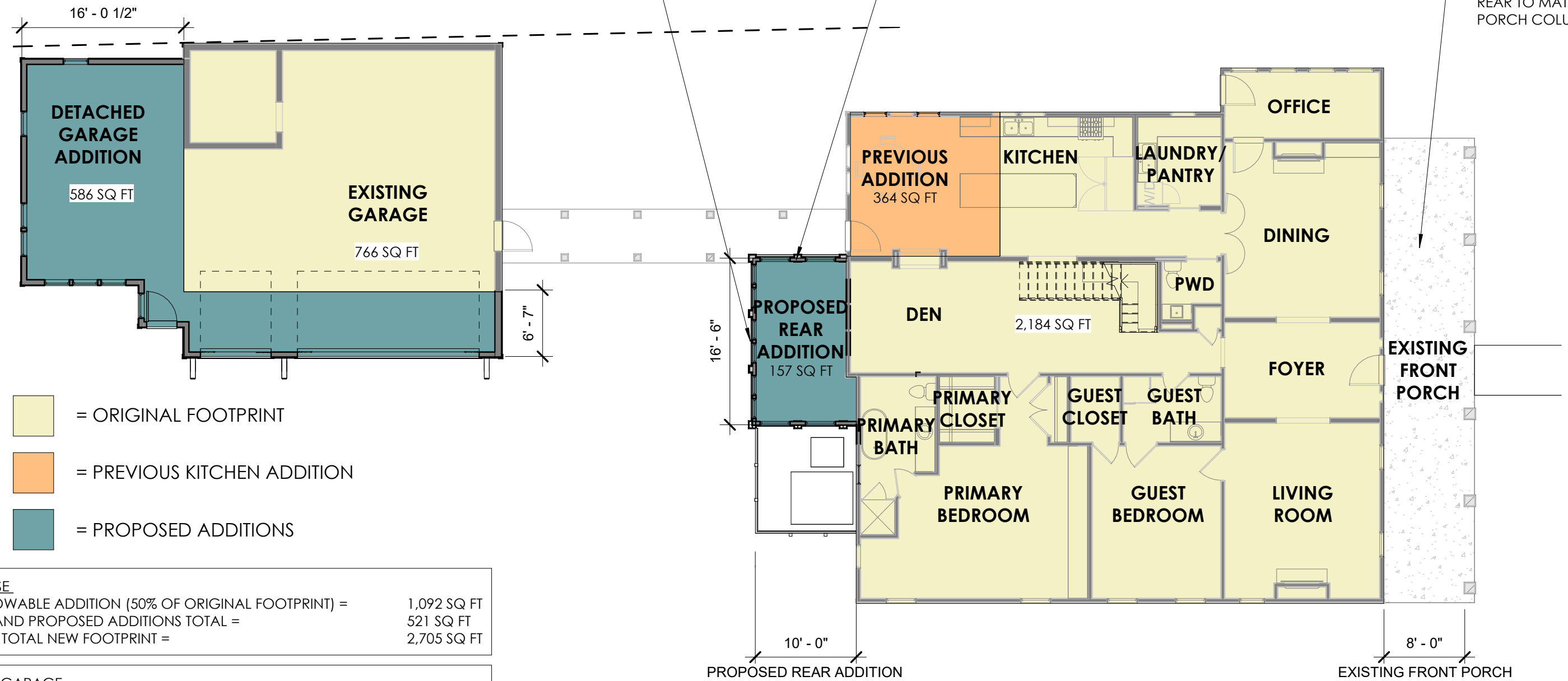
FLOOR PLANS
KATY BELL INTERIORS



EXISTING REAR OF HOME

CHARACTER IMAGE FOR PROPOSED REAR ADDITION

EXISTING FRONT PORCH
PROPOSED COLUMNS AT
REAR TO MATCH FRONT
PORCH COLUMN STYLE



- = ORIGINAL FOOTPRINT
- = PREVIOUS KITCHEN ADDITION
- = PROPOSED ADDITIONS

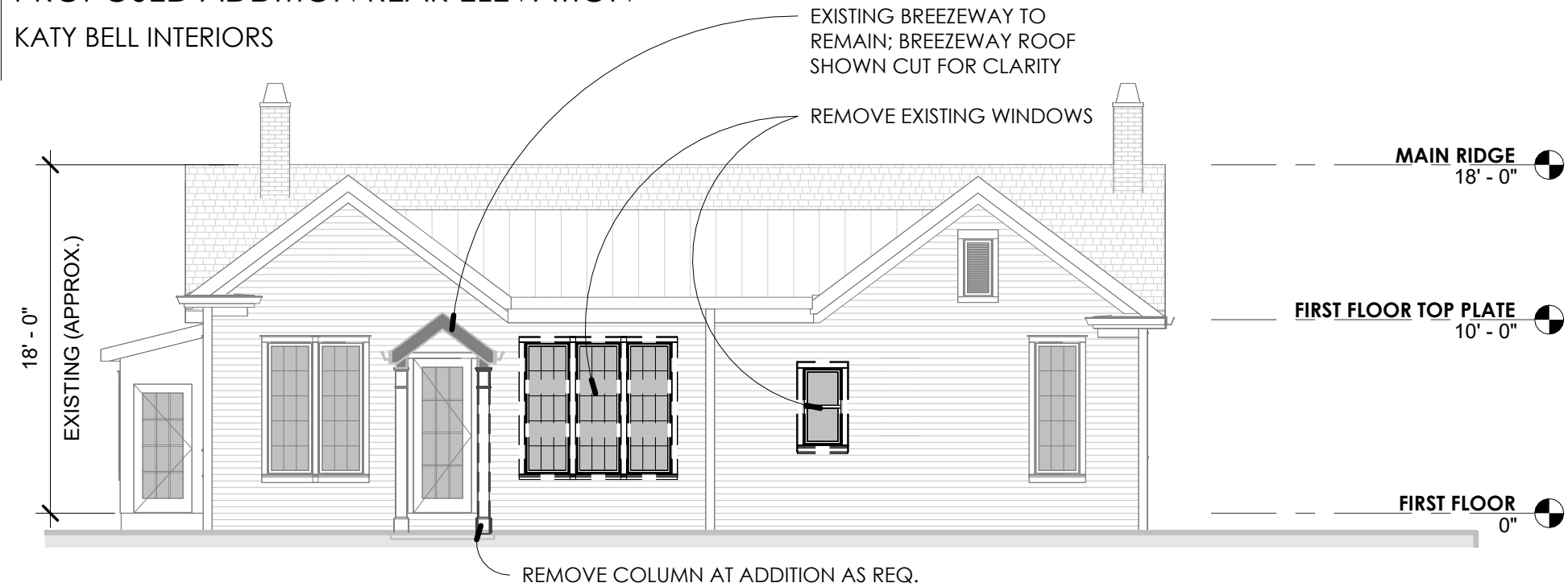
MAIN HOUSE	
TOTAL ALLOWABLE ADDITION (50% OF ORIGINAL FOOTPRINT) =	1,092 SQ FT
PREVIOUS AND PROPOSED ADDITIONS TOTAL =	521 SQ FT
PROPOSED TOTAL NEW FOOTPRINT =	2,705 SQ FT

DETACHED GARAGE	
TOTAL ALLOWABLE ADDITION (50% OF MAIN HOUSE FOOTPRINT) =	586 SQ FT
PROPOSED ADDITIONS TOTAL =	586 SQ FT
PROPOSED TOTAL NEW FOOTPRINT =	1,352 SQ FT



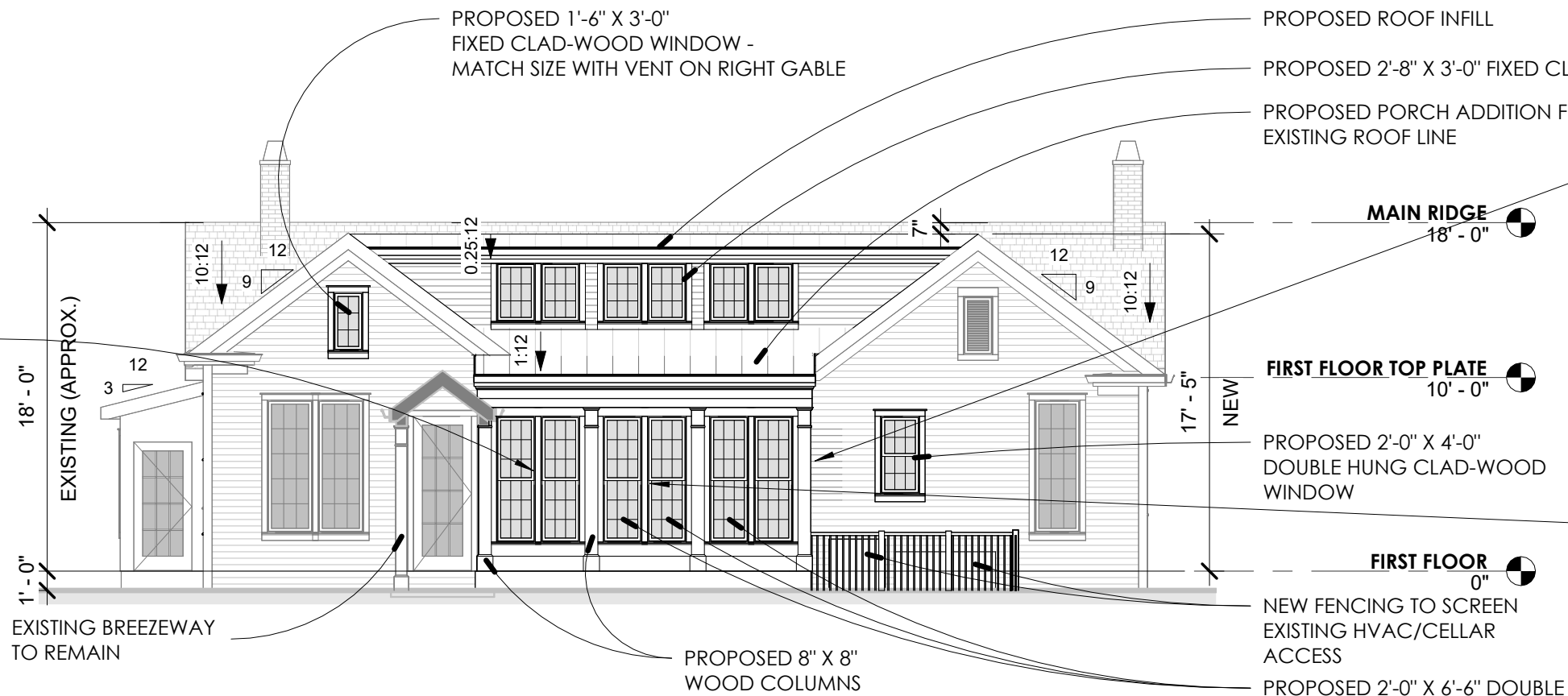
PROPOSED ADDITION REAR ELEVATION

KATY BELL INTERIORS



EXISTING REAR ELEVATION

1/8" = 1'-0"



PROPOSED REAR ELEVATION

1/8" = 1'-0"



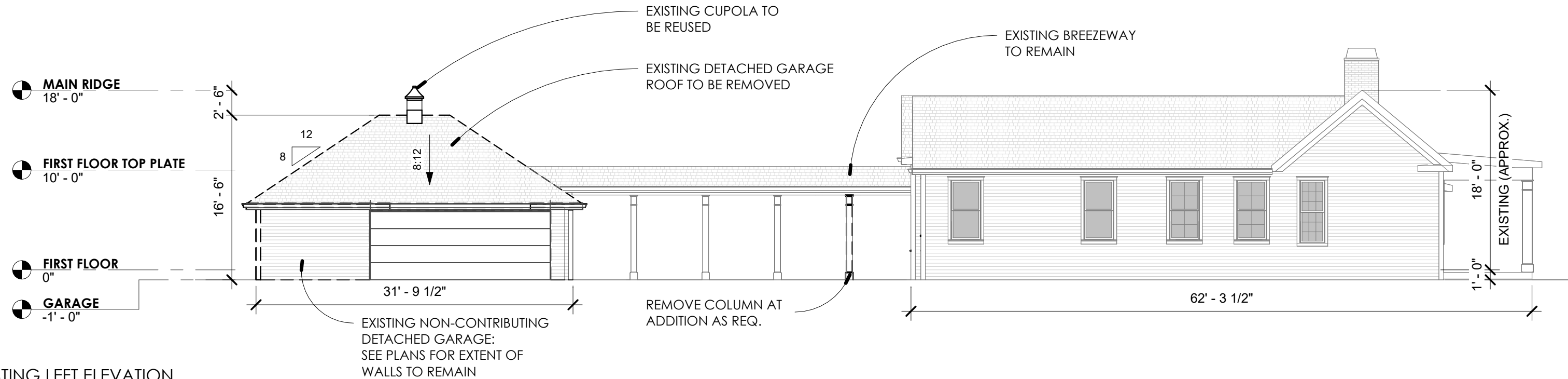
FRONT PORCH COLUMNS - NEW COLUMNS AT REAR SIMILAR TO FRONT PORCH COLUMN STYLE



243 3RD AVE SOUTH PRECEDENT IMAGE FOR ADDITION

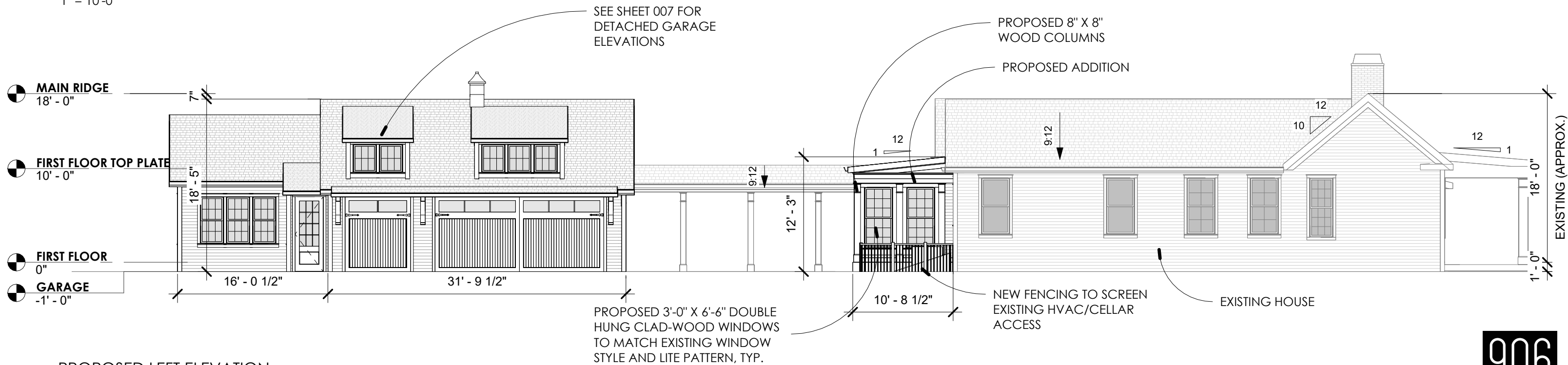


EXISTING WINDOWS AT DEN



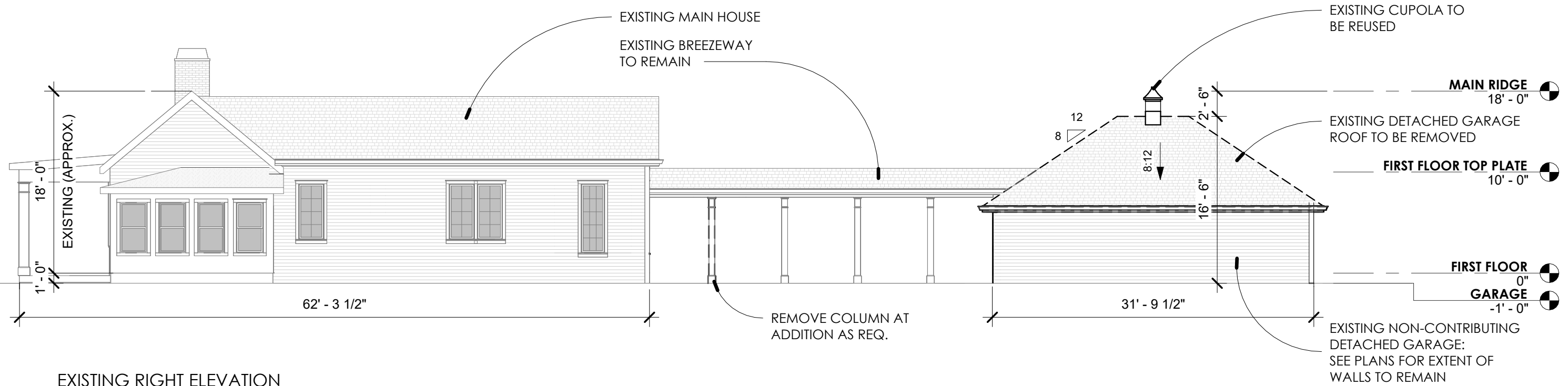
EXISTING LEFT ELEVATION

1" = 10'-0"



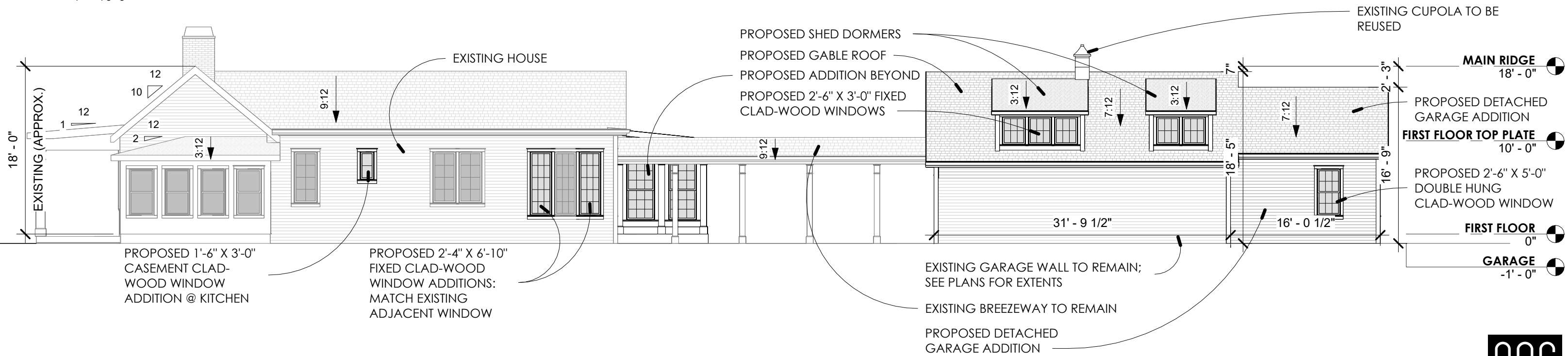
PROPOSED LEFT ELEVATION

1" = 10'-0"



EXISTING RIGHT ELEVATION

1" = 10'-0"



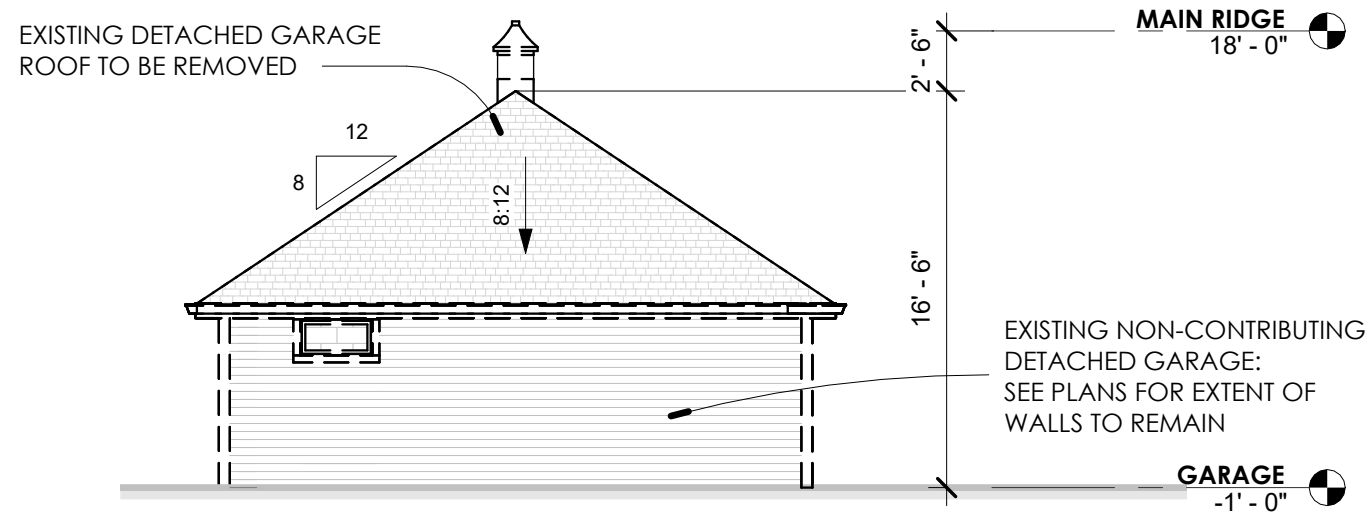
PROPOSED RIGHT ELEVATION

1" = 10'-0"

1008 FAIR ST

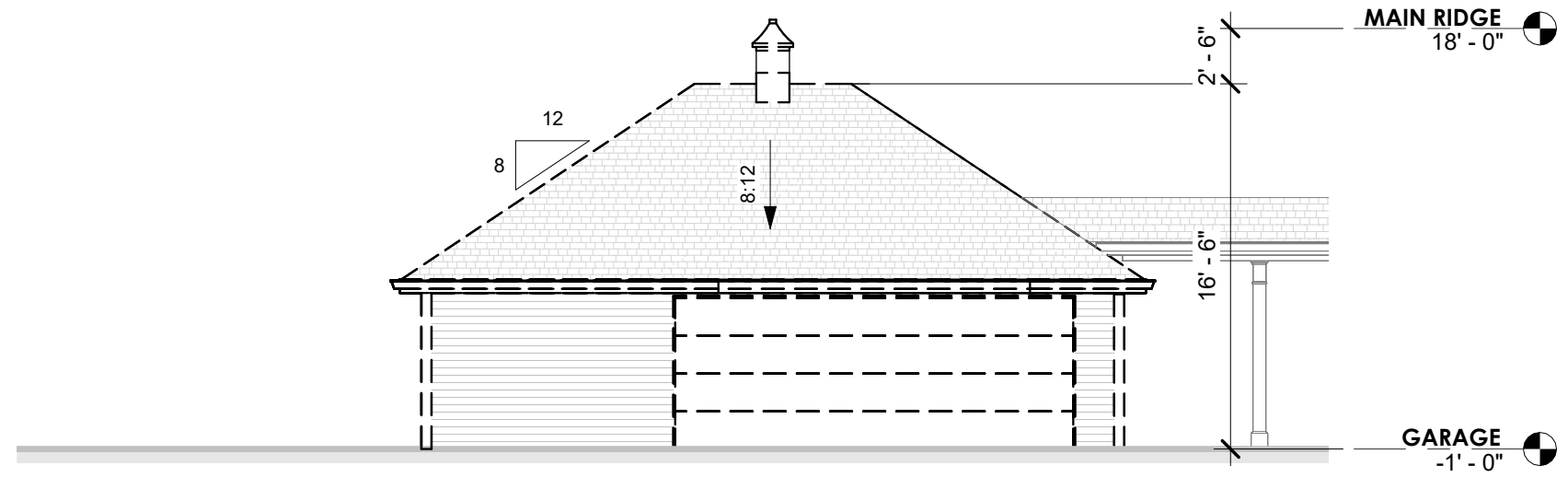
DETACHED GARAGE ELEVATIONS

KATY BELL INTERIORS



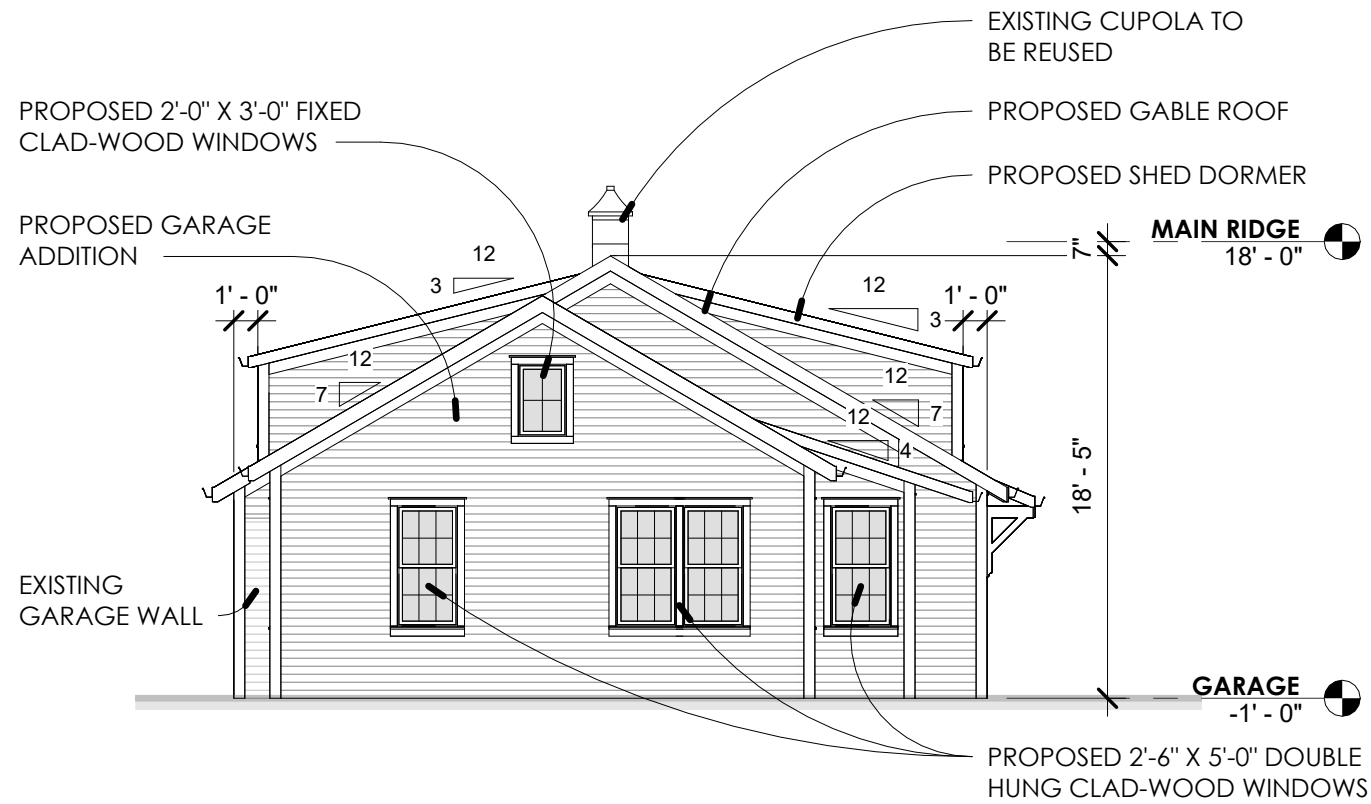
EXISTING DETACHED GARAGE LEFT ELEVATION

1/8" = 1'-0"



EXISTING DETACHED GARAGE FRONT ELEVATION

1/8" = 1'-0"

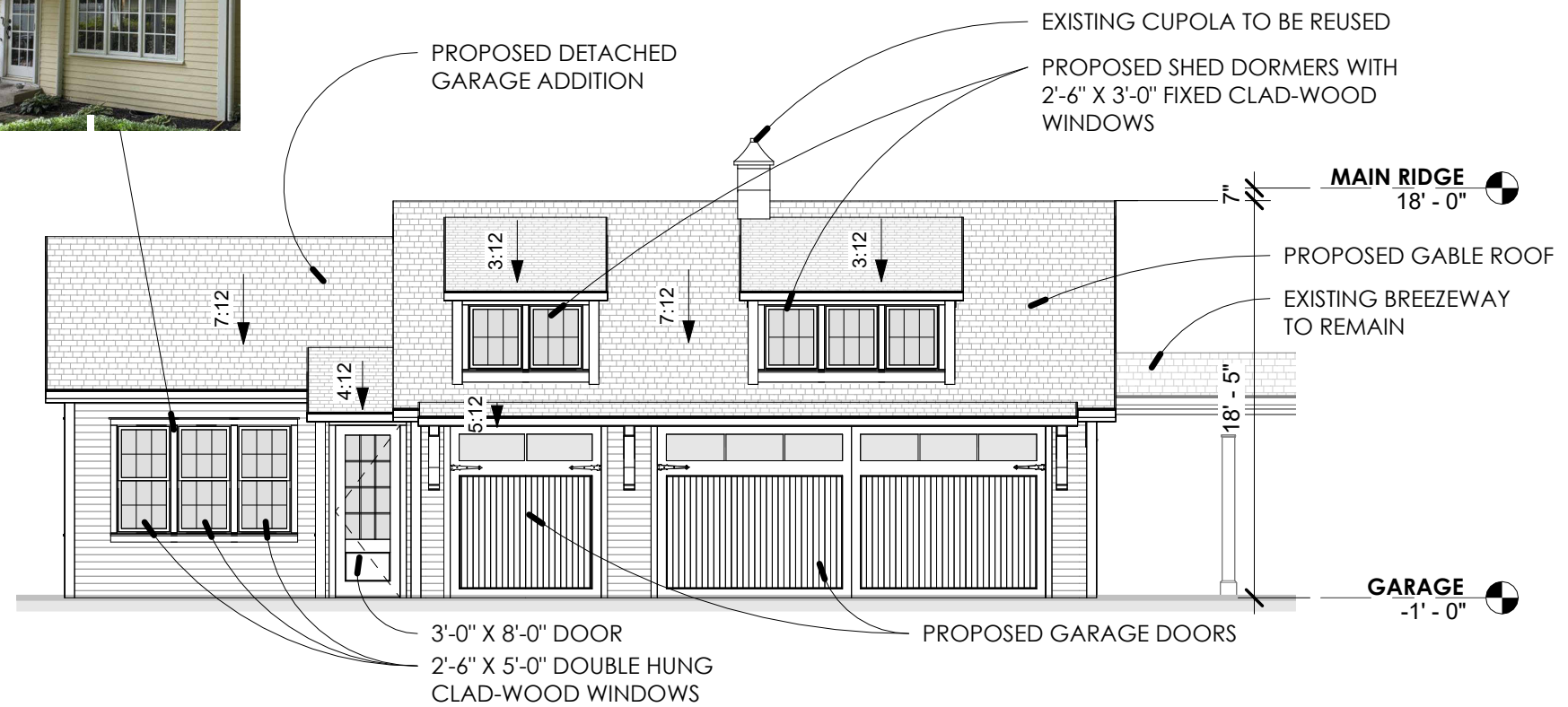


PROPOSED DETACHED GARAGE LEFT ELEVATION

1/8" = 1'-0"



EXISTING TRIPLE WINDOW ON MAIN HOUSE



PROPOSED DETACHED GARAGE FRONT ELEVATION

1/8" = 1'-0"

*2020 NATIONAL REGISTER LISTING DESCRIBES THE EXISTING ACCESSORY STRUCTURE AS NON-CONTRIBUTING AS IT IS A CIRCA 2000S STRUCTURE

*1999 TAX ASSESSMENT HAS CURRENT DETACHED GARAGE LISTED AS "CAR PORT"



235 3RD AVE SOUTH



908 W MAIN STREET



243 3RD AVE SOUTH



204 9TH AVE

EXISTING BREEZEWAY TO REMAIN
EXISTING CUPOLA TO BE REUSED
EXISTING DETACHED GARAGE
ROOF TO BE REMOVED



EXISTING REAR LEFT PERSPECTIVE

PROPOSED SHED DORMERS
EXISTING CUPOLA TO BE REUSED
PROPOSED GABLE ROOFS

PROPOSED ROOF INFILL
PROPOSED ADDITION



PROPOSED DETACHED GARAGE ADDITIONS

NEW FENCING TO SCREEN
EXISTING HVAC/CELLAR
ACCESS

PROPOSED REAR LEFT PERSPECTIVE



File #: 21-01217

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:
Consideration Of Alterations And Signage At 230 Franklin Rd. Building 1 (The Factory); John Brown, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning alterations, lighting, and signage to Building 1 at the Factory at 230 Franklin Road.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines:
Chapter 2: Historic Residential Buildings
Chapter 6: Site and Setting
Chapter 8: Residential Building Wall Sign

PROJECT INFORMATION:
COF Project Number: 8950
Applicant: John Brown
Owner: Factory Partners, LLC.

BACKGROUND:
The property located at 230 Franklin Road features Building 1 on the Factory campus and is located in the Franklin Road Historic District. The site features a ca. 1950 brick gable building that is residential in form, and has had significant additions on the rear of the building. The National Register lists the building as non-contributing, but the structure is now more than 50 years old and is historic. The proposal was discussed during the August 2025 DRC meeting, and feedback has been incorporated into the application to better align with the Guidelines.

The proposal includes a request for a series of alterations to the building, new lighting, and signage.

Alterations:
The request includes a series of alterations to the historic building, primarily on the rear non-historic addition. The following alterations are proposed:

- Remove and infill door on non-historic addition on the right elevation

- Painting the stairs, railings, and guards in Graphite
- Painting the rear addition siding in Graphite
- Replace the existing rear addition patio enclosure with a new storefront assembly
- Remove and infill three non-historic windows on the rear
- Replace three non-historic windows with single-lite windows
- Replace non-historic rear entrance

The Guidelines recommend the following:

- Use windows with historic profiles and dimensions with a double-hung appearance. Use true divided-light (TDL) or simulated divided-light (SDL) windows rather than snap-in muntins or grids between the glass (GBG) styles.
- Design new windows to be compatible with the size, detailing, placement, rhythm, and relationship of solids to voids of those on the historic building.
- Design screened or glassed porch additions with the minimum number of vertical and horizontal framing members needed to support the screening.

The rear non-historic addition to the building, completed in 1997, has a unique form that is not typical of an addition to a historic residential building. The proposed alterations to the existing storefront patio system do not have Guidelines that relate to the element as a historic residential building. The proposed alteration of the storefront system does not alter the form or massing of the rear of the building and maintains a similar appearance to what exists and is appropriate.

The proposed replacement windows, while located at the rear of the building in a less visible location, are not double hung, do not have the appearance of being double hung, and do not relate to the windows seen on the historic building. The material specifications for the replacement windows were not included. Three windows appear altered in the proposed renderings, but the applicant has confirmed the three windows from the left on the south façade will not be altered. The replacement door on the rear façade maintains the lite pattern seen on the existing door and is appropriate.

Although the windows in the storefront system appear to be transparent, the Guidelines recommend avoiding reflective glass, tinted glass, or other treatments that inhibit views into the building; however, this is not intended to apply to typical window treatments such as drapes or blinds.

It is appropriate to maintain and paint the previously painted surfaces.

Lighting:

The request includes a lighting package for the building. The following light fixtures are proposed:

- Replace the lanterns at the front entrance
- Install a wall sconce with an arm at the rear entrance
- Replace exit, stairs, and emergency light fixtures with concealed fixtures
- Install light fixtures on the rear outdoor patio

The existing light fixtures do not appear to be historic or original to the building. The proposed light fixtures are appropriate as they are simple in character, are appropriately scaled to the building, and are located in traditional locations.

Signage:

The request includes a sign package for the tenants in the building. The proposed signage includes: one wall sign on the front façade, one wall sign on the right façade, and one wall sign on the rear façade. The Guidelines recommend the following for a residential building:

- Sign area maximum of 4.5 sq. ft.
- Maximum height from grade of 12’.
- Use only external illumination and downlights.

Staff has interpreted the building as having a residential form, and the proposed wall signs exceed the recommended maximum sign area for a residential building. However, staff acknowledges that the scale of the entire building exceeds that of many other residential buildings utilized as commercial spaces and finds that the proposed signage is proportional to the building in this case. Additionally, the proposed signs do meet the recommendations for a wall sign for a commercial building. At a previous DRC meeting, DRC members supported the proposed wall signs as submitted in the application, and they determined that they were appropriately sized for the building and met the Guidelines for commercial wall signs. Within the DRC meeting, members discussed how the front of the building is mostly preserved, and in the late 1990s, a large two-story addition was added. Comments discussing how the rear of the building was commercial in form and how DRC members were comfortable with the additional size of the proposed wall signs, as it aligned with the Guidelines for commercial buildings and appeared proportional to the building. The placement is appropriate for the sign on the front and right facade, but the proposed sign on the rear facade is located 12’ from grade and is not appropriate per the Guidelines. The proposed lighting for the front and rear signs is appropriate, but the uplighting on the sign on the right facade is inappropriate, as it is recommended to utilize downlighting.

RECOMMENDATION:

Staff must recommend denial of the signage based on the following Guidelines. However, staff acknowledges that this is a unique building and that the HZC may find that the commercial building signage Guidelines are appropriate in this case.

- Sign area maximum of 4.5 sq. ft. for wall signs on a residential building in form
- Maximum height from grade of 12’.
- Use only external illumination and downlights.

Staff recommends approval of the building alterations with the following conditions:

1. The rear replacement windows must have a design that relates to the windows on the historic building and have the appearance of a double-hung window and return to Preservation Planning/the Historic Zoning Commission for approval.
2. The glass storefront system must not use reflective glass, tinted glass, or other treatments that inhibit views into the building.
3. The lighting must use illumination with a warm white light which does not distort the color of building materials or finishes. The lighting must not use colored bulbs or gels, or lighting with changing colors.
4. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
5. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

If the sign package is voted to be approved as shown, the following conditions are recommended:

1. The wall sign on the right façade must utilize downlighting.
2. The lighting must utilize incandescent and warm-colored lighting.

Project Considerations:

- A sign permit will be required for this project. Please include the approved COA in any sign permit applications.
- Please be advised building plans for permitting will be required in addition to the COA process.

September 26, 2025

Project: The Factory at Franklin - Building 1
Tenant Build-Out – Anthropologie / Terrain
Alteration of Exterior Components.

Design Narrative:

The scope includes the following proposed alterations:

West Elevation (Front)

- Original Building
 - Existing roof gable end, dormers, fascia, soffits, columns, door assembly to be painted. (Benjamin Moore HC-84 Elmira White)
 - Provide lighting.
 - Add tenant signage/sign light.

South Elevation:

- Original Building
 - Existing roof dormer, fascia, soffits, siding, door assembly to be painted. (Benjamin Moore HC-84 Elmira White)
- Existing Rear Addition
 - Remove existing man door and awning adjacent to exterior stair and infill with finish to match existing.
 - Existing/new siding (east end of building) to be painted. (Benjamin Moore 1603 Graphite).
 - Provide new storefront assembly at perimeter of second level.
 - Existing fascia, soffits, structure of flat roof to be painted. (Benjamin Moore 1603 Graphite).
 - Existing stairs, railings, and guards to be painted. (Benjamin Moore 1603 Graphite).
 - Provide lighting.
 - Add tenant signage/sign light.

East Elevation (Rear):

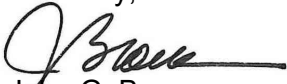
- Existing Rear Addition
 - Remove three windows (south end of building) and infill with finish to match existing.
 - Remove remaining divided lite window assemblies and replace with single lite assemblies.
 - Replace existing entrance door with new door assembly.

- Existing/new siding to be painted.(Benjamin Moore 1603 Graphite).
- Provide new storefront assembly at perimeter of second level.
- Existing fascia, soffits, structure of flat roof to be painted. (Benjamin Moore 1603 Graphite).
- Existing stairs, railings, and guards to be painted. (Benjamin Moore 1603 Graphite).
- Provide lighting.
- Add tenant signage/sign light.

North Elevation:

- Original Building
 - Existing roof dormer, fascia, soffits, siding to be painted. (Benjamin Moore HC-84 Elmira White)
- Existing Rear Addition
 - Existing/new siding to be painted.(Benjamin Moore 1603 Graphite).
 - Provide new storefront assembly at perimeter of second level.
 - Existing fascia, soffits, structure of flat roof to be painted. (Benjamin Moore 1603 Graphite).
 - Provide lighting.

Sincerely,



John G. Brown
David A. Levy & Associates

jbrown@dalevy.com

330-666-6767



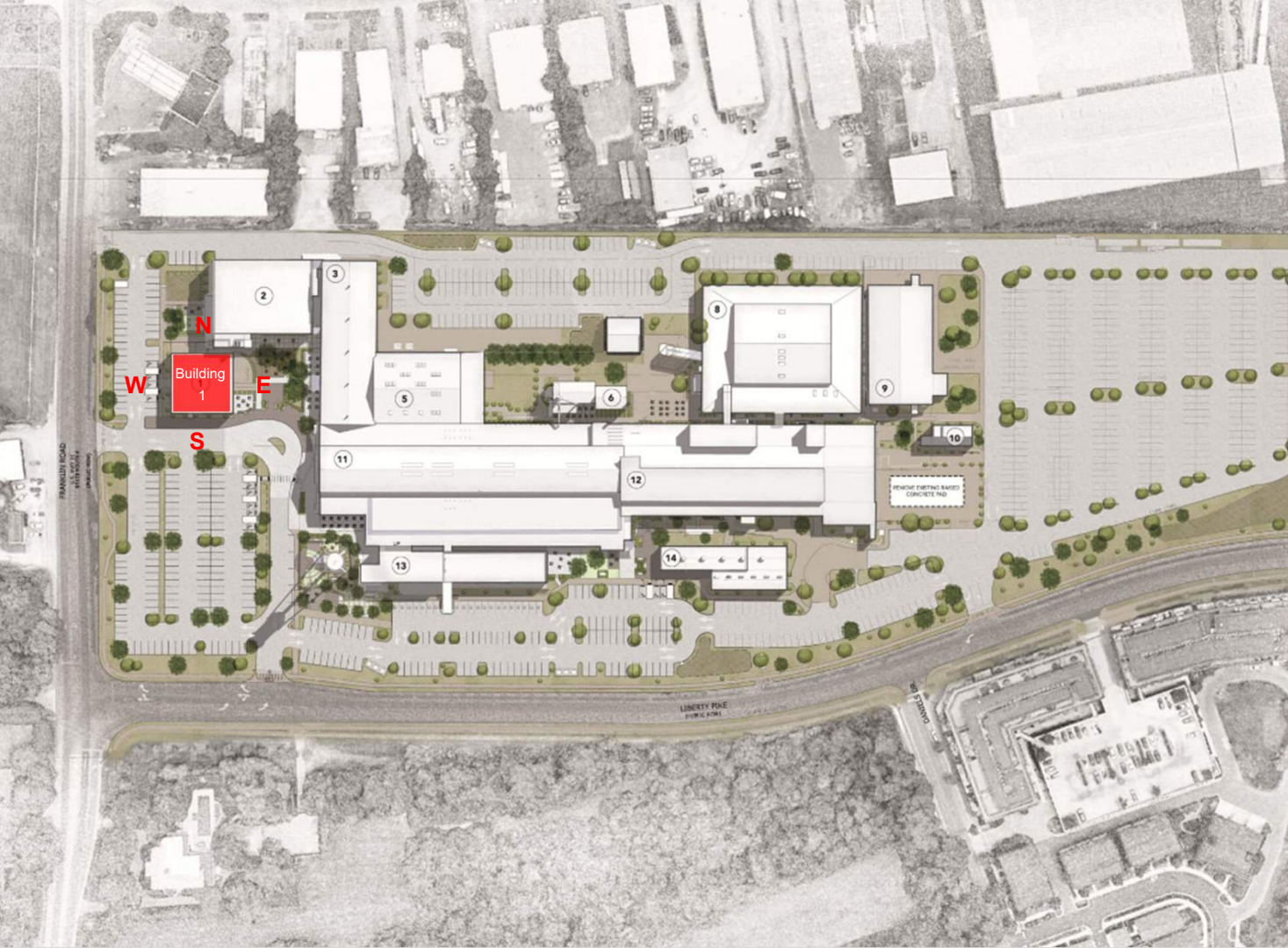
THE FACTORY AT FRANKLIN
**ANTHROPOLOGIE
& TERRAIN**

Historic Zoning Commission Presentation – Oct 13, 2025

Anthropologie & Terrain at The Factory at Franklin

Anthropologie / Terrain to be located
in Building 1

The Factory at Franklin
230 Franklin Road
Franklin, TN 37064



NORTH



Magic Chef Inc.
1955-1960

Winter 1997
Calvin LeHew



BUILDING 1 WEST FAÇADE

PROPOSED ALTERATIONS

Original Building

- Existing roof gable end, dormers, fascia, soffits, columns, door assembly to be painted. (Benjamin Moore HC-84 Elmira White)
- New lighting
- New "ANTHROPOLOGIE" signage.



EXISTING ELEVATION



PROPOSED ELEVATION

BUILDING 1 SOUTH FAÇADE

PROPOSED ALTERATIONS

Original Building

- Existing dormers, fascia, soffits, siding, door assembly to be painted. (Benjamin Moore HC-84 Elmira White).

Existing Rear Addition

- Remove existing man door and awning adjacent to exterior stair and infill with finish to match existing siding.

- Existing/new siding to be painted. (Benjamin Moore 1603 Graphite).

- Provide new storefront assembly at perimeter of second level.

- Existing fascia, soffits, structure for flat roof to be painted. (Benjamin Moore 1603 Graphite).

- Existing stairs, railings, and guards to be painted. (Benjamin Moore 1603 Graphite).

- New lighting

- New "TERRAIN GARDEN HOME" signage.



EXISTING ELEVATION



PROPOSED ELEVATION

BUILDING 1 EAST FAÇADE

PROPOSED ALTERATIONS

Existing Rear Addition

- Remove three windows (south end of building) and infill with finish to match existing siding.
- Remove remaining divided lite window assemblies and replace with single lite assemblies.
- Replace existing entrance door with new door assembly.



EXISTING ELEVATION

- Existing/new siding to be painted. (Benjamin Moore 1603 Graphite).
- Remove guards and provide new storefront assembly at perimeter of second level.
- Existing fascia, soffits, structure for flat roof to be painted. (Benjamin Moore 1603 Graphite).
- Existing stairs, railings, and guards to be painted. (Benjamin Moore 1603 Graphite).
- New lighting.
- New "TERRAIN" signage.

PROPOSED ELEVATION





EXISTING ELEVATION

BUILDING 1 NORTH FAÇADE

PROPOSED ALTERATIONS

- Original Building
- Existing dormers, fascia, soffits, siding to be painted. (Benjamin Moore HC-84 Elmira White).
- Existing Rear Addition
- Existing door assembly, siding to be painted. (Benjamin Moore 1603 Graphite).
 - Remove guards and provide new storefront assembly at perimeter of second level.
- Existing fascia, soffits, structure for flat roof to be painted. (Benjamin Moore 1603 Graphite).



PROPOSED ELEVATION

PROPOSED / EXISTING FINISHES



BENJAMIN MOORE: HC-84
ELMIRA WHITE



BENJAMIN MOORE: 1603
GRAPHITE



EXISTING BRICK TO
REMAIN



DARK BRONZE STANDING
SEAM ROOF
BY LANDLORD – PER
PREVIOUSLY APPROVED COA

Original Building

- Existing roof gable end, dormers, fascia, soffits, columns, door assembly to be painted. (Benjamin Moore HC-84 Elmira White)
- Existing brick to remain.
- Dark bronze standing seam roof to be installed by landlord.

Existing Rear Addition

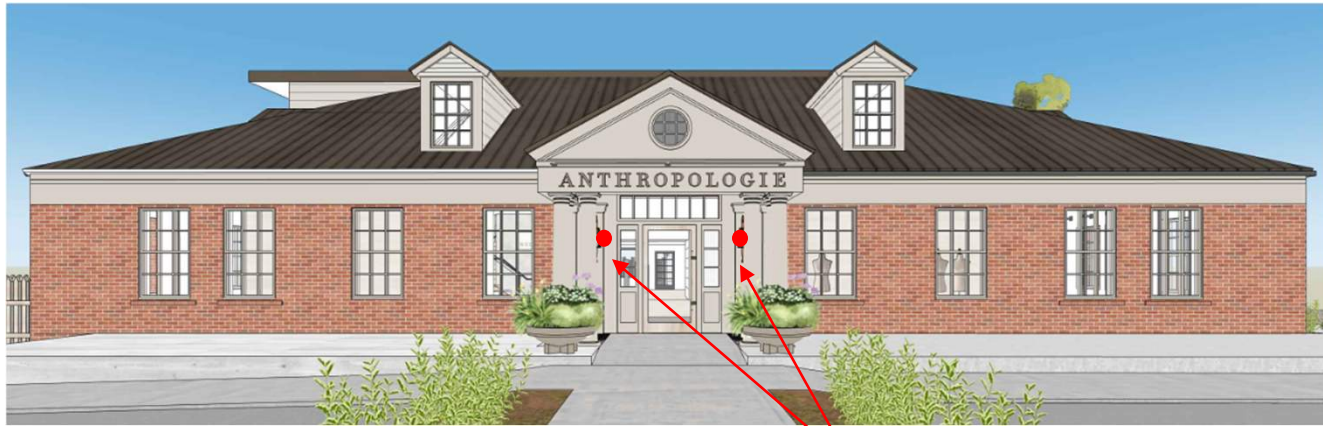
- Existing/new siding to be painted. (Benjamin Moore 1603 Graphite).
- Existing fascia, soffits, structure for flat roof to be painted. (Benjamin Moore 1603 Graphite).
- Existing stairs, railings, and guards to be painted. (Benjamin Moore 1603 Graphite).
- New storefront assembly finish to be black.



NORTH ELEVATION



SOUTH ELEVATION



PROPOSED ELEVATION

ENTRY LIGHTS

BUILDING 1 WEST FAÇADE LIGHTING

ENTRY DOOR LIGHTING



EXISTING LIGHT



PROPOSED LIGHT - SHADES OF LIGHT; WALL LANTERN
BRONZE FINISH



BUILDING 1 SOUTH FAÇADE LIGHTING

EXIT / STAIR / EMERGENCY
LIGHTING

ABOVE DOOR
DECK / EXIT LIGHT

STAIR / EXIT LIGHT

PROPOSED ELEVATION



EXISTING LIGHT



PROPOSED LIGHT – BARRON; WALL PACK DOWNLIGHT
BLACK OR BRONZE FINISH

BUILDING 1 EAST FAÇADE LIGHTING

LIGHTING ABOVE REAR DOOR



PROPOSED ELEVATION

REAR DOOR LIGHT



EXISTING LIGHT



PROPOSED LIGHT – HI-LITE; WALL SCONCE WITH ARM
GALVANIZED FINISH



BUILDING 1 EAST FAÇADE LIGHTING

EXIT / STAIR / EMERGENCY
LIGHTING

STAIR / EXIT LIGHT

PROPOSED ELEVATION



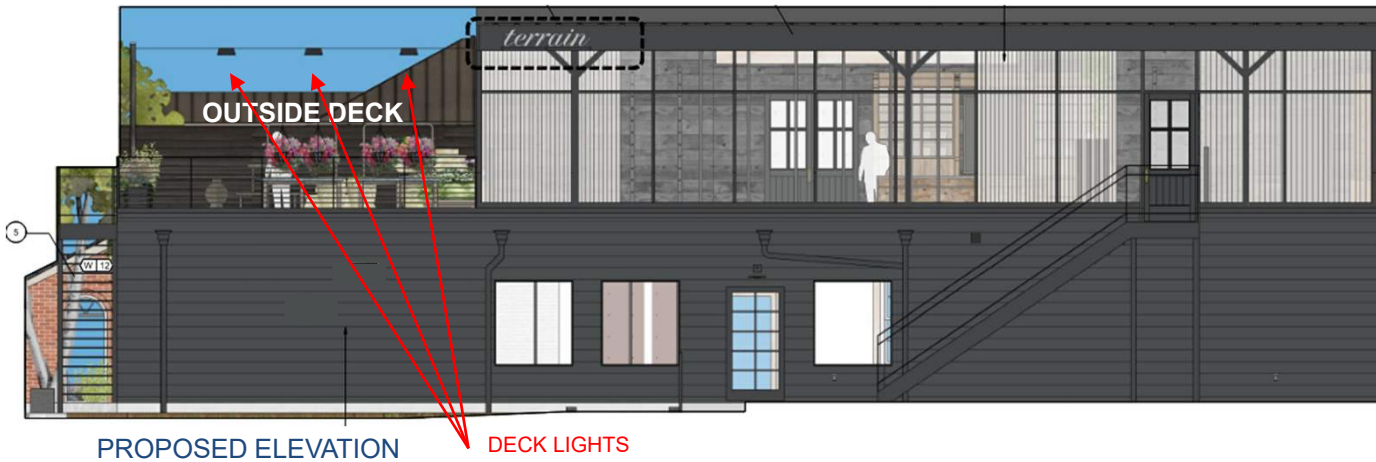
EXISTING LIGHT



PROPOSED LIGHT – BARRON; WALL PACK DOWNLIGHT
BLACK OR BRONZE FINISH

BUILDING 1 EAST FAÇADE LIGHTING

LIGHTING FOR SECOND LEVEL
OUTSIDE DECK



BUILDING 1 NORTH FAÇADE LIGHTING

EXIT / STAIR / EMERGENCY
LIGHTING



PROPOSED ELEVATION

EXIT LIGHT ABOVE
DOOR



EXISTING LIGHT



PROPOSED LIGHT – BARRON; WALL PACK DOWNLIGHT
BLACK OR BRONZE FINISH



PROPOSED SIGN

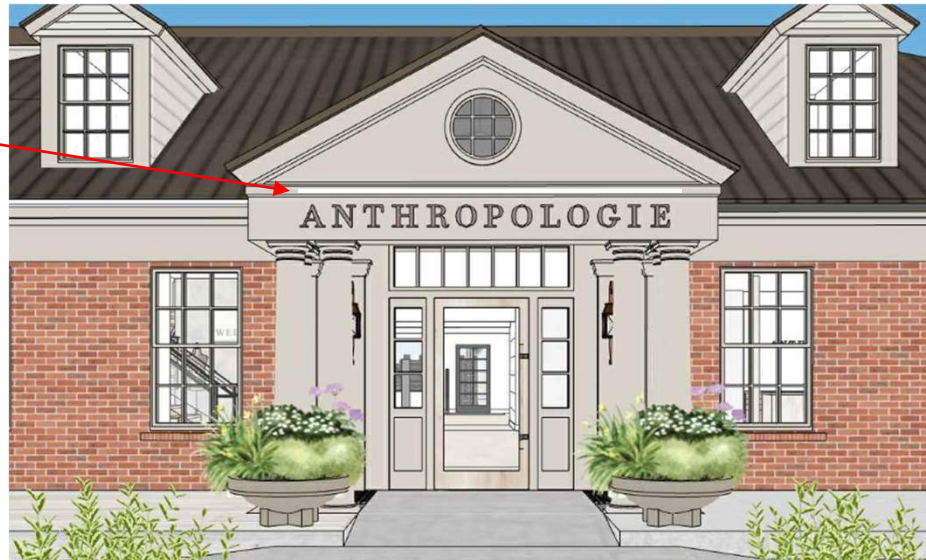
BUILDING 1 WEST FAÇADE SIGN / SIGN LIGHTING

- Sign above store entrance.
- Pin Mounted 'ANTHROPOLOGIE' sign (approximately 8 sq. ft.).
- West facade linear footage – 80 ft.

SIGN LIGHT
SURFACE MOUNTED
ALUMINUM CHANNEL
WITH LED TAPELIGHT
AND LENS



PROPOSED SIGN LIGHT
CORE LIGHTING
LED ALUMINUM CHANNEL LIGHT



PROPOSED SIGN

Franklin Historic District Design Guidelines

BAND SIGN:

Sign Area: Maximum of 1 square foot per linear foot of width of building facade or retail storefront/tenant space

Franklin Zoning Ordinance

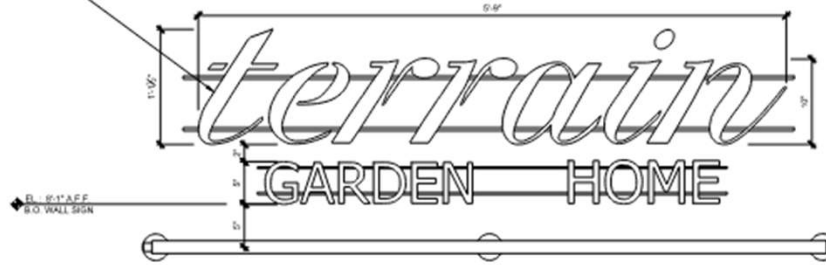
BAND SIGN:

Sign Area: Maximum of 1.5 square feet per linear foot of retail storefront/tenant space facade



EXISTING LINEAR LIGHTS ON BUILDING 11
DIRECTLY BEHIND BUILDING 1

1/2" THICK GALVANIZED FINISH
LETTERS



PROPOSED SIGN

BUILDING 1 SOUTH FAÇADE SIGN / SIGN LIGHTING

- 'TERRAIN GARDEN HOME' wall sign adjacent to the stair entrance to the Terrain store on the second level. (approximately 9 sq. ft.).
- South facade linear footage – 82 ft.

SIGN LIGHT
LINEAR ARM MOUNT LIGHT



PROPOSED SIGN LIGHT
BARTCO LINEAR ARM MOUNT LUMINAIRE
BRONZE OR BLACK FINISH



PROPOSED SIGN

Franklin Historic District Design Guidelines

WALL SIGN:

Sign Area: 9 square feet and proportionate to the building facade and other signage.

Franklin Zoning Ordinance

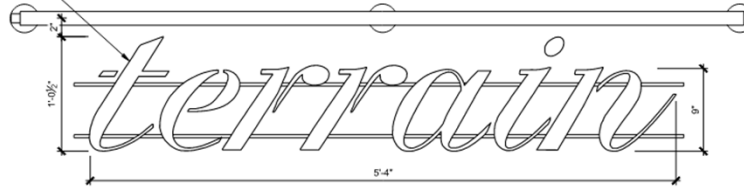
WALL SIGN:

Sign Area: Maximum of one square foot per linear foot of building facade

1/2" THICK GALVANIZED FINISH
LETTERS



EXISTING LINEAR LIGHTS ON BUILDING 11
DIRECTLY BEHIND BUILDING 1



PROPOSED SIGN

BUILDING 1 EAST FAÇADE SIGN / SIGN LIGHTING

- 'TERRAIN' wall sign above second level storefront assembly (approximately 6 sq. ft.).
- East facade linear footage – 80 ft.

SIGN LIGHT
LINEAR ARM MOUNT LIGHT



PROPOSED SIGN LIGHT
BARTCO LINEAR ARM MOUNT LUMINAIRE
BRONZE OR BLACK FINISH

Franklin Historic District Design Guidelines

WALL SIGN:

Sign Area: 9 square feet and proportionate to the building facade and other signage.

Franklin Zoning Ordinance

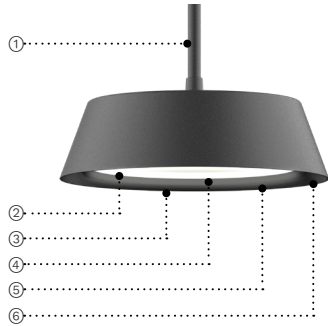
WALL SIGN:

Sign Area: Maximum of one square foot per linear foot of building facade

PROPOSED SIGN

PROJECT NAME: _____ QUANTITY: _____ TYPE: _____

ORDERING CODE: _____



- ① Field adjustable suspension stem or silver braided power cable with aircraft safety cable. Also, offered with a catenary suspension attachment.
- ② Comfort optic series.
- ③ Corrosion resistant diecast aluminum housing.
- ④ Indirect LED lighting on highly reflective dome for visual comfort.
- ⑤ Clear tempered glass.
- ⑥ All stainless steel hardware



CT101-STM



CT101-SPG



CT101-CAT3

MATERIALS

Clermont is made of aluminum diecast offering exceptional precision and durability. The main housing is sealed with durable gasket. LED boards are hidden between coated polymer that diffuses and reflects the light at 96%. It is UV stabilized and antistatic, which does not attract dust. The driver is preinstalled inside the main housing, sealed with gasket, and secured with four captive screws which makes it easy for maintenance.

ELECTRICAL DRIVER

Standard driver is 0-10V dimming-ready (dims to 10%) with: 120-277 multi-volt compatibility (50-60Hz), operating temperature range of -40°C to +55°C -40°F to +131°F, output over voltage protection, output over current protection and output short circuit protection with auto-recovery. Optional 347/480V available.

LED LIGHT ENGINE

Offered in 2700K, 3000K, 3500K & 4000K / 80CRI. 70% LED lumen maintenance at 60,000 hours (L70/B50) based on IESNA LM-80-08 LED extrapolated life, calculated per IESNA TM-21-21.

FINISH

Five-stage preparation process includes preheating of cast aluminum parts for air extraction. Polyester powder coating is applied through an electrostatic process, and oven cured for long term finish.

CERTIFICATION

UL Certified to Canadian and U.S. safety standards. Certified for use in wet locations. Rated IP65/IK9. Photometric testing performed by an independent laboratory in accordance with IES LM-79-08 standards at 25°C. Actual performance may differ as a result of end-user environment and application.

WARRANTY

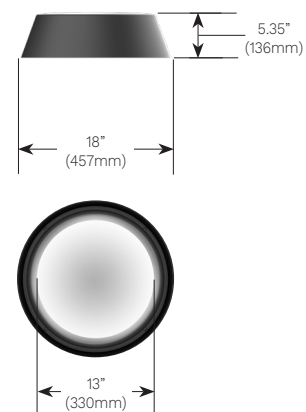
5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: <https://www.acuitybrands.com/support/warranty/terms-and-conditions>

MOUNTING


The mounting plate is designed to fit on a 4" (102mm) octagonal electrical box using 3.5" (89mm) C/C mounting holes. For STM, fixture must be installed on a finished ceiling for exterior applications and/or when exposed to inclement weather. For CAT3: see option details.

MEASUREMENTS

Maximum weight: 27 lbs (12 kg)



ORDERING CODE

*SERIES	*LIGHT OUTPUT	*CCT ³	*VOLTAGE	*MOUNTING	SUSPENSION LENGTH
CT101 	<u>Static White</u>	27K 2700K	120 120V	CAT3 Catenary suspension attachment	12IN 12"
	L2L25 2639 lm / 25w	30K 3000K	277 277V		24IN 24"
	L2L35 3695 lm / 35w	35K 3500K	347 347V		36IN 36"
	L2L45 4360 lm / 45w	40K 4000K	480 480V	SPG Silver braided power cord with aircraft cable ⁴	48IN 48"
	L2L50 4996 lm / 55w	WDIM 2700K-4000K	MVOLT 120V-277V		60IN 60"
	L2L55 5604 lm / 65w	TUWH 2700K-5000K	HVOLT 347V-480V	STM Field-cutttable hang straight stem	
	<u>Warm Dimming</u>				
	L2LDW 5000 lm / 57w ¹				
	<u>Tunable White</u>				
	L2LWT 5000 lm / 57w ²				
Delivered lumens calculated at 4000K/80CRI for static white. Typical power consumption. Refer to LCF table for outputs at other CCTs. Delivered lumens calculated at 5000K/80CRI for warm dimming and tunable white.					Available up to 240" in 12" increments. Required field for SPG, STM.

MOUNTING ACCESSORY	CONTROLS	FUSE	SURGE PROTECTOR	EMERGENCY
STC Set of 3 stabilizer cables ⁵	NLTH nLight AIR 2.0 integrated in head ⁶ RD10 Remote driver ⁷	FS Fuse	SP Surge protector	EM7 7W integral emergency battery, 90 min ⁹ REM7 Remote emergency battery, 90 min, 7W ⁹

*FINISH	ENVIRONMENT
BKT Jet black	MG Marine grade paint ¹²
BZT Bronze	NT Natatorium suitable ¹³
CHT Champagne	
DGT Gun metal	
GRT Titanium gray	
MST Matte silver	
SGT Steel gray	
WHT Snow white	
CMC Custom matched color ¹⁰	
RAL RAL color ¹¹	

NOTES

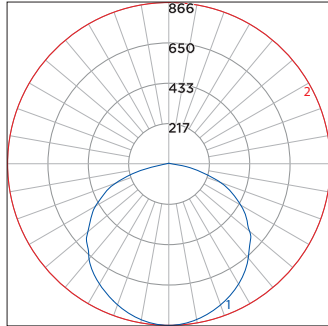
- *- Denotes a required field
- 1- Available only with WDIM. Not available with 347V, 480V, HVOLT or EM7.
- 2- Available only with TUWH. Not available with 347V, 480V, HVOLT or EM7.
- 3- For IDA certification compliance, luminaire must be ordered with 3000K or warmer.
- 4- For interior applications only.
- 5- Available only with STM.
- 6- Not available with 347V, 480V, HVOLT, REM7, EM7, WDIM, TUWH.
- 7- Remote mount 50ft - 12" (305mm) square enclosure with access cover. The remote enclosure must be interior. Cable between fixture and remote box is provided by others.
- 8- Integral to luminaire housing. Integral is not suitable for temperatures under 0°C (32°F). Not available with 347V, 480V, HVOLT or RD10.
- 9- Remote mount 50ft - 12" (305mm) square enclosure with access cover. Includes driver. The remote enclosure must be interior. Cable between fixture and remote box is provided by others. Not available with 347V, 480V, HVOLT or RD10.
- 10- Contact factory to coordinate custom matching color.
- 11- Specify RAL number.
- 12- Marine grade paint for harsh, coastal environment and exposure to salt water. Additional delay required.
- 13- Available only in WHT and BKT.

LUMINIS.COM

Toll free: (866) 586-4647 | Fax: (514) 683-8872 | Email: info@luminis.com
 260 Labrosse, Pointe-Claire (QC) Canada H9R 5L5

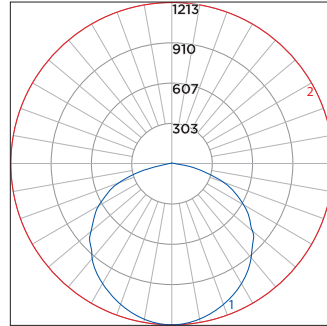
TYPICAL PHOTOMETRY SUMMARY

CT101-L2L25



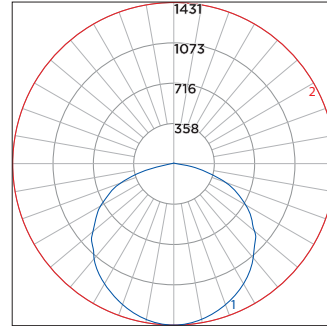
Total Lms: 2647 Lumens
Total Input Watts: 25 W
Efficacy: 106 Lumens/Watt
BUG: B1-U0-G0
CCT/CRI: 4000K/80
Maximum Candela: 866 @ 180°H/2°V

CT101-L2L35



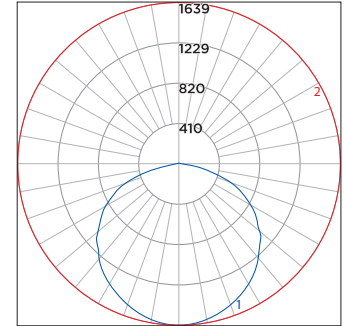
Total Lms: 3695 Lumens
Total Input Watts: 35 W
Efficacy: 106 Lumens/Watt
BUG: B1-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 1213 @ 180°H/2°V

CT101-L2L45



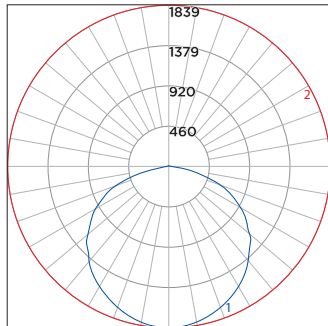
Total Lms: 4360 Lumens
Total Input Watts: 45 W
Efficacy: 97 Lumens/Watt
BUG: B2-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 1431 @ 180°H/2°V

CT101-L2L50



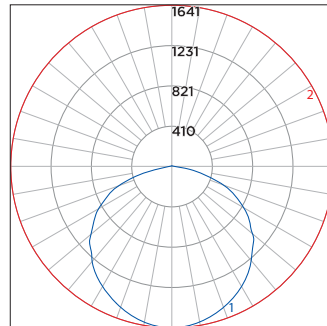
Total Lms: 5012 Lumens
Total Input Watts: 50 W
Efficacy: 91 Lumens/Watt
BUG: B2-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 1639 @ 180°H/2°V

CT101-L2L55



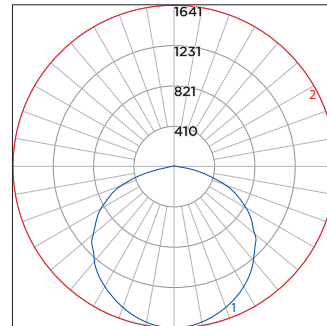
Total Lms: 5622 Lumens
Total Input Watts: 65 W
Efficacy: 86 Lumens/Watt
BUG: B2-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 1839 @ 180°H/2°V

CT101-L2LWT



Total Lms: 5016 Lumens
Total Input Watts: 57 W
Efficacy: 88 Lumens/Watt
BUG: B2-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 1641 @ 180°H/2°V

CT101-L2LDW



Total Lms: 5016 Lumens
Total Input Watts: 57 W
Efficacy: 88 Lumens/Watt
BUG: B2-U0-G1
CCT/CRI: 4000K/80
Maximum Candela: 1641 @ 180°H/2°V

LUMEN CONVERSION FACTOR (LCF)		
CCT	CRI	LCF
2700K	80	0.91
3000K	80	0.94
3500K	80	0.98
4000K	80	1.00

TUNABLE WHITE

User can modify the correlated color temperature (CCT) and intensity of the source using two slider controls or an intelligent lighting management system.

0-10V Input 1 CCT control: 2700K to 5000K
 0-10V Input 2 Intensity control: 1% to 100%

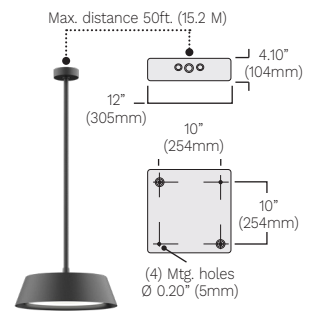
WARM DIMMING

Warm dimming (0-10V) lowers the LED temperature (CCT) as it is dimmed. The lower the brightness, the warmer the CCT.

0-10V Input 1 CCT & Intensity control: 2700K to 4000K

All Photometry shown use the 80CRI 4000K LEDs.
 Please visit our web site www.luminis.com for complete I.E.S. file.

OPTION DETAILS



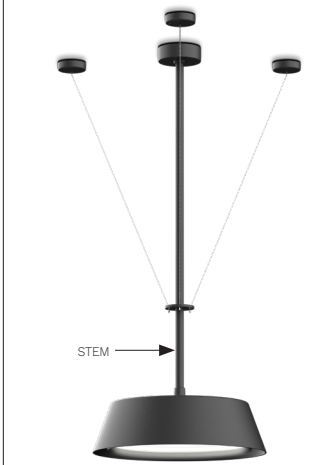
REM7
 Remote mount 120/277V emergency battery pack (1110 lm/90 min). Test switch provided within enclosure with 5" (127mm) leads. Applicable for all mount options. Includes driver.



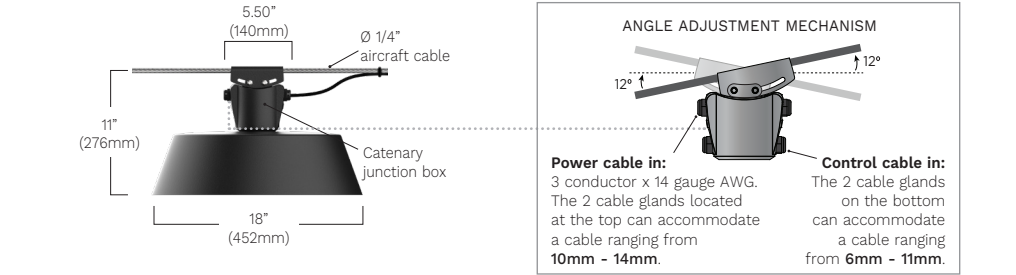
STM
 Heavy duty 45° hang straight swivel, with Ø 4.50" (114mm) canopy and universal mounting plate. Ø 7/8" (22mm) suspension stem with aircraft safety cable.



SPG
 Silver braided power cord with onsite adjustable aircraft safety cable, consisting of 3 long cables joined Ø 4.50" (114mm) canopy.



STC
 Set of three stabilizer cables. For stem mount only.



CAT3
 Cast aluminum catenary junction box with 4 sealed connectors by Luminis and pre-inserted into housing. Ready to accept 1/4" or 1/2" stainless steel suspension cable. Weight: 29.5 lbs (13.4 kg) / EPA: 0.19 ft² (Structural design, power cable, control cable, stainless steel catenary cable, cable fittings, and fittings for mounting to support structure provided by others.)

ANGLE ADJUSTMENT MECHANISM

Power cable in: 3 conductor x 14 gauge AWG. The 2 cable glands located at the top can accommodate a cable ranging from 10mm - 14mm.

Control cable in: The 2 cable glands on the bottom can accommodate a cable ranging from 6mm - 11mm.



NLTH 
 nLight AIR Control gen2 and black antenna. Available with SPG, STM or CAT3

BSW501 | FATHOM

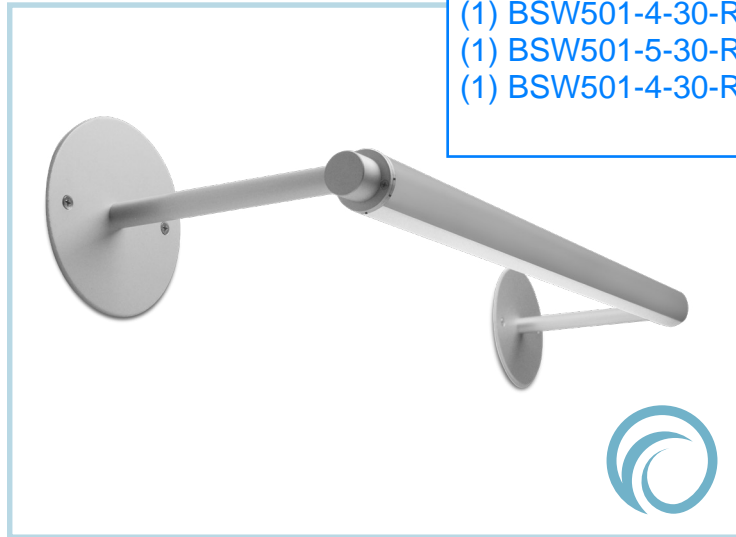
Ø1-3/8" arm mount LED luminaire for outdoor locations, remote driver

RECLECTIC SIGNAGE LIGHT



Project: _____

- 162" OAL**
 (1) BSW501-4-30-RN-R-L-12-WBR-ST-AW
 (1) BSW501-5-30-RN-R-L-12-WBR-AD-AW
 (1) BSW501-4-30-RN-R-L-12-WBR-TR-AW



arm mounted LED luminaire, ideally suited for signage lighting. The Ø1-3/8" extruded aluminum arms for flexible aiming. Each luminaire includes a remote driver, wet location 0-10V dimming or non-dimming driver and housing.

SPECIFICATIONS

Fixture housing constructed of an extruded aluminum tube, frosted acrylic extruded lens and sheet aluminum end caps.

Fixture arms are constructed of zinc plated steel pipe Ø5/8" extruded aluminum sleeves and machined aluminum end cap couplers.

Mounting plate options include a Ø4-3/4" aluminum plate for mounting to 4" round outdoor boxes or Ø1-3/8" aluminum plate for mounting to panel materials with rear access.

Standard finishes as shown below.

Single and continuous run fixtures available with arm center distances of 2'-5' nominal.

Arms allow fixture to project from a wall or roofline nominally 3", 6" or 12".

Fixture housing rotates 332° and is locked in place with hex fastener.

Extruded acrylic lens options available for Lambertian or asymmetric light distributions.

Fixture wired with 10' low voltage leads (measured from the end cap).

Included remote 120-277V wet location driver offered with 0-10V dimming or non-dim and surface mount aluminum enclosure.

Standard outputs are 505 lumens per foot for the Lambertian and 595 lumens per foot for the asymmetric optic option.

LEDs available in 2700K, 3000K, 3500K and 4000K, within a 3 step MacAdam ellipse, all with 90+ CRI typical

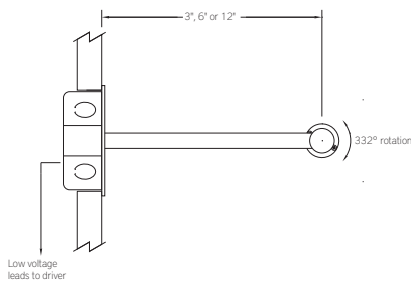
Life: 50,000 hours L₇₀.

Limited five year warranty.

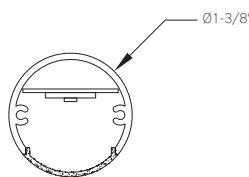
UL and C-UL listed for wet locations.



PROFILE



SECTION



PERFORMANCE

Note: All data reflects fixtures with 3500K LEDs.

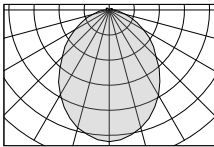
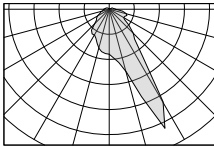
NOMINAL LENGTH	OPTIC OPTION	OUTPUT	LUMENS/ft.	WATTS/ft.	LUMINAIRE LUMENS	EFFICACY (LPW)
4'	Lambertian	R: regular	505	5.4	2148	106
	Asymmetric		595	5.3	2347	112

BSW501 -

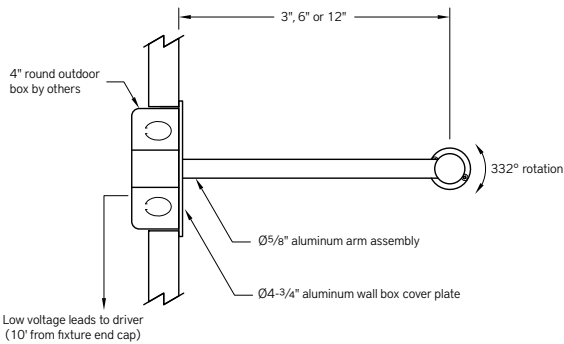
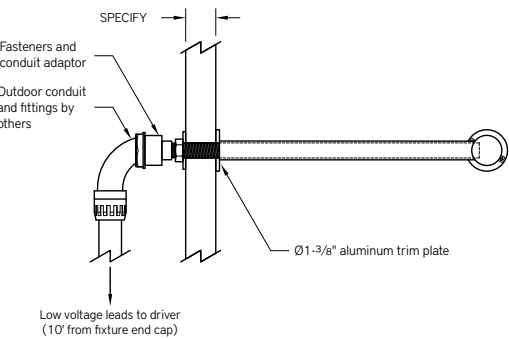
ARM CENTER DISTANCE 2: 26" 3: 38" 4: 50" 5: 62"	CORRELATED COLOR TEMPERATURE 27: 2700K-90+ CRI 30: 3000K-90+ CRI 35: 3500K-90+ CRI 40: 4000K-90+ CRI	DRIVER [remote] RN: non-dimming RD: 0-10V dimming, 5%	OPTIC L: Lambertian distribution A: asymmetric distribution	NOMINAL ARM LENGTH 3: 3" 6: 6" 12: 12" CF: consult factory for custom arm length	MOUNTING PLATE OPTION WBR: wall box plate TP: trim plate	FINISH AW: architectural white (semi-matte) WH: white (semi-gloss) BL: black (semi-matte) MB: matte black ESS: environmental satin silver BZ: bronze PR: primer CF: consult factory for custom finish
LIGHT OUTPUT (lumens per foot w/optic option A) R: regular - 595			RUN CONFIGURATION SN: single ST: starter AD: adder TR: terminator			

Note: Each fixture includes a remote driver matched for fixture length and light output.

OPTIC OPTION

	ORDERING CODE	DESCRIPTION
	L	Lambertian light distribution
	A	Asymmetric light distribution

MOUNTING PLATE OPTION

	ORDERING CODE	DESCRIPTION	SPECIFICATIONS
	WBR	WALL BOX MOUNTING PLATE	<ul style="list-style-type: none"> Plate is Ø4-3/4" x 1/8" sheet aluminum in matching finish for mounting to 4" round outdoor junction box (by others). Includes 10' low voltage leads (measured from end cap) and flat head Phillips machine screws.
	TP	TRIM PLATE	<ul style="list-style-type: none"> Plate is Ø1-3/8" x 1/8" sheet aluminum in matching finish for mounting to a material with access to the back side. Includes 10' low voltage leads (measured from end cap), flat washer, hex nut and conduit adaptor. Accommodates mounting material thickness up to 3/4" (consult factory for special mounting conditions).

EPA CALCULATIONS

EFFECTIVE PROJECTED AREA	LENGTH ORDER CODE	EPA
	2	0.27 ft ²
	3	0.38 ft ²
	4	0.51 ft ²
	5	0.62 ft ²

ARM CENTER DISTANCE

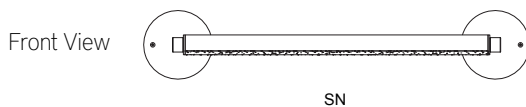
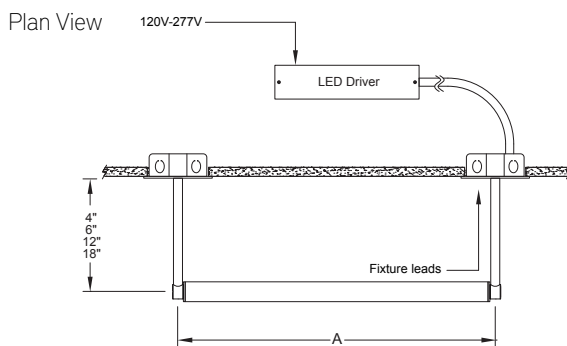
ORDERING CODE	LENGTH A
2	26"
3	38"
4	50"
5	62"

RUN CONFIGURATION INFORMATION

ORDERING CODE	DESCRIPTION
SN	Single
ST	Starter
AD	Adder
TR	Terminator

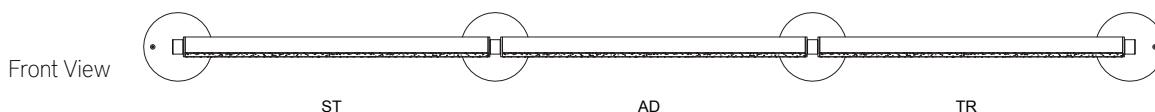
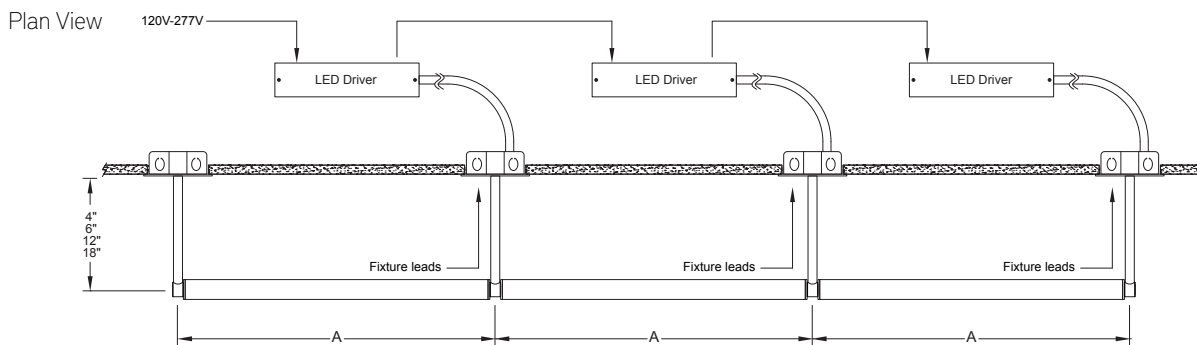
RUN INFORMATION

Single Fixtures



LED sign lighter, nominal 1-1/2" diameter x nominal 162" overall length, composed of (3) sections - (2 @ 50" and 1 @ 62"). Fixture is made of extruded aluminum housing, (3) 12"L mounting arms with wall bracket mounting plates, one located at each end and one between fixture sections, 330 degree locking rotation, wide flood beam spread, remote driver, UL wet location label.

Continuous Runs



LFO-50

SYMMETRIC/ ASYMMETRIC FLEXIBLE WALL WASHER LED STRIP

Project _____
Location _____
Quote/ Ref # _____

LFO-50 Series is a surface mounted, architectural-grade flexible LED luminaire system designed for wall washing, grazing, cove and other accent applications. It can easily be mounted to nearly any surface, with customizable lengths in 6 inch increments. It is silicone encapsulated for durability & reliability making it suitable for indoor and outdoor applications.



SPECIFICATIONS

INPUT VOLTAGE	24V DC
POWER CONSUMPTION	6W per Ft.
LUMEN OUTPUT	622 Lm (Symmetric) 513 Lm (Asymmetric)
NO. OF LEDs	14 LEDs per Ft. (Symmetric) 10 LEDs per Ft. (Asymmetric)
BEAM ANGLE	20°/ 30°/ 50°/ 25°x40°(Symmetric) 110°x70° (Asymmetric)
CRI	90+
COLOR TEMPERATURE	27K/ 30K/ 35K/ 40K/ 50K
DIMMING	MLV, ELV, 0-10 and TRIAC
MAXIMUM RUN LENGTH	16 Ft.
FIELD CUTTABLE	Every 6.56 in (166.6mm)
IP RATING	IP67 Wet Location (Outdoor)
LUMEN MAINTENANCE	50,000 Hrs.
CERTIFICATIONS	UL Listed, TITLE 24 JA8, ETL, RoHS
OPERATING TEMPERATURE	-40°F (-40°C) to +113°F (+45°C)

FEATURES

- 6W per Ft
- 100 Lumens per Watt
- Maximum Run Length 16Ft.
- 90+ CRI
- High efficacy level
- Multiple CCT Options available
- Superior COLOR RENDERING INDEX (CRI)
- Dimmable with CORE Lighting dimmable drivers
- California TITLE 24 JA8 Compliant
- UL Listed (US and Canada)

**Field Cuttable only indoors*



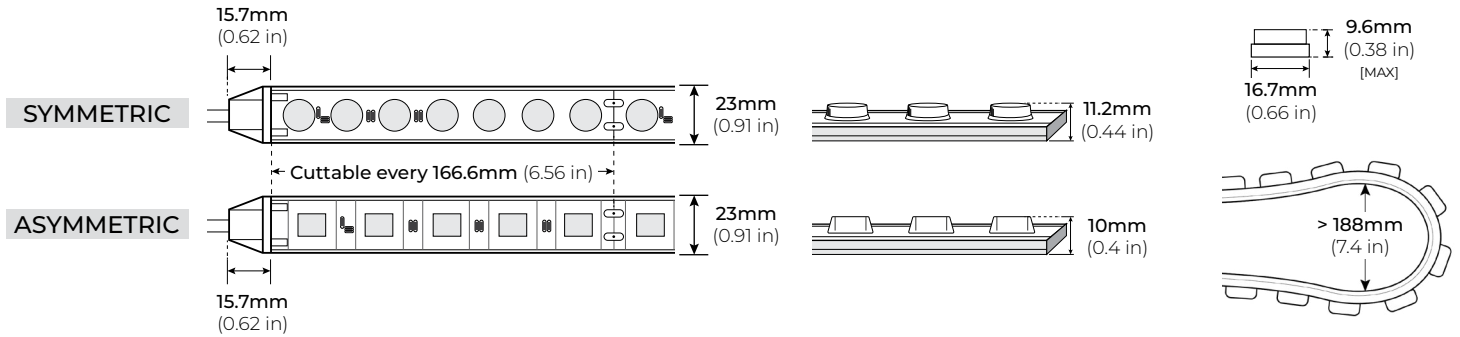
MODEL	COLOR TEMP	OPTIC	LENGTH	VOLTAGE	POWER FEED	FEED LENGTH
LFO-50	27K 2700K	20 20°	10 10 Ft.	24 24V DC	IP67EF End Feed	HW3 3 Ft. Power Feed
	30K 3000K	30 30°	1XX per Ft.		IP67SFL Side Feed Left	HW10 10 Ft. Power Feed
	35K 3500K	50 50°			IP67SFR Side Feed Right	HW15 15 Ft. Power Feed
	40K 4000K	2540 25° x 40°				HW25 25 Ft. Power Feed
	50K 5000K	11070 110° x 70° (Asymmetric)				

*1 = Custom length per FT. (cuttable every 6.56")

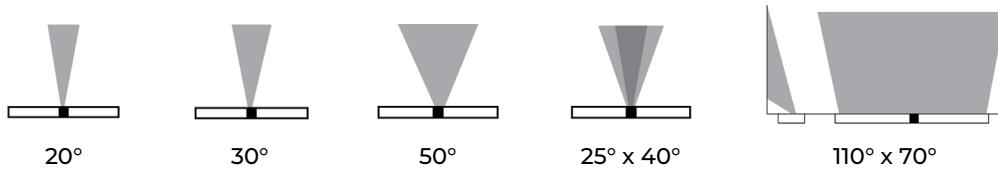
LFO-50

SYMMETRIC/ ASYMMETRIC FLEXIBLE WALL WASHER LED STRIP

DIMENSIONS

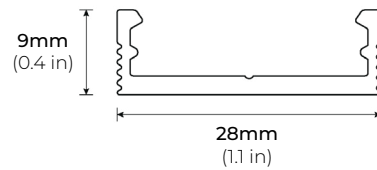


OPTICS

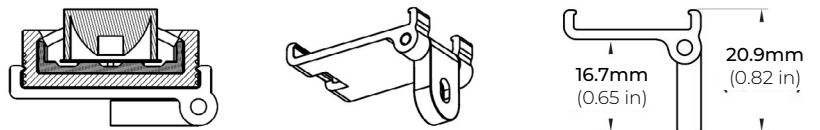


ACCESSORIES

LFO-AC48
LFO-AC96
ALUMINUM PROFILE



LFO-ASB
ADJUSTABLE BRACKET

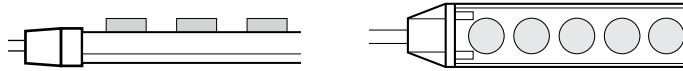


LFO-50

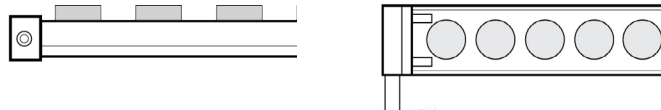
SYMMETRIC/ ASYMMETRIC FLEXIBLE WALL WASHER LED STRIP

IP67 POWER FEED

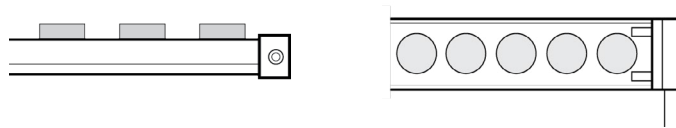
IP67EF
END FEED



IP67SFL
SIDE LEFT FEED



IP67SFR
SIDE RIGHT FEED



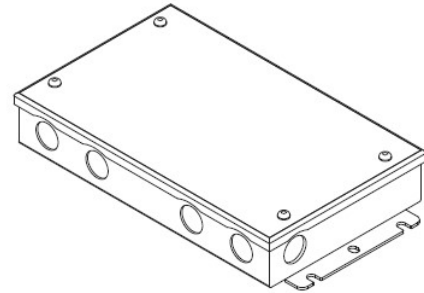
LFO-50

SYMMETRIC/ASYMMETRIC FLEXIBLE WALL WASHER LED STRIP

COMPATIBLE TRANSFORMERS

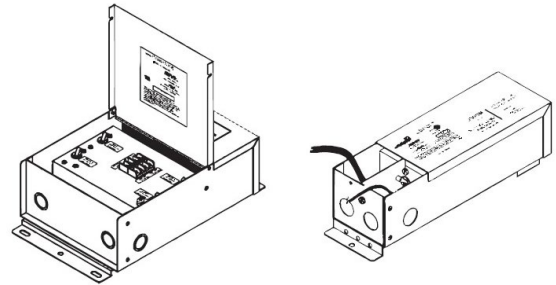
PSDL SERIES TRIAC DIMMABLE

PSDL-30W-24V	CLASS 2	6.5" X 3.63" X 1.03"
PSDL-60W-24V	CLASS 2	7.4" X 3.63" X 1.03"
PSDL-96W-24V	CLASS 2	8.67" X 3.67 X 1.62"
PSDL-150W-24V		8.67" X 3.67" X 1.62"
PSDL-192W-24V	CLASS 2	10.25" X 4.06" X 1.82"
PSDL-200W-24V		10.25" X 4.06" X 1.82"
PSDL-288W-24V	CLASS 2	10.25" X 4.06" X 1.82"
PSDL-300W-24V		10.25" X 4.06" X 1.82"



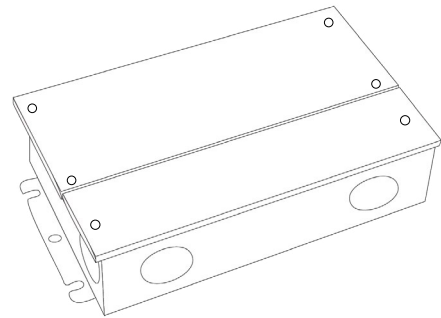
PSDH SERIES HIGH PERFORMANCE MAGNETIC LOW VOLTAGE (MLV)

PSDH-48W-24V	CLASS 2	11.25" X 3.37" X 3.25"
PSDH-96W-24V	CLASS 2	11.25" X 3.37" X 3.25"
PSDH-288W-24V	CLASS 2	14.25" X 8.43" X 4.43"



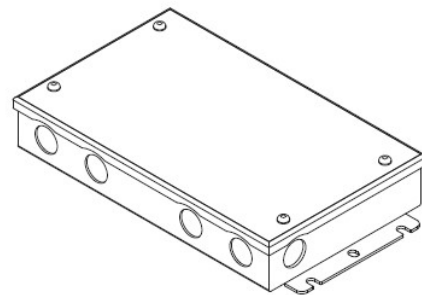
PSRX SERIES 4-IN-1 DIMMING DRIVER

PSRX-30W-24V	CLASS 2	6.5" X 3.72" X 1.57"
PSRX-60W-24V	CLASS 2	7.4" X 3.72" X 1.57"
PSRX-96W-24V	CLASS 2	8.66" X 3.72" X 1.57"
PSRX-150W-24V		10.24" X 4.13" X 1.77"
PSRX-192W-24V	CLASS 2	11" X 4" X 1.82"
PSRX-200W-24V		10.24" X 4.13" X 1.77"
PSRX-288W-24V	CLASS 2	11.85" X 4.25" X 1.82"
PSRX-300W-24V		10.94" X 4.33" X 1.77"



PSVT SERIES 0-10V DIMMING DRIVER

PSVT-60W-24V	CLASS 2	7.4" X 3.72" X 1.57"
PSVT-96W-24V	CLASS 2	8.66" X 3.72" X 1.57"
PSVT-200W-24V		10.24" X 4.13" X 1.77"
PSVT-288W-24V	CLASS 2	11.85" X 4.25" X 1.81"
PSVT-300W-24V		10.94" X 4.33" X 1.77"



LFO-50

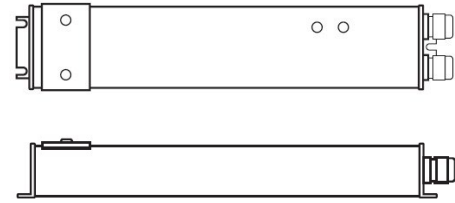
SYMMETRIC/ ASYMMETRIC FLEXIBLE WALL WASHER LED STRIP

COMPATIBLE TRANSFORMERS

PSDE SERIES

0-10V DIMMING W/ JUNCTION BOX

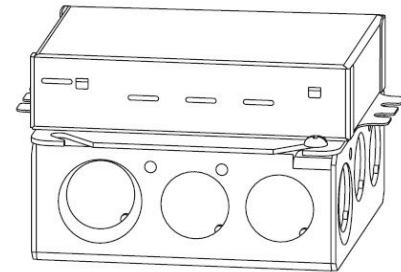
PSDE-60W-24V-010-JB CLASS 2 12.1" X 2.36" X 1.4"



LUTRON 1%

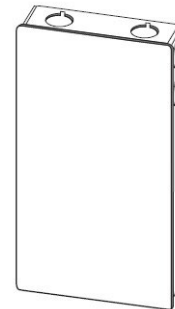
3-WIRE DIMMING

L3DA4U1UKL-CV240 CLASS 2 4.0" X 1.5" X 4.0"



LUTRON 1%

PSDE-96W-24V-ECO CLASS 2 10.5" X 3.0" X 2.0"

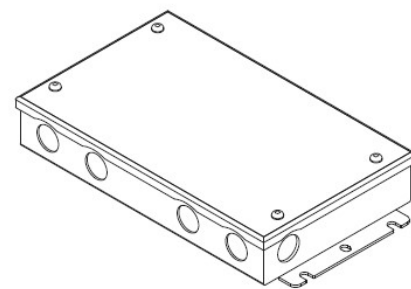


COMPATIBLE NON-DIMMING DRIVERS

PSHK SERIES

NON-DIMMING CONSTANT VOLTAGE WITH JUNCTION BOX

PSHK-30W-24V	CLASS 2	6.5" X 3.6" X 1.02"
PSHK-60W-24V	CLASS 2	7.4" X 3.62" X 1.02"
PSHK-96W-24V	CLASS 2	8.66" X 3.66" X 1.61"
PSHK-150W-24V		10.24" X 4.06" X 1.81"
PSHK-200W-24V		10.24" X 4.06" X 1.81"
PSHK-288W-24V	CLASS 2	11.85" X 4.25" X 1.82"
PSHK-300W-24V		10.24" X 4.25" X 1.81"



Finish	Interior of Shade Finish	Finish Rating
01-Polished Brass	Satin Brass	Dry Rated
14-Satin Steel/ Satin Copper	Satin Steel	Dry Rated
15-Burnt Copper	Burnt Copper	Wet Rated
16-Burnt Steel	Burnt Steel	Dry Rated
22-Weathered Brass	Weathered Brass	Wet Rated
24-Satin Copper	Satin Copper	Wet Rated
25-Satin Brass	Satin Brass	Wet Rated
26-Natural Brass W/Clear Coat	Natural Brass W/Clear Coat	Wet Rated
29-French Green	White	Wet Rated
33-Patina	Patina	Wet Rated
41-Polished Brass/Polished Copper	Satin Brass	Dry Rated
44-Polished Brass	Satin Brass	Damp Rated
48-Raw Copper	Raw Copper	Wet Rated
49-Weathered Copper	Weathered Copper	Wet Rated
55-Chrome	Satin Chrome	Dry Rated
66-Navajo White	Navajo White	Dry Rated
74-Rosewood/Raw Copper accent	Rosewood	Wet Rated
77-Rosewood	Rosewood	Wet Rated
82-Sierra Wash	White	Wet Rated
89-Aged Brass	Aged Brass	Wet Rated
91-Black	White	Wet Rated
92-Yellow	White	Wet Rated
93-White	White	Wet Rated
94-Cruiser Green	White	Wet Rated
95-Dark Green	White	Wet Rated
96-Galvanized	Galvanized	Wet Rated
98-Polished Aluminum	Brushed Aluminum	Damp Rated
100-Dark Brown	White	Wet Rated
101-Brushed Aluminum	Brushed Aluminum	Wet Rated
102-Raw Aluminum	Raw Aluminum	Wet Rated
112-Tuscany	White	Wet Rated
117-Gun Metal Grey	White	Wet Rated
118-Painted Aluminum	Painted Aluminum	Wet Rated
119-Bronze	White	Wet Rated
121-Café	Café	Wet Rated
122-Transparent Green	Transparent Green	Wet Rated
123-Transparent Blue	Transparent Blue	Wet Rated
124-Transparent Red	Transparent Red	Wet Rated
127-Vanilla Cream	Vanilla Cream	Wet Rated
128-Painted Gold	Painted Gold	Wet Rated
130-Painted Natural Copper	Painted Natural Copper	Wet Rated
133-BK01/Brushed Gold	White	Dry Rated
134-BK01/Brushed Silver	White	Dry Rated
135-BK01/Brushed Copper	White	Dry Rated
136-BK01/Brushed Gold	White	Dry Rated
139-Cranberry	White	Wet Rated
140-Mallard Green	White	Wet Rated
141-Orange	White	Wet Rated
145-Oil Rubbed Bronze	White	Wet Rated
146-Navy Blue	White	Wet Rated
147-BattleShip Gray	White	Wet Rated
148-Caribbean Blue	White	Wet Rated
151-Old Copper	Old Copper	Wet Rated
152-Old Nickel	Old Nickel	Wet Rated
153-Bright Yellow	White	Wet Rated
154-Bright Red	White	Wet Rated
155-Bright Blue	White	Wet Rated
156-Bright Orange	White	Wet Rated
157-White w/Black Trim line	White	Wet Rated
158-Black Polished Copper	Polished Copper	Wet Rated
159-Gold Foil(For use with Interior of shade only)	Gold Foil	Dry Rated
160-Polished Nickel	Satin Nickel	Dry Rated
161-Copper Foil(For use with Interior of shade only)	Copper Foil	Dry Rated
162-Silver Foil(For use with Interior of shade only)	Silver Foil	Dry Rated
165-Powder Coat Brass	Powder Coat Brass	Wet Rated
991-High Gloss Black	White	Wet Rated
BK01-Black Texture	White	Wet Rated
BR47-Rust	White	Wet Rated
GN20-Powder Coat Patina	White	Wet Rated
COP/BLK-Copper/Black	White	Dry Rated
GLD/BLK-Gold/Black	White	Dry Rated
SIL/BLK-Silver/Black	White	Dry Rated

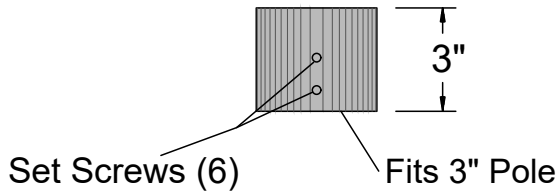


Post Mount Arms

For Incandescent, E26 Medium Base & GU24 Fixtures
 (Includes Post Fitter and Hardware)

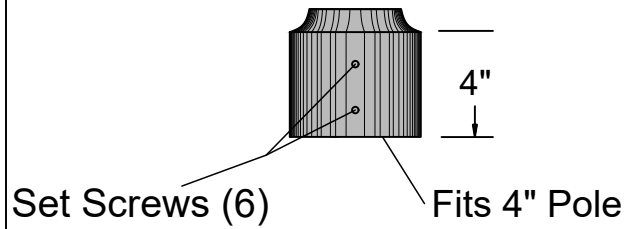
3" Post Fitter Info

Arms with a 3" post fitter will fit on top of a 3" diameter pole. If you want to mount to a 4" diameter pole, you are required to use our H-34RDR.



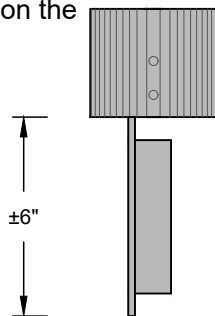
4" Post Fitter Info

Arms with a 4" post fitter will fit on top of a 4" diameter pole.



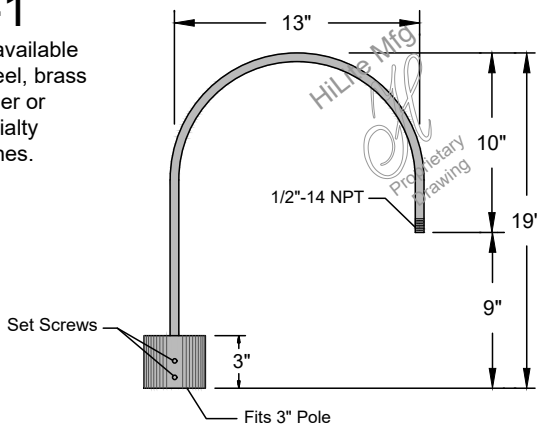
LED Post Fitter Info

Arms with a 3" or 4" diameter post fitters will have a 6"-8" for a single light or a 14"-18" for a double light driver coming out the bottom of the post fitter that will need to slide on the inside of a pole.



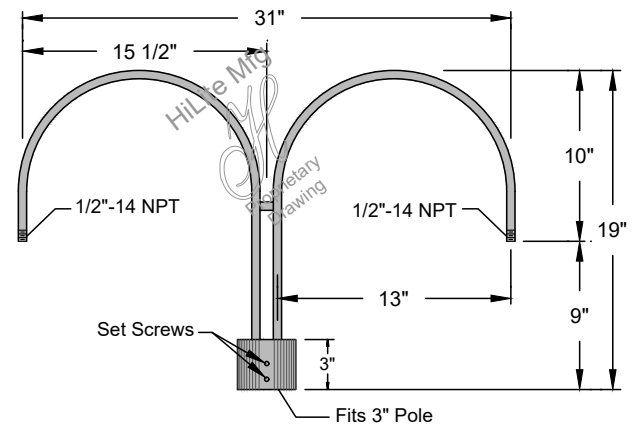
P-1

Not available in steel, brass, copper or specialty finishes.



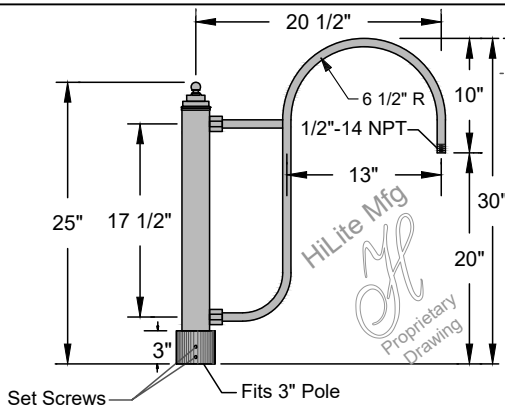
P-2

Not available in steel, brass, copper or specialty finishes.



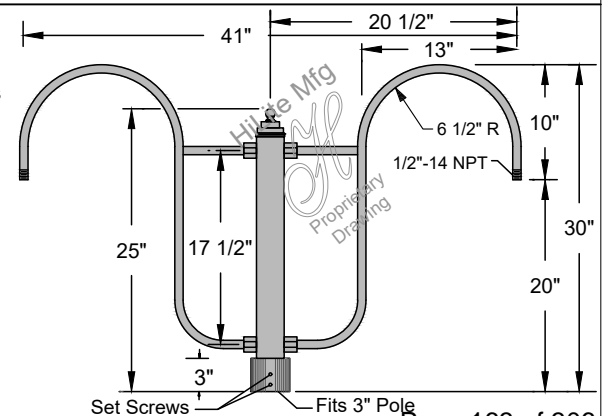
P-3

Not available in steel, brass, copper or specialty finishes.



P-4

Not available in steel, brass, copper or specialty finishes.



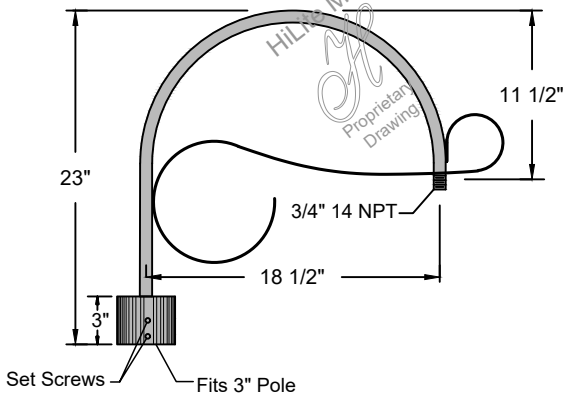


Post Mount Arms

For Incandescent, E26 Medium Base & GU24 Fixtures
 (Includes Post Fitter and Hardware)

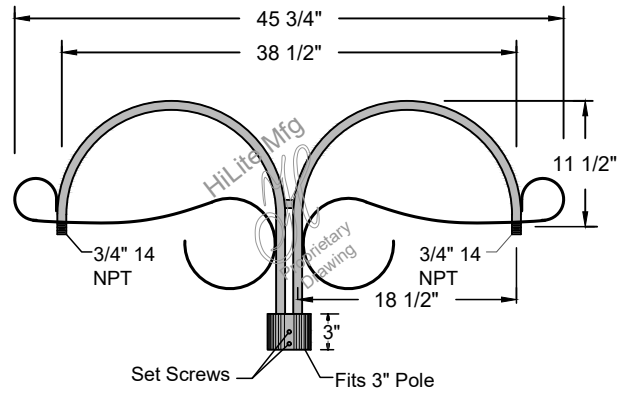
P-5

Not available in steel, brass, copper or specialty finishes.



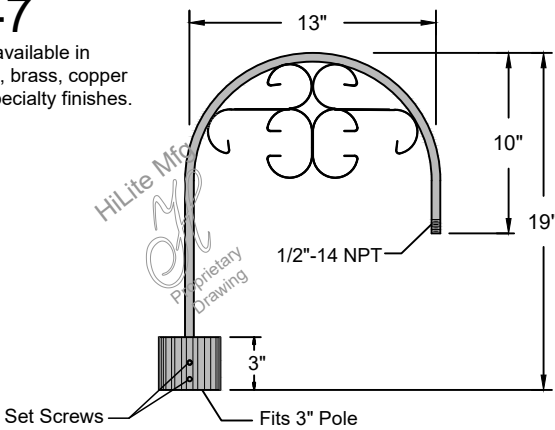
P-6

Not available in steel, brass, copper or specialty finishes.



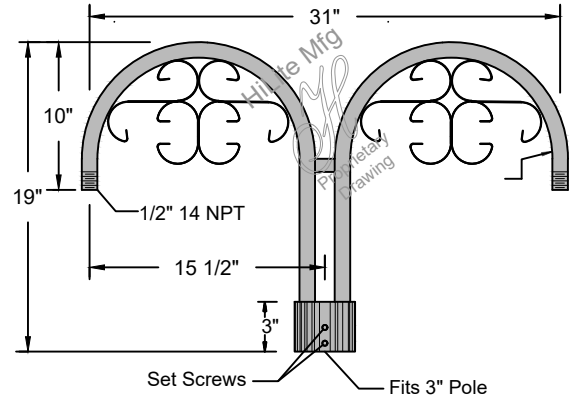
P-7

Not available in steel, brass, copper or specialty finishes.



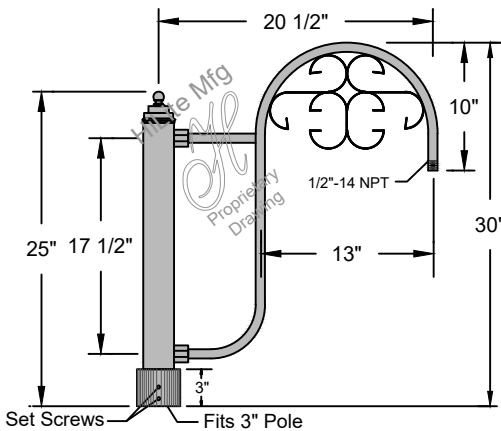
P-8

Not available in steel, brass, copper or specialty finishes.



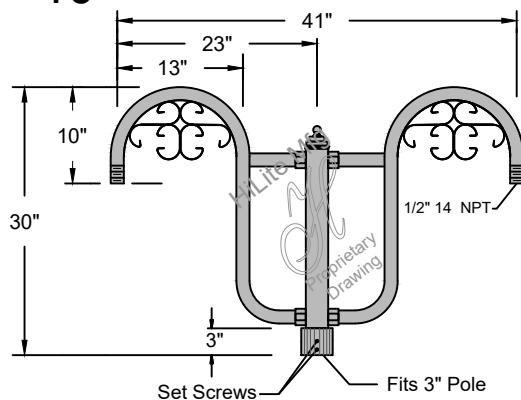
P-9

Not available in steel, brass, copper or specialty finishes.



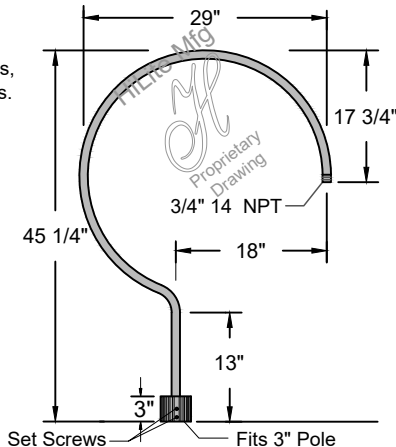
P-10

Not available in steel, brass, copper or specialty finishes.



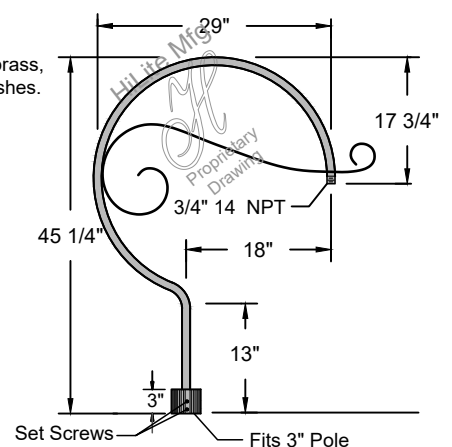
P-11

Not available in steel, brass, copper or specialty finishes.



P-12

Not available in steel, brass, copper or specialty finishes.



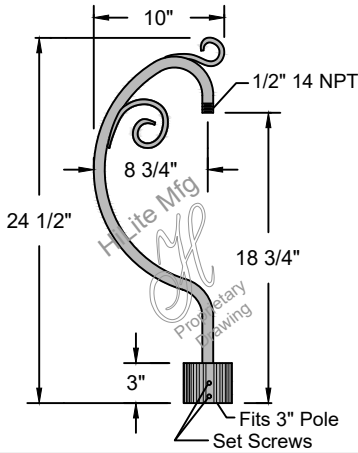


Post Mount Arms

For Incandescent, E26 Medium Base & GU24 Fixtures
 (Includes Post Fitter and Hardware)

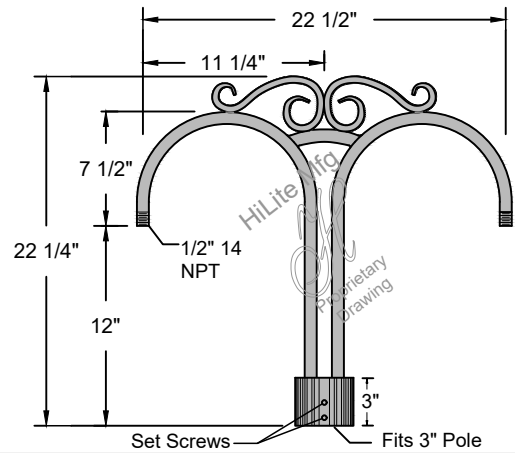
P-13

Not available in steel, brass, copper or specialty finishes.



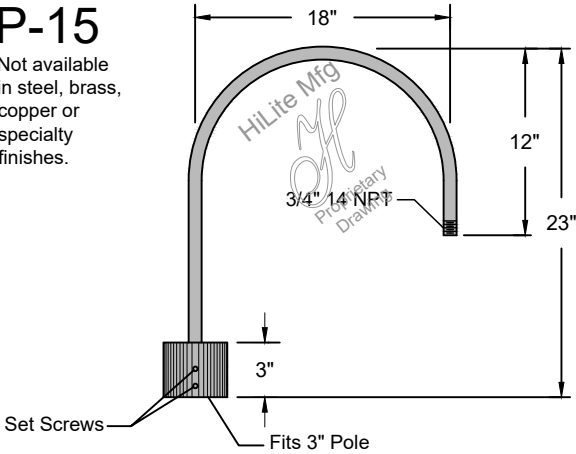
P-14

Not available in steel, brass, copper or specialty finishes.



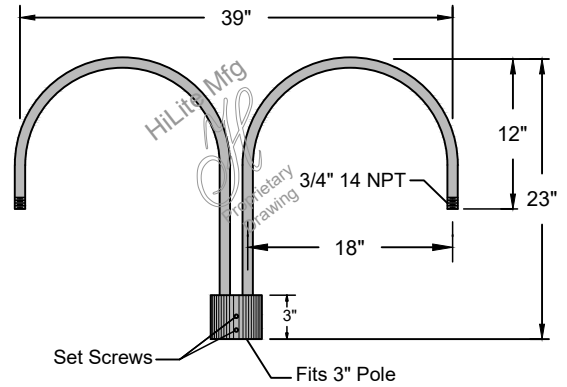
P-15

Not available in steel, brass, copper or specialty finishes.



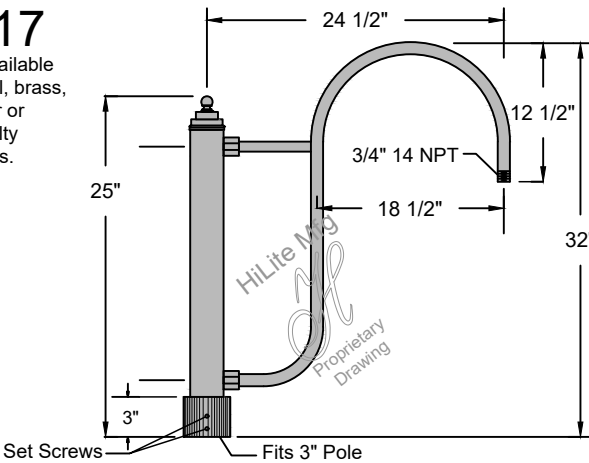
P-16

Not available in steel, brass, copper or specialty finishes.



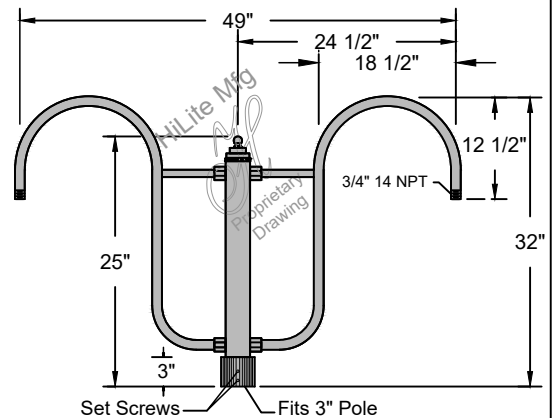
P-17

Not available in steel, brass, copper or specialty finishes.



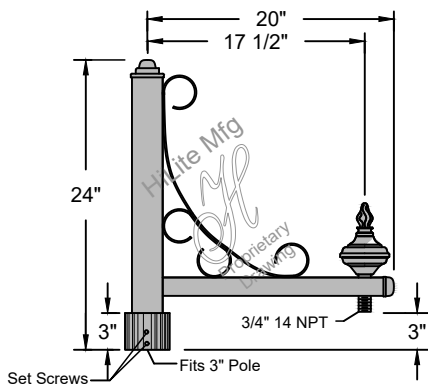
P-18

Not available in steel, brass, copper or specialty finishes.



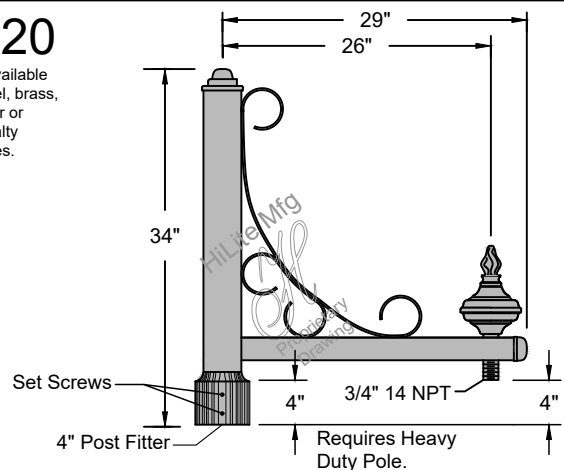
P-19

Not available in steel, brass, copper or specialty finishes.



P-20

Not available in steel, brass, copper or specialty finishes.



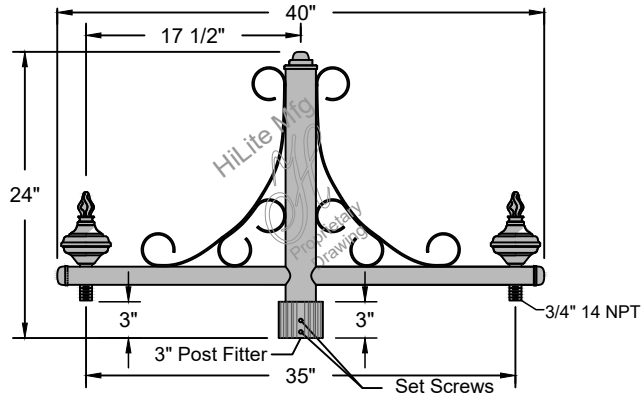


Post Mount Arms

For Incandescent, E26 Medium Base & GU24 Fixtures
 (Includes Post Fitter and Hardware)

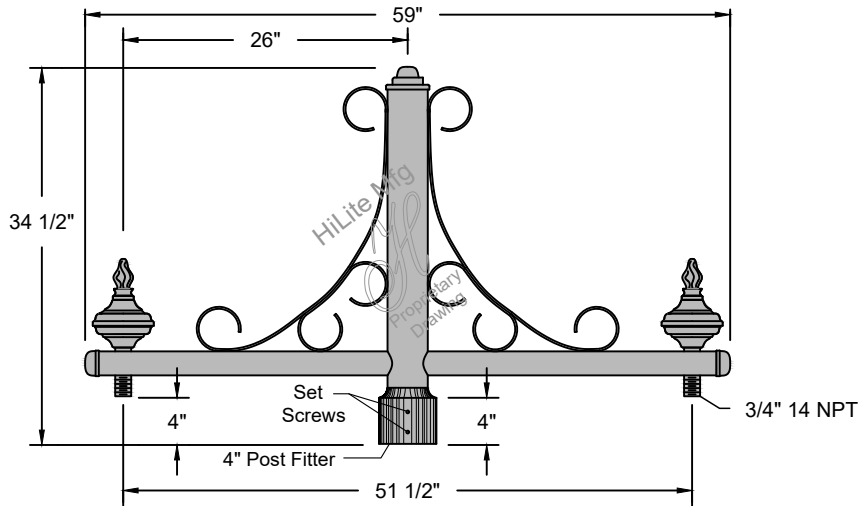
P-21

Not available in steel, brass, copper or specialty finishes.



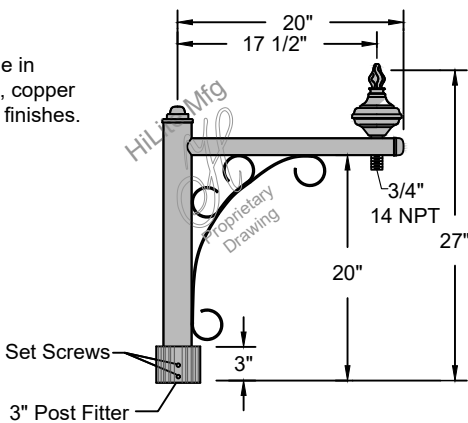
P-22

Requires Heavy Duty Pole.
 Not available in steel, brass, copper or specialty finishes.



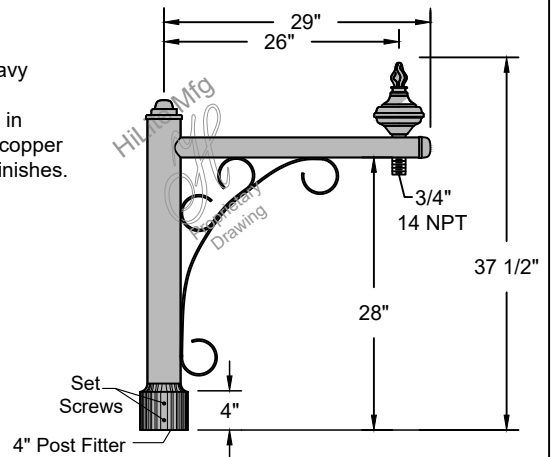
P-23

Not available in steel, brass, copper or specialty finishes.



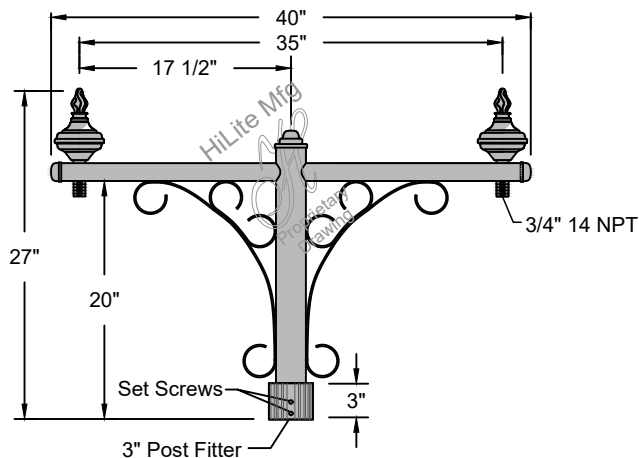
P-24

Requires Heavy Duty Pole.
 Not available in steel, brass, copper or specialty finishes.



P-25

Not available in steel, brass, copper or specialty finishes.



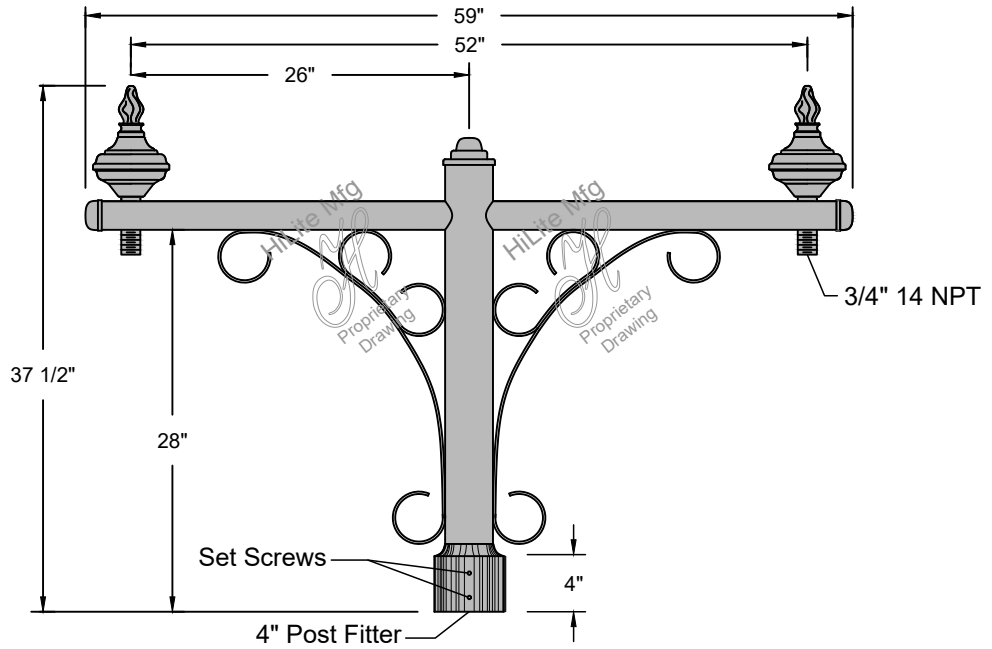


Post Mount Arms

For Incandescent, E26 Medium Base & GU24 Fixtures
 (Includes Post Fitter and Hardware)

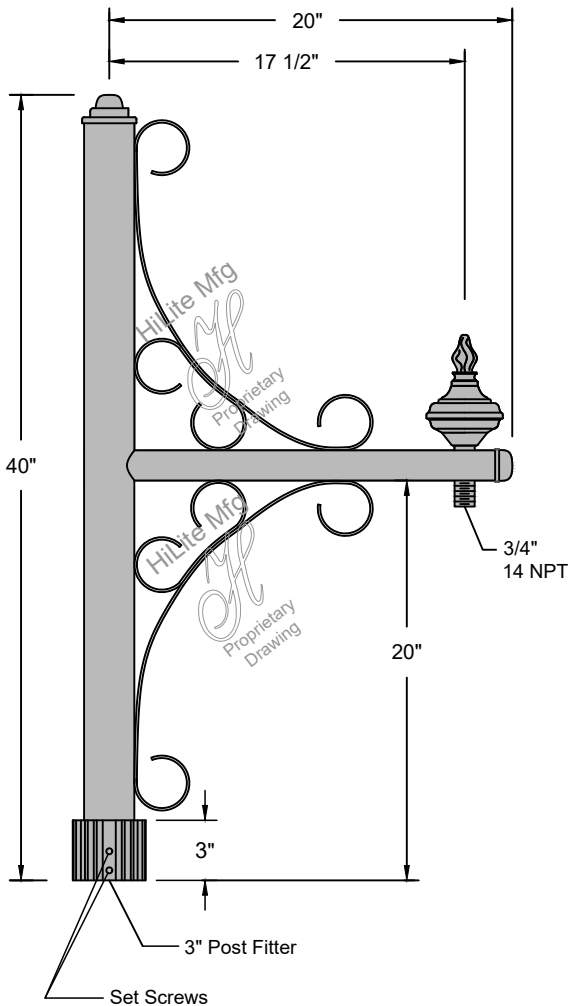
P-26

Requires Heavy Duty Pole.
 Not available in steel, brass, copper or specialty finishes.



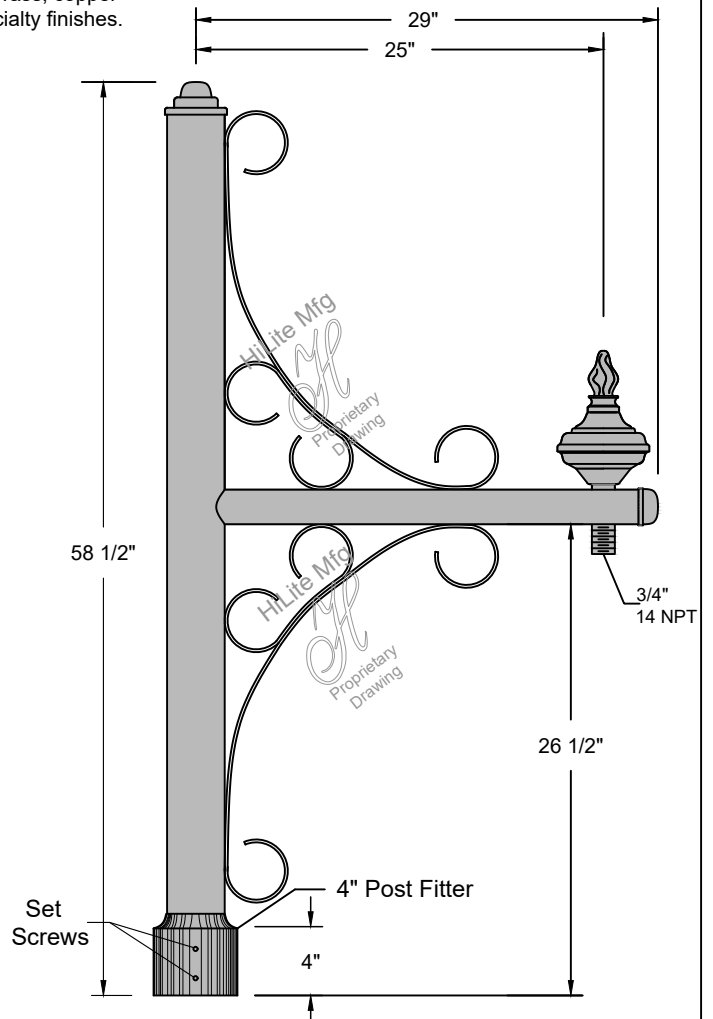
P-27

Not available in steel, brass, copper or specialty finishes.



P-28

Requires Heavy Duty Pole.
 Not available in steel, brass, copper or specialty finishes.



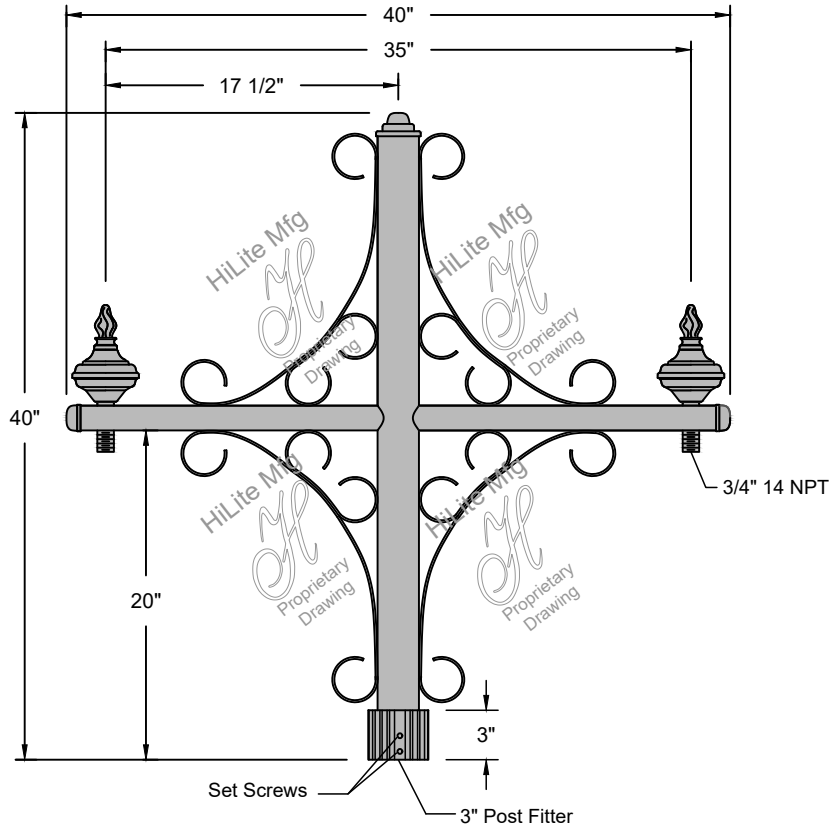


Post Mount Arms

For Incandescent, E26 Medium Base & GU24 Fixtures
 (Includes Post Fitter and Hardware)

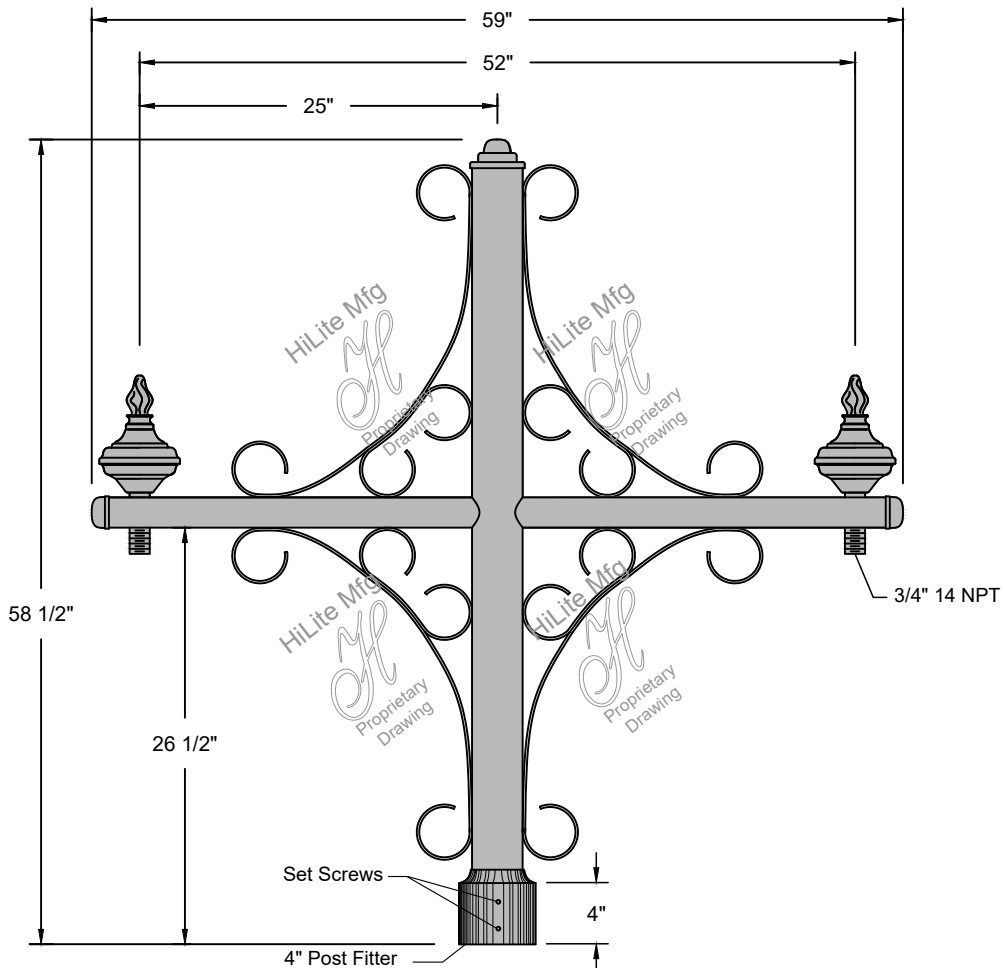
P-29

Not available in steel, brass or specialty finishes.



P-30

Requires Heavy Duty Pole.
 Not available in steel, brass or specialty finishes.



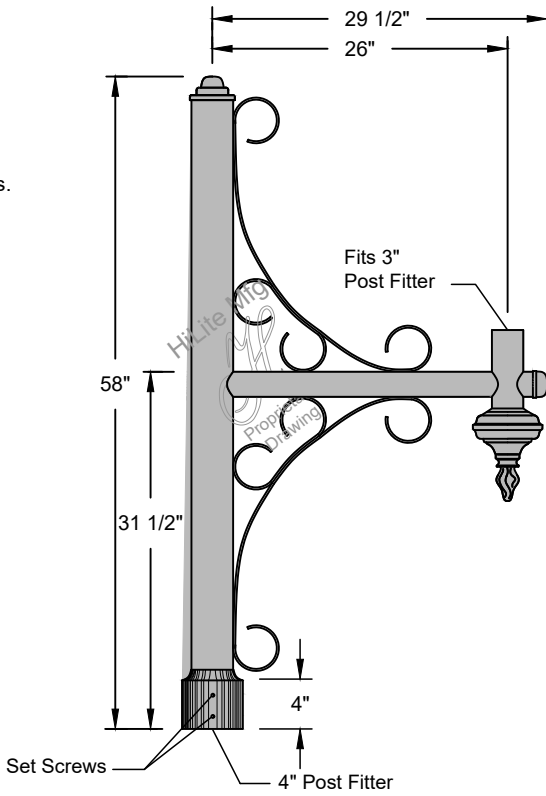


Post Mount Arms

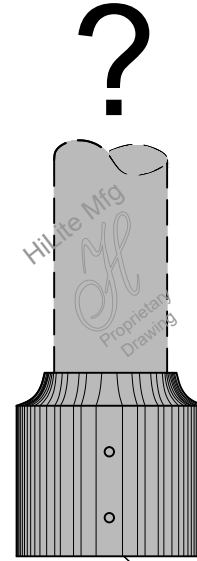
For Incandescent, E26 Medium Base & GU24 Fixtures
 (Includes Post Fitter and Hardware)

P-31

Requires Heavy Duty Pole.
 Not available in steel, brass or specialty finishes.

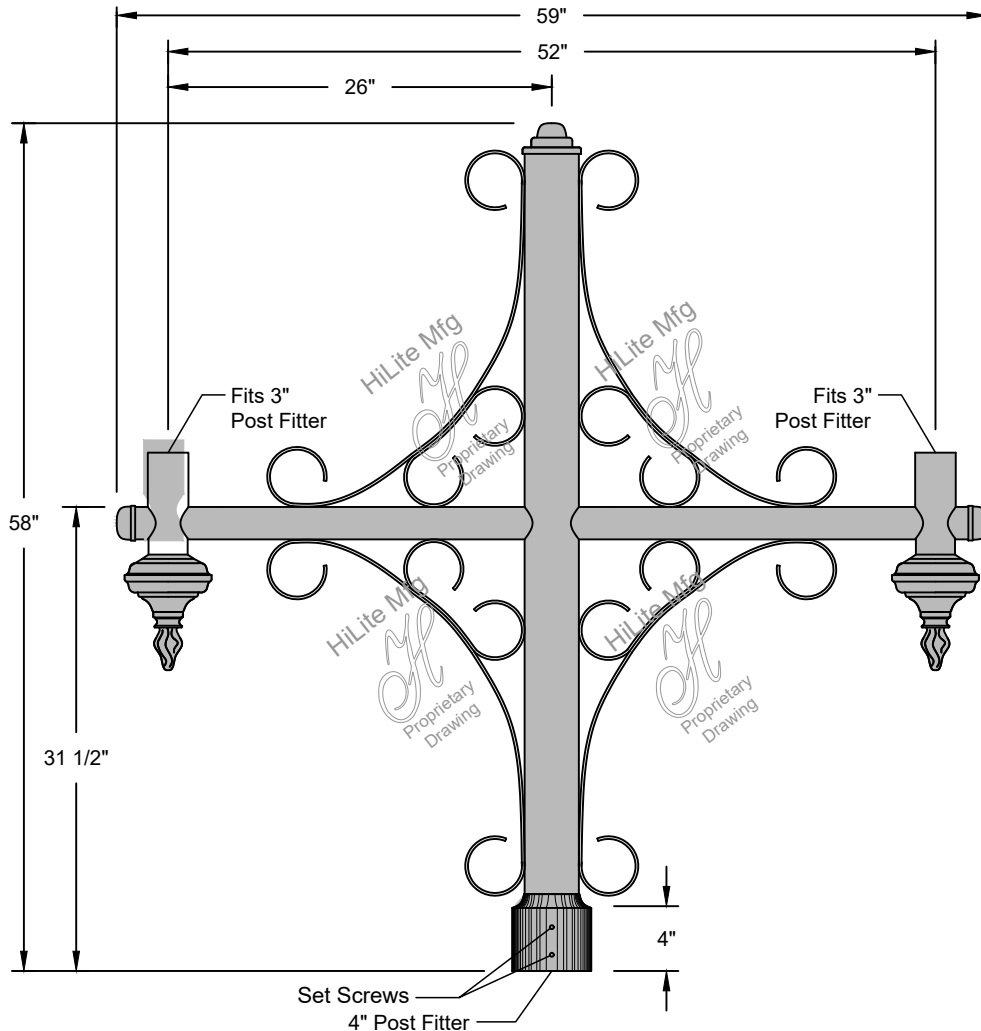


Create your own or modify one of ours.



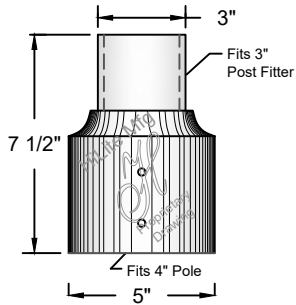
P-32

Requires Heavy Duty Pole.
 Not available in steel, brass or specialty finishes.

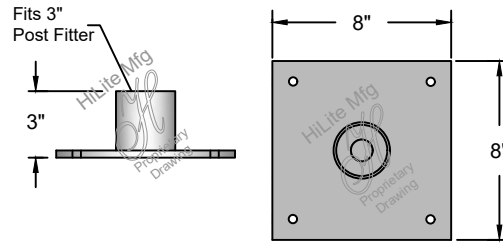




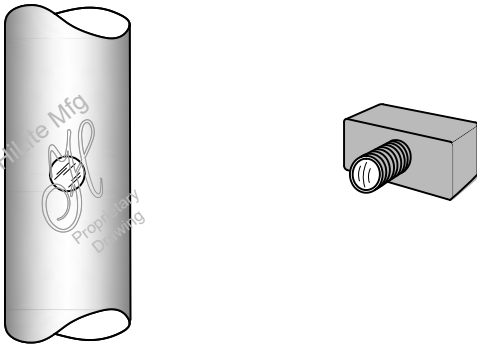
H-34RDR-3"-4" Post Reducer



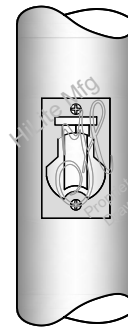
H-3CF- 3" Column Fitter



**PHCL-Photocell
Dusk to Dawn Photo Control**

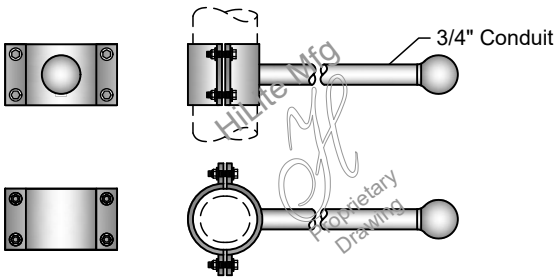


**PGRG-Plug Receptacle
Single Gang Weather-Proof Receptacle on Pole**



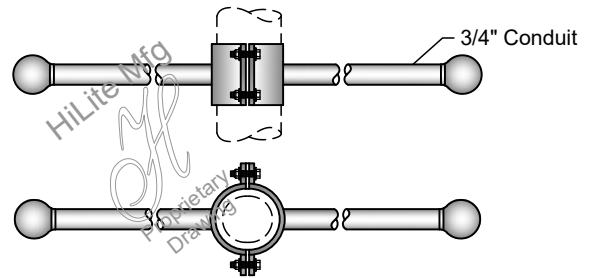
Single Banner Arm

SBA-1-_____
 (Specify length of stem in inches.
 10" Minimum, 24" Maximum.)



Double Banner Arm

DBA-2-_____
 (Specify length of stem in inches.
 10" Minimum, 24" Maximum.)

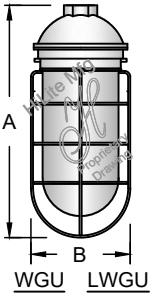
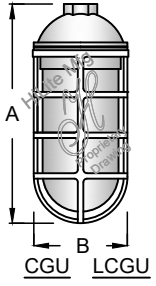




Cast and Wire Guards and Glass

Fixture No.	Height (A)	Width (B)
CGU	10"	4"
WGU	10"	4"
LCGU	12"	5"
LWGU	12"	5"

Not available in steel, brass, copper or specialty finishes.



Cast Guard and Glass

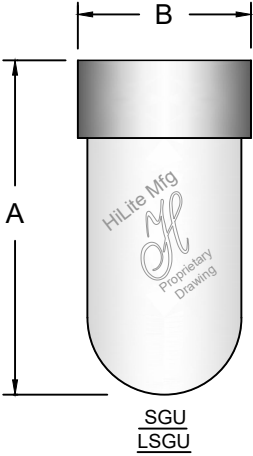
Accessory No.	Glass Color	Wattage
CGU-CLR	Clear	100W/INC, 32W/CFL
CGU-RIB	Clear Ribbed	100W/INC, 32W/CFL
CGU-FR	Frost	100W/INC, 32W/CFL
CGU-RD	Red	100W/INC, 32W/CFL
CGU-BL	Blue	100W/INC, 32W/CFL
CGU-GRN	Green	100W/INC, 32W/CFL
CGU-AM	Amber	100W/INC, 32W/CFL
CGU-AMC	Amber Crackle	100W/INC, 32W/CFL
LCGU-CLR	Clear	200W/INC, 57W/CFL
LCGU-RIB	Clear Ribbed	200W/INC, 57W/CFL
LCGU-FR	Frost	200W/INC, 57W/CFL
LCGU-RD	Red	200W/INC, 57W/CFL
LCGU-BL	Blue	200W/INC, 57W/CFL
LCGU-GRN	Green	200W/INC, 57W/CFL
LCGU-AM	Amber	200W/INC, 57W/CFL
LCGU-AMC	Amber Crackle	200W/INC, 57W/CFL

Wire Guard and Glass

Accessory No.	Glass Color	Wattage
WGU-CLR	Clear	100W/INC, 32W/CFL
WGU-RIB	Clear Ribbed	100W/INC, 32W/CFL
WGU-FR	Frost	100W/INC, 32W/CFL
WGU-RD	Red	100W/INC, 32W/CFL
WGU-BL	Blue	100W/INC, 32W/CFL
WGU-GRN	Green	100W/INC, 32W/CFL
WGU-AM	Amber	100W/INC, 32W/CFL
WGU-AMC	Amber Crackle	100W/INC, 32W/CFL
LWGU-CLR	Clear	200W/INC, 57W/CFL
LWGU-RIB	Clear Ribbed	200W/INC, 57W/CFL
LWGU-FR	Frost	200W/INC, 57W/CFL
LWGU-RD	Red	200W/INC, 57W/CFL
LWGU-BL	Blue	200W/INC, 57W/CFL
LWGU-GRN	Green	200W/INC, 57W/CFL
LWGU-AM	Amber	200W/INC, 57W/CFL
LWGU-AMC	Amber Crackle	200W/INC, 57W/CFL

Glass Cover

Fixture No.	Height (A)	Width (B)
SGU	7"	3 1/2"
LSGU	10"	5"



Glass Cover

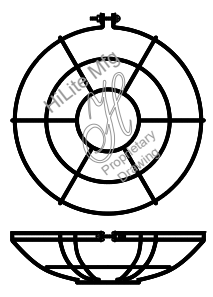
Accessory No.	Glass Color	Wattage
SGU-CLR	Clear	100W/INC, 32W/CFL
SGU-RIB	Clear Ribbed	100W/INC, 32W/CFL
SGU-FR	Frost	100W/INC, 32W/CFL
SGU-RD	Red	100W/INC, 32W/CFL
SGU-BL	Blue	100W/INC, 32W/CFL
SGU-GRN	Green	100W/INC, 32W/CFL
SGU-AM	Amber	100W/INC, 32W/CFL
SGU-AMC	Amber Crackle	100W/INC, 32W/CFL
LSGU-CLR	Clear	200W/INC, 57W/CFL
LSGU-RIB	Clear Ribbed	200W/INC, 57W/CFL
LSGU-FR	Frost	200W/INC, 57W/CFL
LSGU-RD	Red	200W/INC, 57W/CFL
LSGU-BL	Blue	200W/INC, 57W/CFL
LSGU-GRN	Green	200W/INC, 57W/CFL
LSGU-AM	Amber	200W/INC, 57W/CFL
LSGU-AMC	Amber Crackle	200W/INC, 57W/CFL

Glass Colors



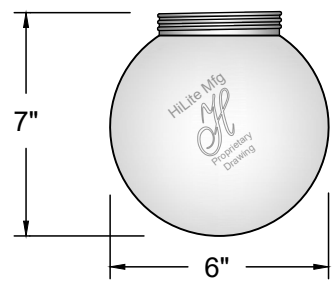


WGR-Wire Guards

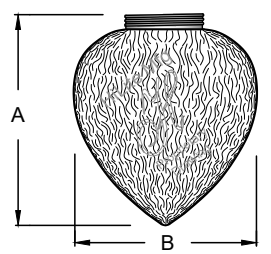


Wire Guard	
Accessory No.	Diameter
H-WGR-7	7"
H-WGR-8	8"
H-WGR-10	10"
H-WGR-12	12"
H-WGR-14	14"
H-WGR-16	16"
H-WGR-17	17"
H-WGR-18	18"
H-WGR-20	20"
H-WGR-24	24"
H-WGR-27	27"

6OP-Opal Ball



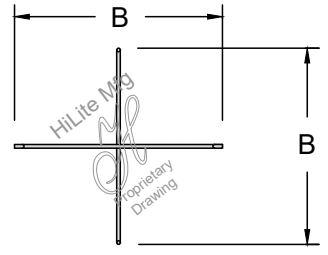
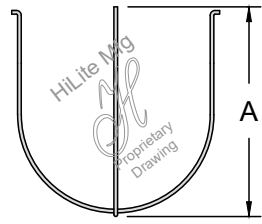
ARN-Acorn Glass



Fixture No.	Height (A)	Width (B)
ARN	10"	7"
ARN-FR	10"	7"
LARN	14"	10"
LARN-FR	14"	10"

Drop Wire Guard

Item No.	Height (A)	Width (B)
DWG-1	3"	7"
DWG-2	4 1/2"	7"
DWG-3	5 1/2"	10"
DWG-4	8"	10"





Description

The Hi-Lite LED 4 series is a drop-in LED light engine with integrated thermal management and optics.

This LED series is available for Open-rated fixtures. The LED series is offered in Eight lumen outputs: 850, 1250, 1650, 2000, 2500, 3000, 3500 and 4000.

Specifications

- Open-rated fixture only (not rated for use within a sealed fixture or glass enclosure)
- Frosted Lens
- 6W, 850lm, (tested at 4000 K)
- 10W, 1250lm, (tested at 4000 K)
- 14W, 1650lm, (tested at 4000 K)
- 18W, 2000lm, (tested at 4000 K)
- 20W, 2500lm, (tested at 4000 K)
- 23W, 3000lm, (tested at 4000 K)
- 29W, 3500lm, (tested at 4000 K)
- 34W, 4000lm, (tested at 4000 K)
- 120/277V Multi Volt Standard
- ≥ 90 CRI for all CCTs (2700 K, 3000 K, 3500 K, 4000 K)
- Min 0°C start up temp
- 96° Beam Angle
- Diming Specs: 6W, 10W, 14W, 18W, 20W, 23W, 29W, & 34W are all rated for ELV, Triac & 0/1-10v Dim Standard. Triac Dim will only work at 120V.



(USE THIS FORMAT TO PLACE)

Wattage/ Light Source	Color Temperature	Driver Location
6LED4 (850 lumens)	27 (2700 K)	WBCM (Wall Mount Ballast Canopy Mount)
10LED4 (1250 lumens)	30 (3000 K)	
	35 (3500 K)	
	40 (4000 K)	
14LED4 (1650 lumens)		SBCM (Stem Mount Ballast Canopy Mount)
18LED4 (2000 lumens)		
20LED4 (2500 lumens)		CBCM (Cord Mount Ballast Canopy Mount)
23LED4 (3000 lumens)		
29LED4 (3500 lumens)		LPLB (Post Mount Ballast Canopy Mount)
34LED4 (4000 lumens)		
18LED4	30	WBCM

Ordering Examples:

- 18LED430WBCM - 18W, LED4, 3000 K, Non-Dimming, Ballast Canopy Mount, 120/277 V
- 10LED427WBCM - 10W, LED4, 2700 K, Ballast Canopy Mount, 120/277 V
- 34LED440WBCM - 34W, LED4, 4000 K, Non-Dimming, Ballast Canopy Mount, 120/277 V



Description

The Hi-Lite LED 3 series is a Chip -On-Board (COB) drop -in LED light board. The LED 3 series is specifically used for enclosed light fixtures with jelly jar style fixtures. The LED 3 series is offered in 1400 lumens.

Specifications

- For use with enclosed-rated Jelly Jar style fixtures and accessories only.
- Standard 120° Beam Angle
- 12W, 1400lm, 350mA (tested at 4000 K)
- 120/277V Multi Volt Standard
- 90 CRI for all CCTs (2700K, 3000K, 3500K, 4000K)
- Lumen maintenance, L70 lifetime=50k hours based on 105° operating temp.
- 3-year Limited Warranty-LED Module only
- 1-year Limited Warranty-LED Driver only
- Dimming Specs: Anything Ordered Prior to 2-20-24 will be 0/1-10V Dim Standard.
- Dimming Specs: Anything ordered after 2-21-24 will be rated for ELV, Triac & 0/1-10v Dim Standard. Triac Dim will only work at 120V.



(USE THIS FORMAT TO PLACE ORDER)

Wattage/ Light Source	Color Temperature	Driver Location
12LED3 (1400 lumens)	27 (2700 K)	WBCM (Wall Mount Ballast Canopy Mount)
	30 (3000 K)	SBCM (Stem Mount Ballast Canopy Mount)
	35 (3500 K)	
	40 (4000 K)	
		CBCM (Cord Mount Ballast Canopy Mount)
		LPLB (Post Mount Ballast Canopy Mount)

12LED3	27	WBCM
--------	----	------

12LED3/27/BCM

Ordering Examples:

- 12LED327WBCM - 12W, LED3, 2700 K, Ballast Canopy Mount, 120/277 V
- 12LED330WBCM - 12W, LED3, 3000 K, Ballast Canopy Mount, 120/277 V
- 12LED340WBCM - 12W, LED3, 4000 K, Ballast Canopy Mount, 120/277 V

DESCRIPTION

The WLZ Series features an architecturally relevant low-profile LED design in lumen packages ranging from 1500 lumens to over 12,000 lumens. Its high-efficiency light engine is designed for optimal light control and distribution with zero uplight. This family of product is offered in several size housings to complement any building exterior and accommodates mounting heights up to 35'. Integral emergency battery backup available for path of egress with Cold Location operation down to -20°C.

SPECIFICATIONS

Construction

- Sleek die-cast aluminum housing with stainless steel hardware and powder coated black, bronze, silver or white finish
- UV-stabilized polycarbonate optical lens
- Integral heat sink for maximized heat dissipation
- Back box houses drivers away from LEDs and includes three 3/4" hubs (WLZ1 and WLZ2 - two 3/4" hubs)

Optics/LEDs

- Zero uplight design to minimize light pollution
- 15 to 100 Watt models replace up to 400 Watt HID for up to 70% energy savings
- Efficacies up to 123 LPW at 5000K to maximize utility rebates
- Type III and Type IV distributions for optimal light distribution (WLZ1 - Type III only)
- Available in 3000K, 3500K, 4000K and 5000K CCT
- L70 of 50,000 hours at 40°C
- CRI of ≥70

Electrical

- Class 2 power supply, 120-277VAC, 50/60Hz
- 347/480VAC Dedicated driver option for WLZ4, WLZ7 and WLZ10
- 0-10V Dimming driver (120-277VAC only)
- Power supply rated Class A EMI rating

Installation

- Housing hinges to back box and is secured with set screws
- Back box is complete with three 3/4" hubs and internal bubble level for easy installation (WLZ1 and WLZ2 - two 3/4" hubs)
- Mounts to a standard 3-1/2" or 4" square electrical J-box
- Suitable for downlight installation only

Options

Battery Backup

- Integral battery backup (BB) provides over 700 lumens and 90 minutes of runtime for path of egress. Rated for ambient temperatures of 0°C to 40°C (32°F to 104°F). Not available on WLZ1
- Integral Battery Backup with Internal Heater (BB-IH) provides over 700 lumens and 90 minutes of runtime for path of egress in Cold Locations down to -20°C. Not available on WLZ1 or WLZ2.
- Factory installed dual driver options for WLZ4 and WLZ10 (WLZ7 is standard with two drivers)
- Factory installed 120/277VAC button type photocontrol option (PC)
- Factory installed 10kVA surge protection options (SP or SPH)

Accessories (Field Installed)

- LiteLogic Bluetooth Enabled Dimming Occupancy Sensor, PIR, Includes 12V Power Adapter, Black Finish ([LE-MS3W-KIT-BL-12V-A-R](#))
- 120/277VAC Button type universal photocontrol options accessory (PCU)
- Bluetooth capable easily controlled with a smartphone

Testing & Compliance

- cULus Listed for Wet Locations
- International Dark Sky friendly approved product. (IDA) 3000K only
- Operating temperatures: -40°C to 40°C (-40°F to 104°F)

Warranty

- Five year warranty (terms and conditions apply)

Model: _____ Date: _____
 Accessories: _____
 Job Name: _____ Type: _____



Specs At A Glance*					
Model	WLZ1	WLZ2	WLZ4	WLZ7	WLZ10
Wattage (nominal)	15W	25W	40W	70W	100W
Lumens (lm)	1745	3198	5021	8729	12,393
Efficacy (LPW)	115	118	123	120	116
Equivalency (HID)	50W	100W	150W	250W	400W
Distribution	Type III, IV (WLZ1 Type III only)				
CCT	3000K, 3500K, 4000K, 5000K				
CRI	≥70				
Input Voltage	120-277VAC, 50/60Hz, 347/480V option				
Operating Temp	-40°C to 40°C (-40°F to 104°F)				
Certifications	UL Listed for Wet Locations, IDA				
Warranty	5 Years				
Weight	2.6 lbs	3.3 lbs	6.0 lbs	9.9 lbs	12.1 lbs

* Nominal Wattage, tested at 5000K CCT, Type III distribution. Values at 120/277VAC. See performance table for more detailed lumen information.

Note: Environment and application will affect actual performance. Typical values and 25°C (77°F) used for testing. Specifications subject to change without notice.

Ordering Information (Example: WLZ2-3-4K-BR)

Series/Configuration	Distribution	Input Voltage	CCT	Finish	Options
WLZ1 = 15W, Extra-Small	3 = Type III	BLANK = 120-277VAC	3K = 3000K	BL = Black	BB ⁵ = Battery backup
WLZ2 = 25W, Small	4 ² = Type IV	HVS ³ = 347/480VAC	35K ⁴ = 3500K	BR = Bronze	BB-IH ⁶ = Cold Location Battery backup (operation down to -20°C)
WLZ4 = 40W, Medium			4K = 4000K	SV ⁴ = Silver	DD ⁷ = Dual driver
WLZ7 ¹ = 70W, Large			5K = 5000K	WH ⁴ = White	PC = 120/277VAC Button photocontrol
WLZ10 = 100W, Extra-Large					SP = 120/277VAC Surge protection SPH = 347/480VAC Surge protection

LiteLogic Accessories⁸ (Field Installed)
LE-MS3W-KIT-BL-12V-A-R⁹ = Bluetooth Enabled Dimming Occupancy Sensor, PIR, Includes 12V Power Adapter, Black Finish
PCU = 120/277VAC Button photocontrol accessory

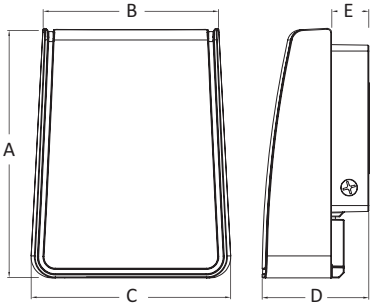
Notes	
¹ Standard with two drivers	⁵ WLZ2, WLZ4, WLZ7 and WLZ10 only. 120/277VAC Only. Not compatible with DD and SPH options
² Not available for WLZ1 configuration	⁶ WLZ4, WLZ7 and WLZ10 only. 120/277VAC Only. Not compatible with DD and SPH options
³ WLZ4, WLZ7 and WLZ10 only, compatible with SPH option only	⁷ Dual driver option available for WLZ4 & WLZ10 only. Not compatible w/photocontrol option, consult factory
⁴ Consult factory for availability	⁸ Order as a separate line item. Shipped in separate box for final installation in the field
	⁹ Compatible with WLZ4, WLZ7 and WLZ10 only

Performance Data

Model	Wattage (W)	CCT	Distribution	Lumen Output (lm)	Efficacy (LPW)
WLZ1-3-3K-XX	15	3000K	Type III	1531	101
WLZ1-3-4K-XX	15	4000K	Type III	1534	101
WLZ1-3-5K-XX	15	5000K	Type III	1745	115
WLZ2-3-3K-XX	25	3000K	Type III	2795	103
WLZ2-3-4K-XX	25	4000K	Type III	2997	111
WLZ2-3-5K-XX	25	5000K	Type III	3198	118
WLZ2-4-3K-XX	25	3000K	Type IV	2609	98
WLZ2-4-4K-XX	25	4000K	Type IV	2797	105
WLZ2-4-5K-XX	25	5000K	Type IV	2985	112
WLZ4-3-3K-XX	40	3000K	Type III	4389	107
WLZ4-3-4K-XX	40	4000K	Type III	4705	115
WLZ4-3-5K-XX	40	5000K	Type III	5021	123
WLZ4-4-3K-XX	40	3000K	Type IV	4021	98
WLZ4-4-4K-XX	40	4000K	Type IV	4310	105
WLZ4-4-5K-XX	40	5000K	Type IV	4599	112
WLZ7-3-3K-XX	70	3000K	Type III	7657	105
WLZ7-3-4K-XX	70	4000K	Type III	8193	113
WLZ7-3-5K-XX	70	5000K	Type III	8729	120
WLZ7-4-3K-XX	70	3000K	Type IV	6837	94
WLZ7-4-4K-XX	70	4000K	Type IV	7316	101
WLZ7-4-5K-XX	70	5000K	Type IV	7794	107
WLZ10-3-3K-XX	100	3000K	Type III	10,871	102
WLZ10-3-4K-XX	100	4000K	Type III	11,632	109
WLZ10-3-5K-XX	100	5000K	Type III	12,393	116
WLZ10-4-3K-XX	100	3000K	Type IV	9706	91
WLZ10-4-4K-XX	100	4000K	Type IV	10,385	98
WLZ10-4-5K-XX	100	5000K	Type IV	11,065	104

* Nominal Wattage. Values at 120/277VAC
 ** HVS configuration not DLC qualified

Dimensions

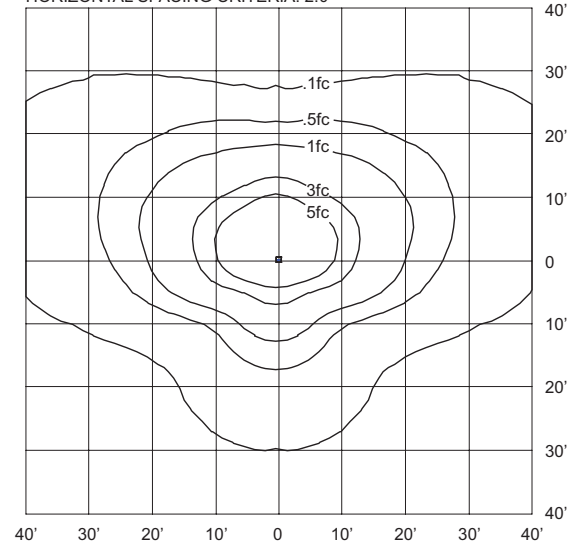


Model	A	B	C	D	E
WLZ1	6.7"	5.0"	5.6"	3.2"	1.4"
WLZ2	8.0"	5.7"	6.0"	3.2"	1.4"
WLZ4	10.2"	6.8"	7.8"	5.0"	1.9"
WLZ7	11.6"	8.3"	9.4"	5.0"	1.9"
WLZ10	11.6"	10.3"	11.5"	5.0"	1.9"

Sample Photometrics

WLZ4-3-5K

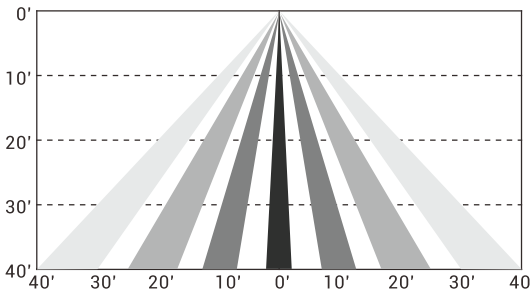
IES: TYPE III VERY SHORT
 MOUNTING HEIGHT: 10'
 TILT: ZERO
 HORIZONTAL SPACING CRITERIA: 2.0



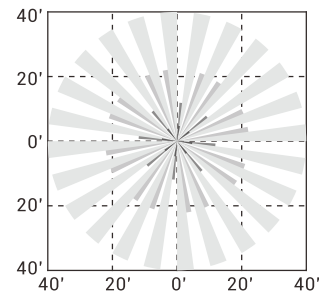
Sensor Details - Bluetooth Enabled (Accessory LE-MS3W-KIT-BL-12V-A-R) [Click here for sensor details](#)



Coverage Side View



Coverage Top View (40')



**SEE APP FOR
 SENSOR SETTINGS**

For a complete list of **LiteLogic** compatible products, [click here](#).



Get it from the **App Store**



Get it from **Google Play**





Classic Caroline Outdoor Sconce - Large

SKU: OL21049 BZ

\$581.00

Color: Burnished Bronze / Seeded Glass



Actual Size: 23"Hx11"Wx13.25"D

In stock and ready to ship

Qty

Add to cart

+ Add to my List

+ Add to Gift Registry

Description



Illuminate your outdoor space with our Classic Caroline collection. This stately collection provides a simplistic taste to satisfy your modern design, while still showcasing traditional qualities. The seeded glass panes paired with its ornately crafted frame will embellish the outside of your home with ease.

Specifications



Measurements

Actual Size: 23"Hx11"Wx13.25"D

Backplate/Canopy Size : 9"Hx5"W Rectangular

Weight: 8.1

Features

Color: Burnished Bronze / Seeded Glass

Number of Lights: 3

Dimmable: Yes

Material: Aluminum, Glass

Bulb Base: US Candelabra-E12

Indoor-Outdoor: Yes

Specifications

Max Bulb Wattage: 60

Ratings & Certifications

Safety Rating: UL Wet

California Residents See PROP 65 WARNINGS



H-1390-B



- Fixture :** 10" Wall Sconce ▼
- Finish:** Galvanized ▼
- Glass Color:** Clear Glass ▼
- Lamp Selection:** Medium Base E26 Socket, for use W/Screw-in Incandescent, LED & CFL Bulbs (Bulb Not Included) ▼
- Dusk to Dawn PhotoCell Option:** None ▼

Part Number

H-1390-B-96-CLRE26

Qty:

Add to Cart



Product Information

Gallery to Reviews

Product Document

Product Number

H-1390-B (10" Wall Sconce)

Size

10"

Height

14"

Width

10"

Projection

18"

NOTES:



File #: 21-01218

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner
Elizabeth Bulay, Assistant Preservation Planner

SUBJECT:
Consideration Of An Accessory Structure, Fencing, and Lighting at 230 Franklin Rd. Building 1 Courtyard (The Factory); John Brown, Applicant.

PURPOSE:
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning a new accessory structure, fencing, and lighting in the courtyard behind Building 1 at the Factory at 230 Franklin Road.

APPLICABLE DESIGN GUIDELINES:
2022 Franklin Historic District Design Guidelines
Chapter 5: New Accessory Structure
Chapter 6: Site and Setting (Lighting)
Chapter 7: Fences, Walls, and Gates

PROJECT INFORMATION:
COF Project Number: 8952
Applicant: John Brown
Owner: Factory Partners, LLC.

BACKGROUND:
The property located at 230 Franklin Road features Building 1 on the Factory campus and is located in the Franklin Road Historic District. The site features a ca. 1950 brick gable building that is residential in form, and has had significant additions on the rear of the building. The National Register lists the building as non-contributing, but the structure is now more than 50 years old and is historic. The elements of this proposal were discussed during the August 2025 DRC meeting.

The proposal includes a request for a new accessory structure, fencing, and lighting in the courtyard located behind Building 1 at the Factory.

Accessory Structure:
The proposal includes a request for a minor accessory structure in the courtyard. The accessory structure is approximately 12' by 5' and is clad in live edge wood and features a landscaped roof. The Guidelines recommend the following:

- Use materials and exterior finishes typically used in historic equivalents.
- Use asphalt shingles, fiber-glass shingles, 5V metal, or standing-seam metal roof materials.

The location, placement, form, and size are appropriate. The proposed materials for the siding and roof are not appropriate.

Fencing:

The proposal includes a request for a 6’ tall post and rail wood fence around the perimeter of the courtyard behind the building. The location of the fencing is more than 20’ behind the front façade of the building and is considered rear yard fencing. The Guidelines recommend the following:

- Avoid the use of horizontal board fences.
- Use wood picket, vertical wood plank, split rail, horse fencing, brick, cast iron, or similar metal fencing, as appropriate based on the site and setting.

The proposed fencing style is not seen elsewhere in the Franklin Road historic district, and the horizontal board fence style is not supported by the Guidelines.

Lighting:

The proposal includes a request to install six 20’ tall, pole-mounted light fixtures in the courtyard. The Guidelines recommend the following:

- Use existing or ambient streetlight or storefront lighting rather than adding new lighting whenever possible
- If new light fixtures are necessary, use concealed lighting or fixtures that are simple in character but compatible with the placement, design, scale, materials, and quality of lighting on adjacent historic buildings
- Use the smallest possible fixtures hidden underneath cornices and parapets to minimize visual impacts to the extent feasible
- Use lighting sources and illumination levels that enhance the character of the historic building and the historic district.

The proposed light fixtures are not concealed and feature a pole-mounted fixture that is not seen elsewhere around the Factory. The proposed fixtures are not appropriate.

RECOMMENDATION:

Staff recommends denial of the accessory structure, fencing, and lighting based on the following Guidelines:

- Use materials and exterior finishes typically used in historic equivalents
- Use asphalt shingles, fiber-glass shingles, 5V metal, or standing-seam metal roof materials
- Use existing or ambient streetlight or storefront lighting rather than adding new lighting whenever possible
- If new light fixtures are necessary, use concealed lighting or fixtures that are simple in character but compatible with the placement, design, scale, materials, and quality of lighting on adjacent historic buildings
- Use the smallest possible fixtures hidden underneath cornices and parapets to minimize visual impacts to the extent feasible

- Use lighting sources and illumination levels that enhance the character of the historic building and the historic district.
- Avoid the use of horizontal board fences.
- Use wood picket, vertical wood plank, split rail, horse fencing, brick, cast iron, or similar metal fencing, as appropriate based on the site and setting.

If the HZC votes to approve the application, the following conditions are recommended:

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

Project Considerations:

- Please be advised building plans for permitting will be required in addition to the COA process.

A large, rusted metal sculpture of a hand holding a tool, set against a clear blue sky. The sculpture is made of various metal parts, including pipes, gears, and a large, flat, circular piece that looks like a hat or a lid. The hand is positioned as if holding a tool, with the fingers curled around it. The metal is heavily rusted, giving it a warm, orange-brown color. The background is a clear, bright blue sky.

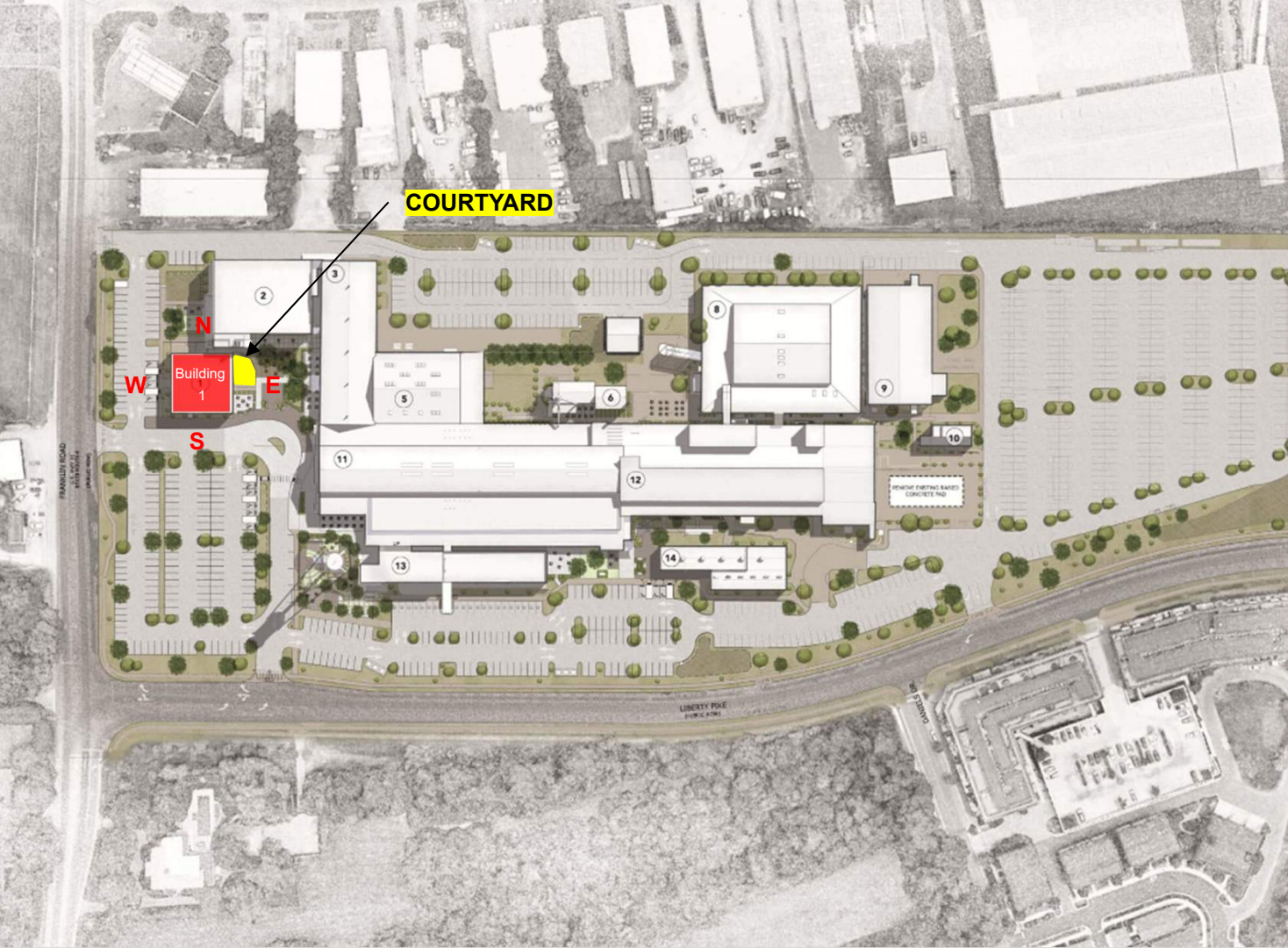
THE FACTORY AT FRANKLIN
TERRAIN
COURTYARD

Historic Zoning Commission Presentation – Oct 13, 2025

Terrain Courtyard at The Factory at Franklin

Terrain Courtyard located directly
behind Building 1

The Factory at Franklin
230 Franklin Road
Franklin, TN 37064



NORTH

Terrain Courtyard at The Factory at Franklin

Terrain Courtyard

- Courtyard photo (2025).



Terrain Courtyard at The Factory at Franklin

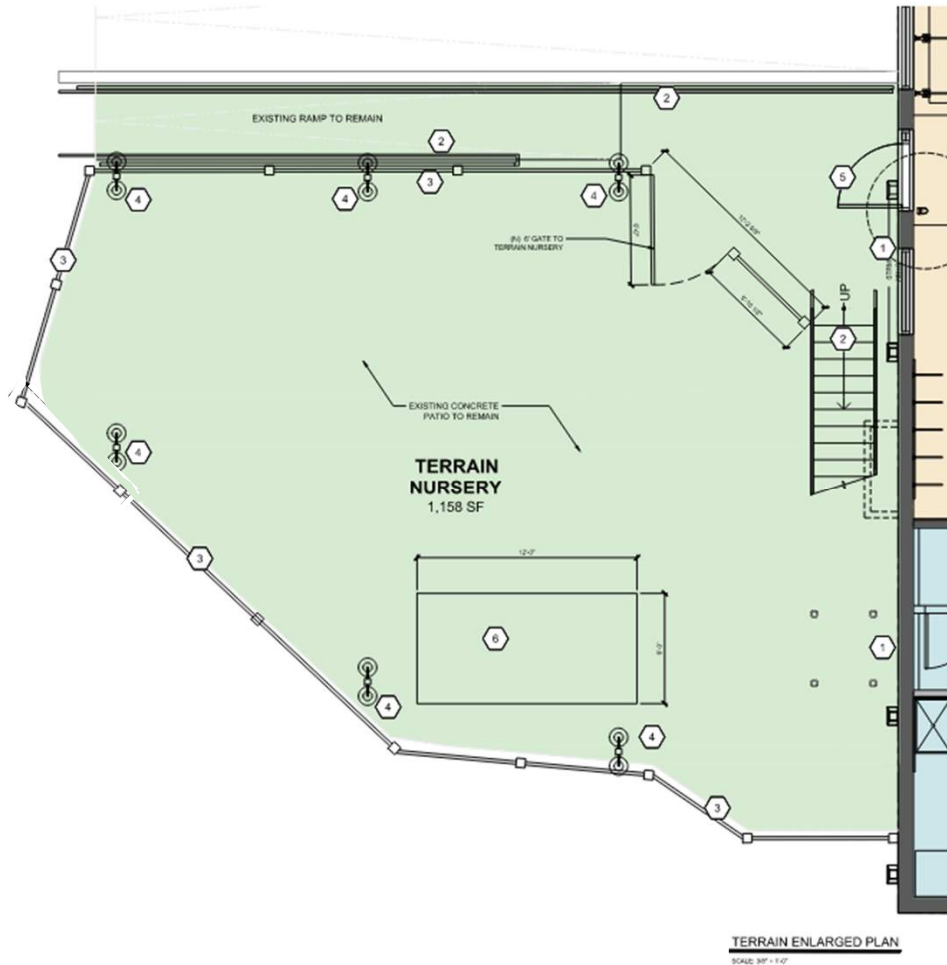
Terrain Courtyard

- Courtyard photo (2025).



GENERAL PLAN NOTES

- 1 HOSE BIB LOCATION
- 2 EXISTING RAILING/HANDRAIL/GUARDRAIL TO BE PAINTED
- 3 NEW WOOD FENCE
- 4 NEW LIGHT POSTS
- 5 NEW SCONCE ABOVE DOOR
- 6 PROPOSED SHED LOCATION



Terrain Courtyard at The Factory at Franklin

Terrain Courtyard

- New 6'-0" high post and rail wood fence with ebony stain.
- New potting shed with horizontal dark live edge wood cladding and ebony stain.
- Existing railings and guards to be painted. (Benjamin Moore 1603 Graphite).
- New courtyard lighting.



NORTH



VIEW FROM THE SOUTH

Terrain Courtyard at The Factory at Franklin

Terrain Courtyard

- New 6'-0" high post and rail wood fence with ebony stain.
- New potting shed with horizontal dark live edge wood cladding and ebony stain.
- Existing railings and guards to be painted. (Benjamin Moore 1603 Graphite).
- New courtyard lighting.



VIEW FROM THE EAST

Terrain Courtyard at The Factory at Franklin

Terrain Courtyard

- New 6'-0" high post and rail wood fence with ebony stain.
- New potting shed with horizontal dark live edge wood cladding and ebony stain.
- Existing railings and guards to be painted. (Benjamin Moore 1603 Graphite).
- New courtyard lighting.



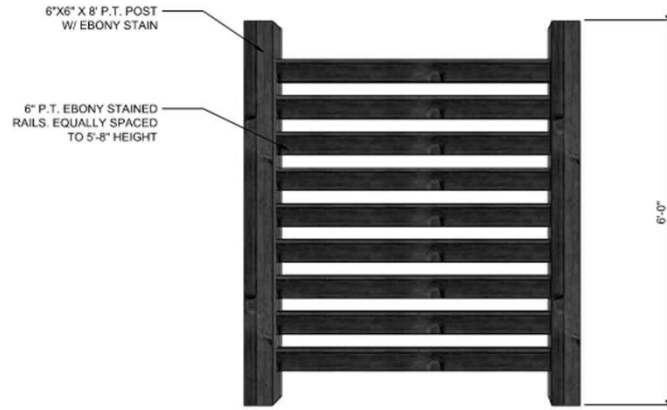
EAST FACADE



SOUTH FACADE
Page 191 of 306



PROPOSED COURTYARD LIGHTING
20" SPUN SHADE MOUNTED TO ALUMINUM POLE
GALVANIZED FINISH



PROPOSED POST AND RAIL WOOD FENCE

Terrain Courtyard at The Factory at Franklin

Terrain Courtyard

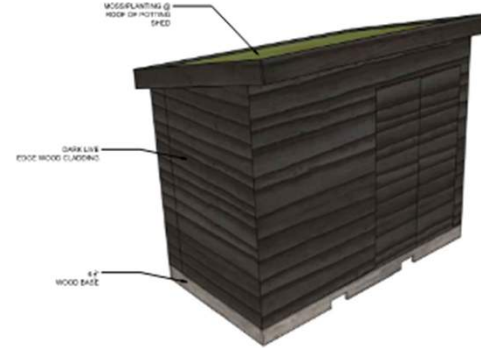
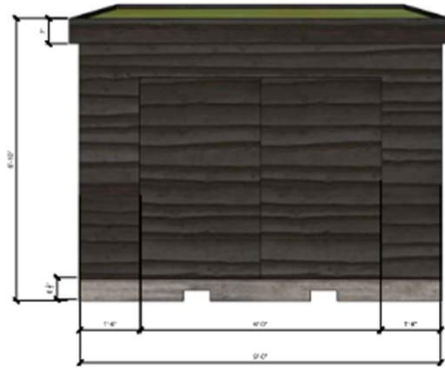
- New 6'-0" high post and rail wood fence with ebony stain.
- New courtyard lighting.



Terrain Courtyard at The Factory at Franklin

Terrain Courtyard

- New potting shed with horizontal dark live edge wood cladding and ebony stain.



PROPOSED POTTING SHED

DAVID A. LEVY & ASSOCIATES

345 SPRINGSIDE DRIVE
AKRON, OHIO 44333-2434

> Retail Design & Development

September 26, 2025

Project: The Factory at Franklin - Building 1
Terrain – Courtyard Improvements

Design Narrative:

The scope includes the following proposed courtyard improvements:

- New 6'-0" high post and rail wood fence with ebony stain.
- New potting shed with horizontal dark live edge wood cladding and ebony stain.
- Existing courtyard railings and guards to be painted. (Benjamin Moore 1603 Graphite).
- New courtyard lighting.

Sincerely,



John G. Brown
David A. Levy & Associates
jbrown@dalevy.com
330-666-6767



File #: 21-01233

DATE: 10/13/2025 5:00:00 PM
TO: Historic Zoning Commission
FROM: Kelly Dannenfelser, Asst. Director of Planning
Emily Huffer, Preservation Planner

SUBJECT:

Consideration Of A Preliminary Historic Zoning Commission Recommendation And Modifications Of Standards For A Mixed-Use Development At 318 Franklin Rd. (Harpeth Village PD); Greg Gamble, Applicant.

PURPOSE:

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning a proposed development plan. The Historic Zoning Commission (HZC) provides preliminary recommendations to other City review bodies on development applications in the Historic Preservation Overlay (HPO), where certain contextually sensitive design features become entitled prior to Certificate of Appropriateness (COA) review. The Historic District Design Guidelines (Guidelines) are used by the HZC to consider exterior alterations that may affect the historic integrity and context of properties within the HPO.

APPLICABLE DESIGN GUIDELINES:

2022 Historic District Guidelines:
Chapter 3: New Commercial Buildings
Chapter 6: Site & Setting

PROJECT INFORMATION:

COF Project Number: 8830
Applicant: Gamble Design Collaborative, Greg Gamble, Rep.
Owner: Franklin 240 LLC, Greg Betterton, Rep.

BACKGROUND:

The HZC provides a preliminary recommendation at an early stage in the review process for development plans. These recommendations are then provided to the FMPC and BOMA. The HZC reviews the proposals in light of the Guidelines for consistency with the historic district and potential impact to historic resources within the district. Considerations include building locations, the rhythm of buildings along streetscapes, setbacks, building types, and their height, massing, and scale. Locations of proposed parking, drive aisles, and landscape and hardscape features are also reviewed. The development is proposed at 318 Franklin Road.

The property at 318 Franklin Road has been extensively researched and a Cultural Resources Report has previously been included in past submittals. The report identified that the only Civil War-

era feature that remains within the project site is the hilltop lunette, which was recommended to be conserved. The project site encompasses approximately 10 acres in the central and eastern portions of the 16.19-acre parcel. The project site consists of undeveloped agricultural fields and forested areas in the eastern portion of the parcel. The project site is on the east side of Franklin Road which is adjacent to industrial and small-scale residential principal buildings located on Morningside Drive on the south, a railroad corridor on the east, and a church on the north.

Harlinsdale Farm is across the street proposed development; it is listed on the National Register for Historic Places for state-level significance in the areas of agriculture and architecture. Harlinsdale Farm and the proposed development are part of the Franklin Road Historic District of the Historic Preservation Overlay.

Multiple Design Review Committee meetings were attended and several special-called DRC meetings, along with a site visit, were held. At each of these meetings, staff requested building measurements and their elevations to better understand the proposed height and scale of the buildings and how the proposal relates to the historic duplexes on Morningside Drive.

The Design Guidelines describe the Franklin Road Historic District's key characteristics as:

- Residential and/or agricultural buildings from the 19th and 20th centuries
- Variety of architectural styles
- Mix of single-family residential, rural, and industrial character at various locations throughout the corridor
- Mix of one- and two-story buildings

Furthermore, the design goals and policies that are recommended within the Franklin Road Historic District include:

- Preserve historic buildings and accessory structures, as well as midcentury styles
- Limit building height to one or two stories
- Maintain the open, rural landscape in areas around Harlinsdale Farm
- Provide an uncongested gateway into downtown Franklin that emphasizes the historic character of the community
- Continue to project an open, rural appearance by ensuring that new construction maintains a balance of buildings, roads, and open space
- Maintain the established rhythm and spacing of buildings relative to the established context of the immediate area
- Design any changes within the district to reflect and maintain the key characteristics of the established context

Proposed Development

Three large commercial-mixed use buildings are proposed on the site at 318 Franklin Road. Development located behind the hill on the site is supported by Envision Franklin and could include single-family residential, duplexes, townhouses, multiplexes, small-scale multifamily, and accessory dwellings.

Placement & Orientation

The proposed buildings will mostly be situated behind the hill and only a small portion of the new development could be seen from Franklin Road when viewing a previous video flyer, when it is

moving from Mack Hatcher headed towards the intersection of Franklin Road and Liberty Pike. However, an updated flyover was not included within the application to determine if the buildings can be seen from the ROW. The Historic District Design Guidelines recommend locating new buildings to be secondary in prominence to the historic structures on the site or in the district. Placing the buildings behind the hill helps preserve the rural viewshed and open space along the historic roadway within the Franklin Road Historic District.

Height & Building Form

The height of the proposed buildings range in height from 22' to 42'-6".

Building One (the northern building): The height of building one ranges from 39'-2" to 40'-7". The width and length of the building are unknown.

Building Two: The height of building two ranges from 27'-6" to 42'-6". While the specific measurements were not called out within the application, the scale was used at the bottom of each page to calculate that the building sections will measure in length from the northernmost section to the southernmost section, 128', 224', and 128'. Building two will be a total length of 480'.

Building Three (the commercial building by the main entrance): The height of building three ranges from 22' to 32'-6". The width and length of the building are unknown.

The Guidelines recommend the following for height:

- Design the height of new buildings to be consistent with the height of historic commercial buildings in the district, which should not exceed two to three stories or be any taller than the commercial buildings on Main Street.
- Transition the height of new buildings to be within ten percent of the height of any adjacent historic building through the use of building stepbacks of 20 feet from the stories below, dividing the building into smaller parts to reduce effective visual bulk, and/or utilizing other techniques that break up the scale of a building.

While the proposal includes two and three-story buildings in accordance with the commercial building Guidelines, the transition of heights between new buildings and historic buildings is not known because the height of the circa 1968 buildings located on Morningside Drive was not included as part of this application, but they are one-story buildings with modest heights. The application shows that the portion of proposed building three with a height of 22' will be approximately 121' away from the existing buildings on Morningside Drive. The Guidelines recommend the following for building form:

- Align the architectural features of the new building with those of nearby historic buildings, including floor-to-ceiling heights, cornice alignment, window and door heights, and foundations.
- Respect the streetscape character by creating compatible patterns and rhythms of architectural features along the street.
- Reinforce the appearance and rhythm of historic horizontal patterns by maintaining a distinction between the street level and upper floor facades on buildings of two or more stories.
- Reinforce the appearance and rhythm of historic vertical divisions to maintain consistent facade widths.
- Maintain traditional rhythm and spacing patterns created by the massing of historic buildings along the street.
- New commercial construction in this context should be sensitive to rear adjacent historic residential structures.

While additional information is needed to determine if the proposed buildings meet the Guidelines' recommendation for building form, the proposed form appears to have a massing that is inconsistent with the surrounding buildings.

Architectural Features

Architectural detailing will be further reviewed as part of the COA application, and below are advisory comments that should be addressed prior to the COA and Site Plan approval:

- Align the architectural features of the new building with those of nearby historic buildings, including floor-to-ceiling heights, cornice alignment, window and door heights, and foundations.
- Respect the streetscape character by creating compatible patterns and rhythms of architectural features along the street.
- Reinforce the appearance and rhythm of historic horizontal patterns by maintaining a distinction between the street level and upper floor facades on buildings of two or more stories.
- Reinforce the appearance and rhythm of historic vertical divisions to maintain consistent facade widths.
- Maintain traditional rhythm and spacing patterns created by the massing of historic buildings along the street.
- New commercial construction in this context should be sensitive to rear adjacent historic residential structures.
- Use decorative details in a manner that is compatible to those on nearby historic buildings while avoiding direct replication.
- Avoid using decorative details that overpower or negatively impact nearby historic buildings.
- Use forms for new construction that relate to the forms of the majority of surrounding buildings.
- Design all facades to be compatible with the surrounding historic buildings.

The proposed architecture has evolved and it relates to some of the features of the historic Factory at Franklin's site, to which this development is currently not connected. The proposal does not appear to be sensitive to adjacent historic buildings. The proposed architecture is an abrupt change from the architecture seen on the adjacent mid-century modern buildings and the reconstructed 1928 Farmhouse on Morningside Drive. The use of dark metal paneling, a large window system/pattern, and an out-of-scale first-floor elevation with balconies creates a heavy appearance, emphasizing their mass. The design of the buildings on the site of the Factory is simple, with straightforward detailing on the historic buildings, as they historically served a purpose as an industrial facility.

Feedback from DRC members from past DRC meetings included comments on the use of the brick and dark metal elements, which created a very heavy design. It was suggested to explore a redesign of the repetitive canopy and porch elements, as this created a strong horizontal band and articulation. It was noted that the Factory does not utilize many elements like those proposed, and the nearby historic buildings should be the visual highlight. Staff recommends a significant redesign in order to ultimately be able to achieve a COA. Several comments from DRC meetings noted that the design felt inorganic and monotonous. When looking at the historic buildings on Main Street and throughout the historic districts, there is a significant variation of height, roof forms, fenestration patterns, and design of materials, which is supported by the DG. This allows each building to read differently in character, massing, and scale. This is also seen on the historic buildings on the Factory Campus.

Site Alterations

While it is the intent that the development entrance drive will skirt around the base of the hill, a retaining wall may be required. It is noted within the application that two retaining walls at the north of the property are proposed. One is proposed to be 6' and the other 7' in height. It is unknown what the length or material of the walls will be. Depending on the location of the retaining wall, it could impact the viewshed of the Franklin Road corridor. Additionally, there were questions at the site visit if a retaining wall would be needed between the existing buildings on Morningside Drive and the new development due to the existing topography. The Guidelines recommend that site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts. Additional information is needed on the impact of the proposed entrance drive on the hill and how it may impact the existing topography, or whether retaining walls will be required to hold the earth back around the base of the hill and any impact on the adjacent historic buildings. Some of the parking along the base of the hill is shown in green is proposed to be removed. In past DRC meetings, the removal of these parking spaces was supported, as it helped to preserve the historic vista of the hill from Franklin Road.

Signage

Several Modifications of Standards for signage are proposed to be utilized within the development. If they are approved by the Board of Mayor and Aldermen, the MOS changes the zoning standard to be the proposed language and opens the door to allow HZC to consider certain signage not in their guidelines, but all signage that doesn't meet the Guidelines would still require a COA issued by the HZC. Approval of MOSs doesn't guarantee approval of a COA.

1. Sign proportion and Shape-

The request to have the sign shape, such as a small hanging projecting sign, be irregularly shaped could be supported by the Guidelines, if the color, size, number of signs, and placement, and other recommendations are met by the proposed sign. However, it is suggested that the signage type for an irregular shape be limited to small hanging/projecting signs, as this has been approved at the Factory.

2. Canopy Sign-

This request is to have one canopy sign per tenant. It isn't clear how many canopy signs this MOS could create per building, which currently allows one per building façade. It is also requested to have the signage for the canopy project above or below the canopy. These requests would not align with the other signs within the HPO.

3. Vertical Blade Signs-

The MOS is requesting to increase the number of vertical blade signs to a maximum of one per commercial/mixed-use building where residential is on upper floors over commercial, and to allow it if other hanging signage is present. It is unknown how many of these signs are proposed, or where they will be located. Not enough information is known to be able to support this request.

Per a cursory Current Planning review, the roadway that is in front of building one (the northernmost building) is required to be parallel to the building. If the road has to stay at the proposed location, then a MOS must be requested.

RECOMMENDATION:

It is recommended that the HZC make a preliminary recommendation for denial of the proposal to the Franklin Municipal Planning Commission and the Board of Mayor and Aldermen for the elements of the proposal related to the Historic District Design Guidelines. Specifically, the elements of this proposal that do not meet the Guidelines are:

1. Design the height of new buildings to be consistent with the height of historic commercial buildings in the district, which should not exceed two to three stories or be any taller than the commercial buildings on Main Street.
2. Transition the height of new buildings to be within ten percent of the height of any adjacent historic building through the use of building stepbacks of 20 feet from the stories below, dividing the building into smaller parts to reduce effective visual bulk, and/or utilizing other techniques that break up the scale of a building.
3. New commercial construction in this context should be sensitive to rear adjacent historic residential structures.

Please note that at this preliminary stage, the HZC is providing an initial recommendation to FMPC and BOMA on whether this conceptual proposal, as presented today, meets the intent of the Guidelines. If the development plan is approved by the Board of Mayor and Aldermen, the HZC will further review the proposal for consideration of a Certificate of Appropriateness prior to site plan approval.



HARPETH VILLAGE

(PREVIOUSLY FACTORY DISTRICT NORTH)

HISTORIC ZONING COMMISSION | 10/13/2025

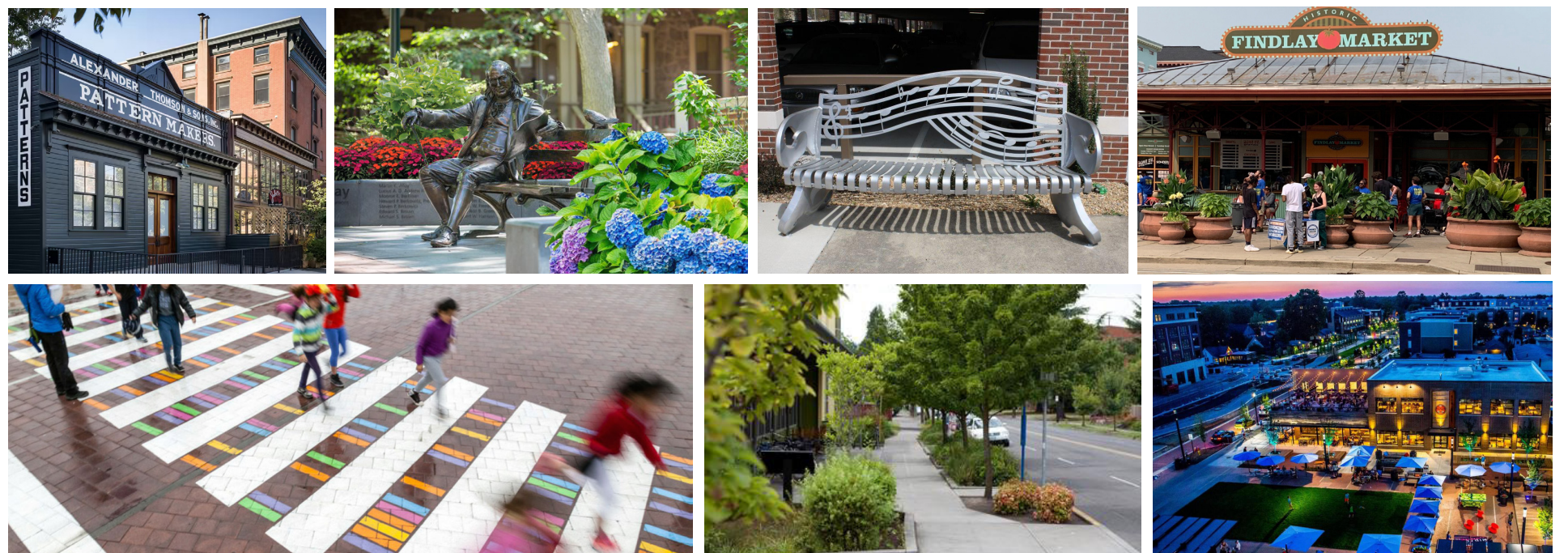
ENVISION FRANKLIN

The vision of the district is to **expand the types of uses found in the Factory at Franklin** to surrounding properties in order to create a **memorable destination**. The **vibrant uses** at the Factory at Franklin should extend beyond its walls and integrate into Harpeth Industrial Court. Key characteristics of the district should include **high-quality architecture, plazas, outdoor dining, art, tree-lined streets, and pedestrian and bicycle amenities**.

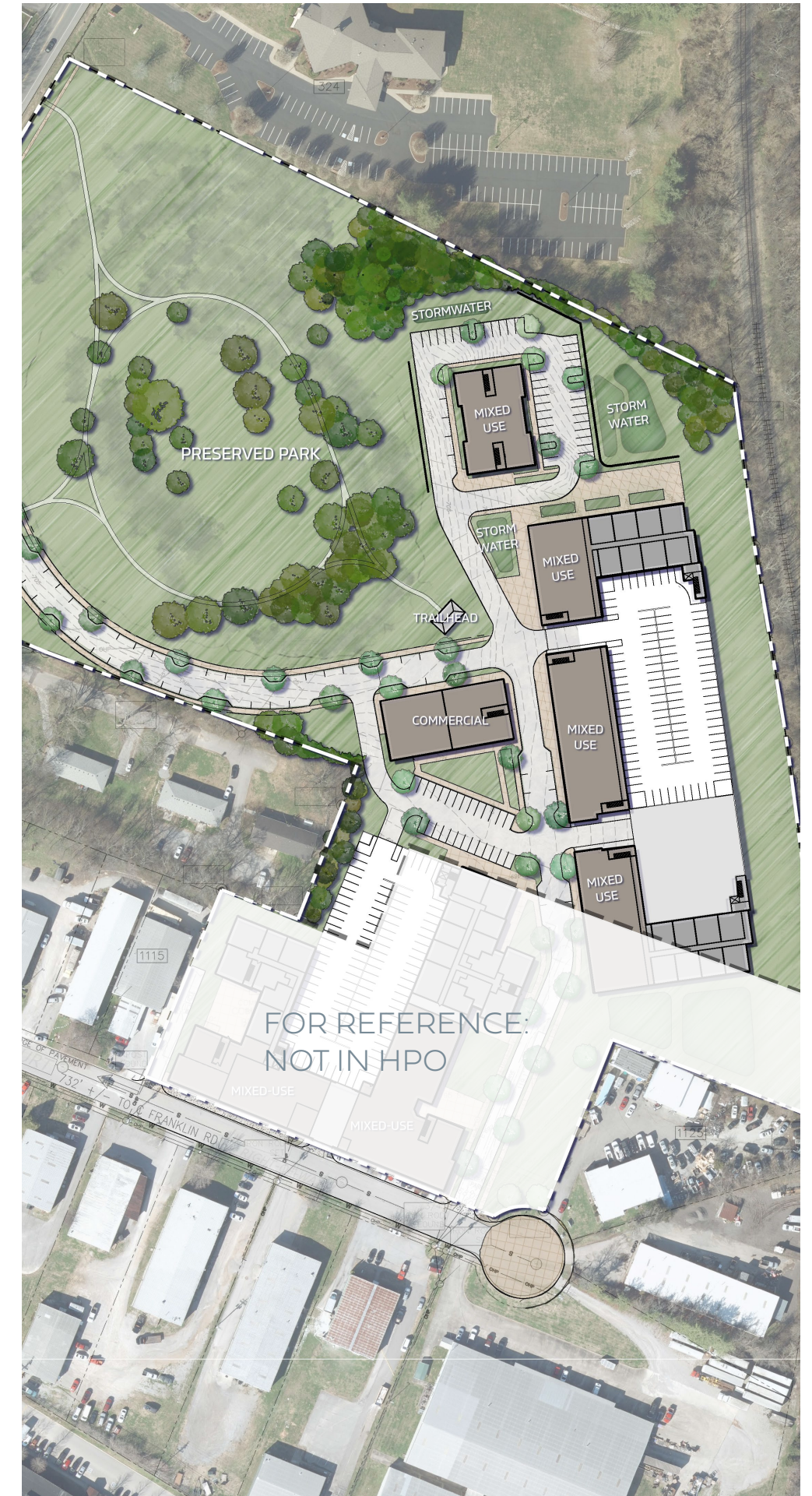
FACTORY DISTRICT

FORM		Character should be consistent with the Factory and be contextually sensitive to existing historic architecture, which should be preserved and maintained. See the Historic District Design Guidelines for additional guidance.
	Building Character	New buildings should consist of traditional and industrial character so as to continue the established rhythm and scale of the street. Materials should complement the existing brick facades of Jamison Station and the Factory.
		Multifamily uses are encouraged to have ground floor commercial spaces, including retail, restaurants, leasing offices, and other amenities, individually accessible from the street. When multifamily units are located on the first floor, individual ground floor entrances, stoops or front porches, and pedestrian connections to the street or to a drive resembling a street should be provided.

The images below represent the community’s desired architectural style and character within the Factory District, which are encouraged throughout the District.



PLAN CHANGES



PLAN REVISIONS

Realigned road based on engineering feedback from City of Franklin

Break up Buildings

- Previous center building: 277'
- New building length: 200'
- (Jameson Station Building: 250')

New commercial building at intersection is one-story on the side that faces Morningside and two stories on the side that faces interior to site.

Reduced building height.

Changed facade and massing of buildings.



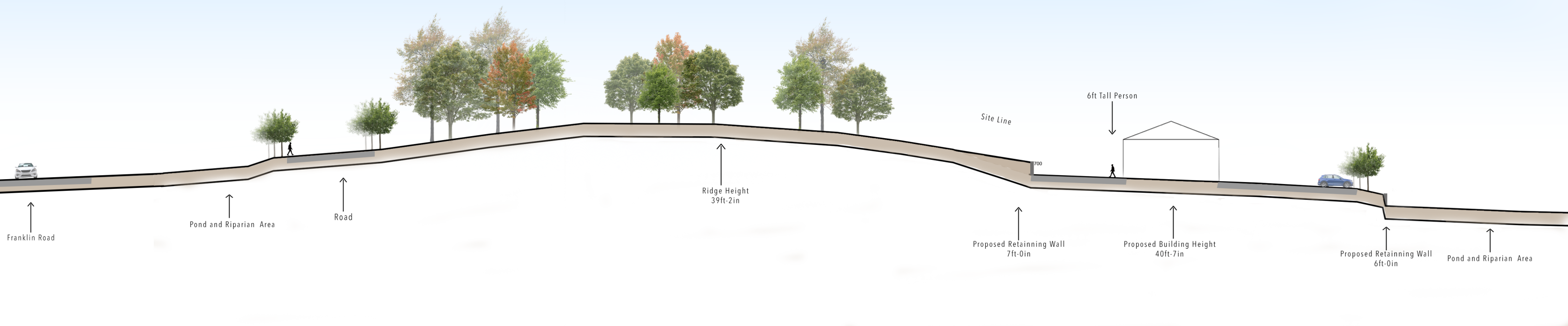
SITE BREAKDOWN



- PLAZA
- PARALLEL PARKING
- PARALLEL PARKING (TO BE REMOVED)
- RETAINING WALL

SITE BREAKDOWN

Proposed



HEIGHT ANALYSIS

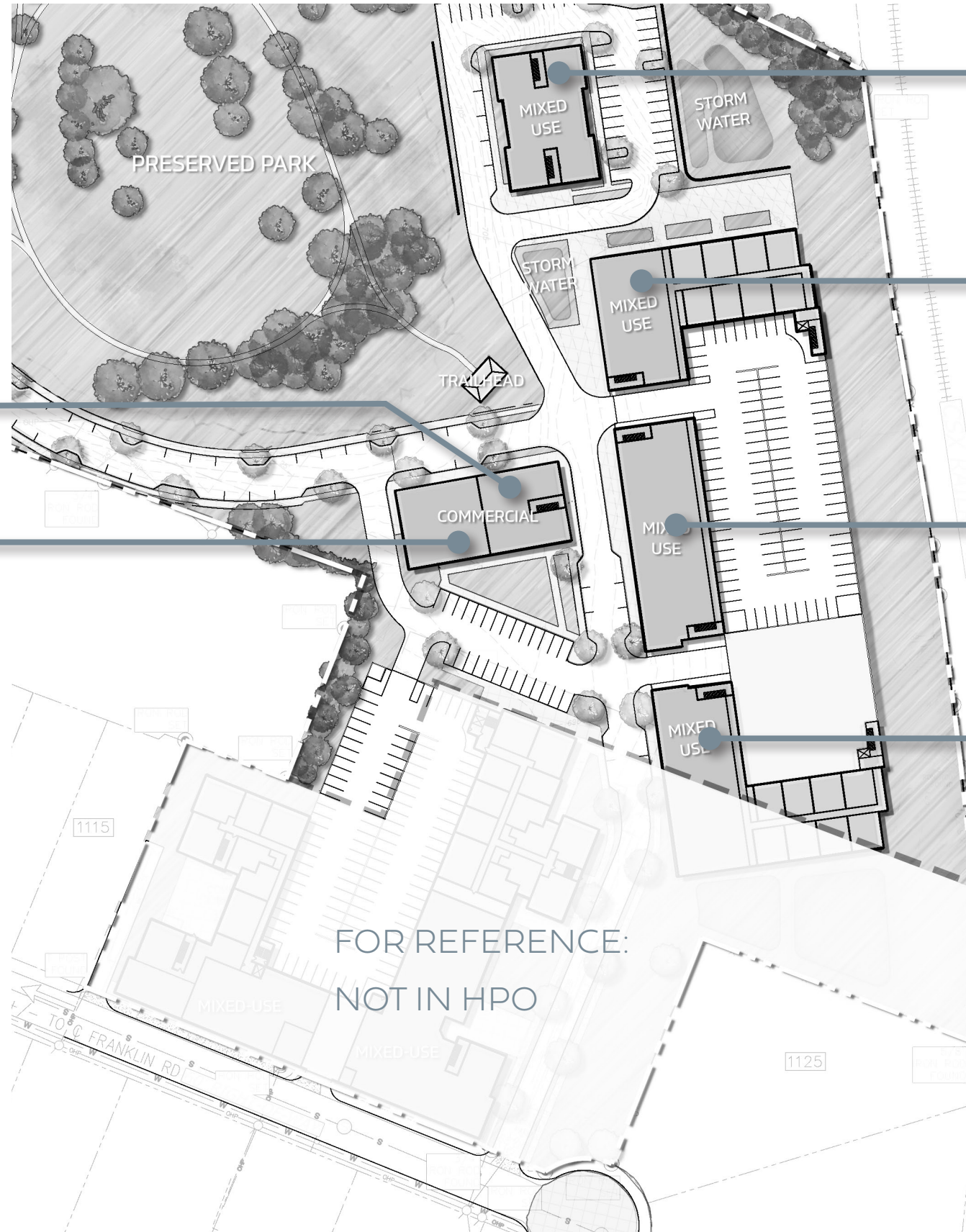
CHANGES IN HEIGHTS:

5/23/2025: 48'-10" TALLEST HEIGHT
 7/14/2025: 46' - 10" TALLEST HEIGHT
 9/15/2025: 42'-6" TALLEST HEIGHT

(42'-11" FACTORY HOTEL HEIGHT)

HEIGHT: 32'-6" TO TOP OF SECOND STORY

HEIGHT: 22' TO TOP OF PARAPET



HEIGHT: 39' - 2" RIDGE HEIGHT
 40'-7" PEAK OF GABLE

HEIGHT: 41' - 6" TOP OF PARAPET
 42' - 6" TOP OF HIGHEST PARAPET ELEMENTS

HEIGHT: 41' - 2" TOP OF PARAPET
 42' - 6" TOP OF HIGHEST PARAPET ELEMENTS

HEIGHT: 41' - 6" TOP OF PARAPET
 42' - 6" TOP OF HIGHEST PARAPET ELEMENTS

BUILDING TWO HEIGHT ANALYSIS



Bldg. - 2 - Elevation-1:
Scale 1/16" = 1'-0"

BUILDING TWO HEIGHT ANALYSIS



Bldg. - 2 - Elevation-2:
Scale 1/16" = 1'-0"

BUILDING TWO HEIGHT ANALYSIS



Bldg. - 2 - Elevation-3:
Scale 1/16" = 1'-0"

BUILDING TWO HEIGHT ANALYSIS



Bldg. - 2 - Elevation-1
Scale: 1" = 40'-0"

Bldg. - 2 - Elevation-2

Bldg. - 2 - Elevation-3

ARCHITECTURAL CHARACTER



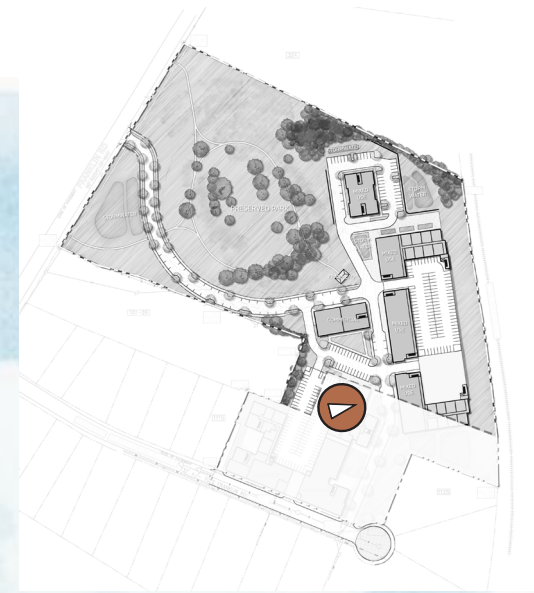
ARCHITECTURAL CHARACTER



ARCHITECTURAL CHARACTER



ARCHITECTURAL CHARACTER



ARCHITECTURAL CHARACTER



ARCHITECTURAL CHARACTER



ARCHITECTURAL CHARACTER



ARCHITECTURAL CHARACTER



MORNINGSIDE DRIVE VIEW (WITH TREES)



MORNINGSIDE DRIVE VIEW (WITHOUT TREES)

SIGNAGE MOS

Modification 1: Signs - Proportion and Shape

Section 15.1.3 Signs - Proportion and Shape: Signs shall not be irregularly shaped.

Modification Request: Permit Irregular shaped signage

Justification: Varied sign forms create a vibrant streetscape and support a more artistic district. Introducing a diversity of signage design supports these ideas and reflects the visual variety found in Historic Downtown Franklin.



Modification 2: Signs - Internal Illumination **[Removed Per HZC Comments]**

Section 15.1.6 Internal Illumination-

A. Internal illumination of signs shall be limited to light emanating only through the letters, numbers, logos, and accent lines.

E. Exposed neon and LED that is visible are prohibited and shall not be incorporated into the design of a principal building or accessory structure.

Modification Request: Permit Halo Lighting and LED Lighting.

Justification: Halo lighting and carefully integrated LED lighting will provide opportunities for subtle and refined illumination. When thoughtfully applied, these lighting techniques can highlight architectural features, improve the nighttime pedestrian experience, and reflect the best practices of the historic downtown commercial areas.



[Removed Per HZC Comments]



SIGNAGE MOS

Modification 3: Signs – Canopy Sign

Section 15.5 Signs – Canopy Sign

A sign that is attached to the front face of a canopy attached to a building

Quantity: Maximum of one sign per canopy per building façade and may be used only if no wall, band, or awning sign exists on the building façade.

Lighting: External illumination only, subject to Subsection 15.1.5, External illumination.

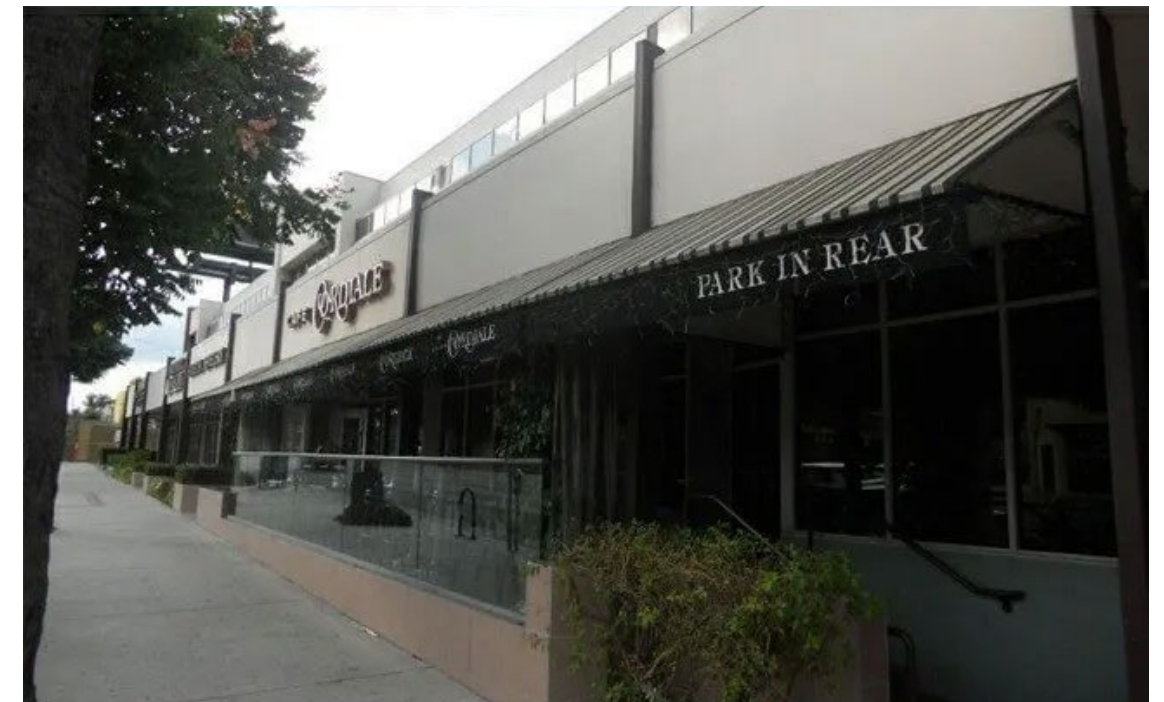
Placement: Shall not project above or below the canopy or be located above the building roof line.

Modification Request: Permit 1 per tenant

Modification Request: Allow to extend above or below the canopy

Modification Request: External illumination is permitted. Internal illumination is permitted when not visible from Franklin Road and the canopy is located for the ground floor entrance. [Removed per HZC Comments]

Justification: Allowing each tenant one sign on the building canopy improves visibility and helps with business identification. The changes to the sign location above or below a canopy helps in creating unique facade and aids in place-making. This directly supports the mission of creating walkable, attractive streets with “exceptional design”. These signage elements will also not be visible from Franklin Road and are hidden behind the hill.



SIGNAGE MOS

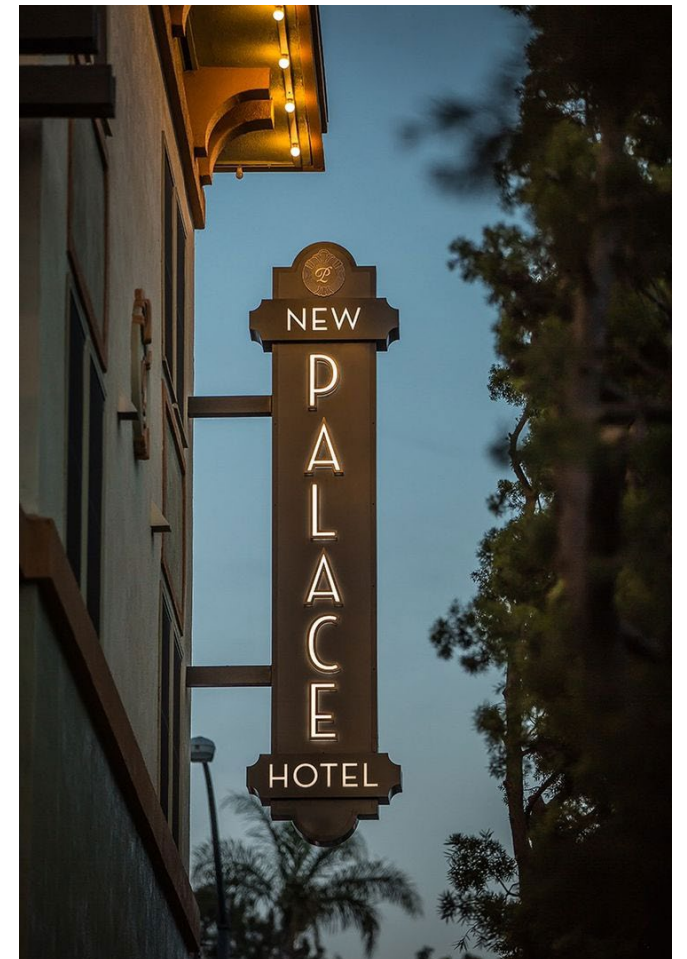
Modification 4: Sign – Vertical Blade Sign

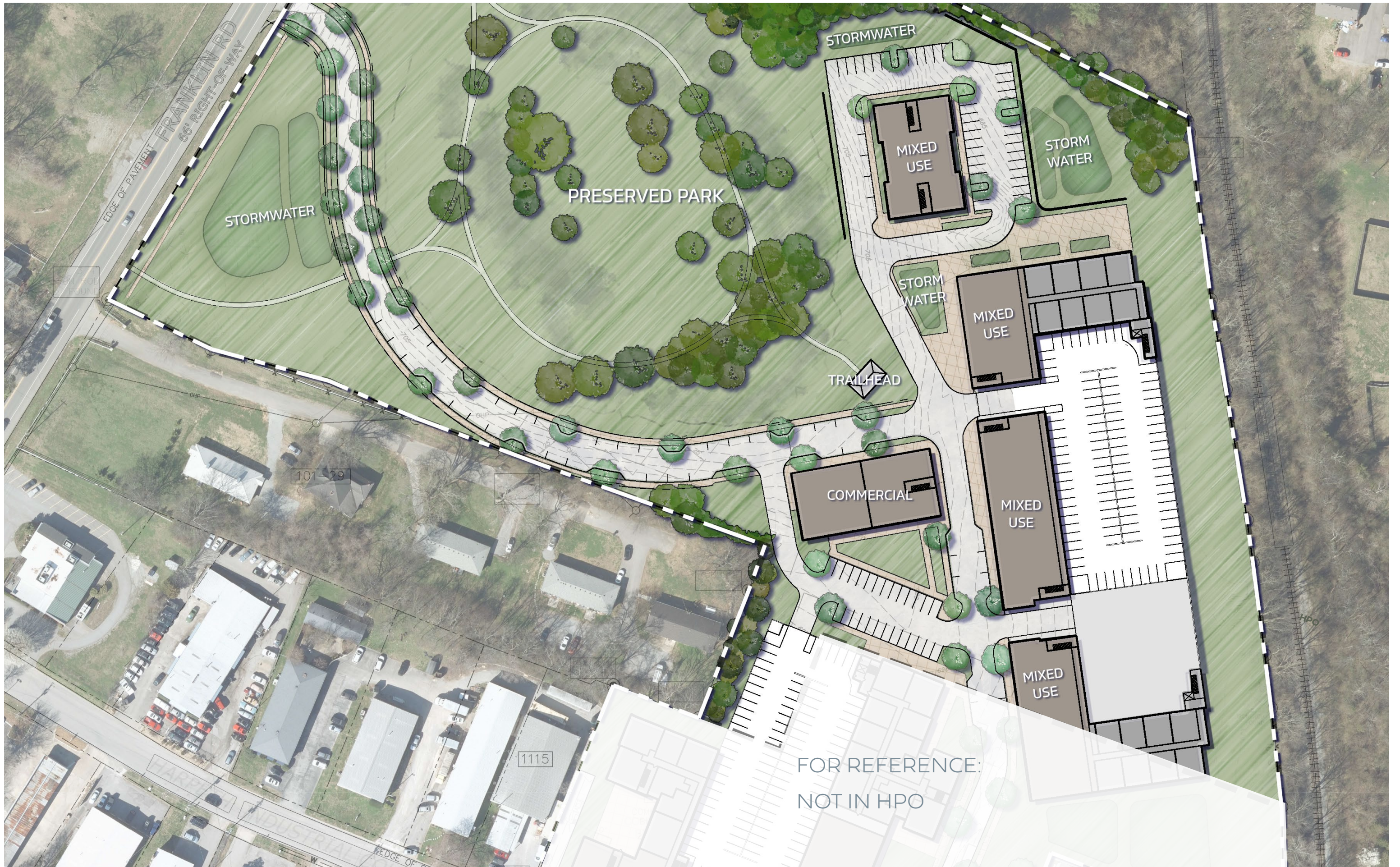
Section 15.14 Signs – Vertical Blade Sign

Quantity: Maximum of one per building frontage on a street intersection and may be used only if no other hanging sign exists on the ground floor retail storefront / tenant space below

Modification Request: A maximum of one per commercial / mixed use building where residential is on upper floors over commercial and allowed if other hanging signage is present.

Justification: Vertical blade signs will provide visual balance from the ground. Permitting these signs while other hanging signs are present supports effective wayfinding and a vibrant streetscape. Upholding the "exceptional design" principle within Envision Franklin, while enhancing character and functionality of mixed use buildings.





[SUPPLEMENTAL PACKET]

HARPETH VILLAGE
(PREVIOUSLY FACTORY DISTRICT NORTH)

HISTORIC PRESERVATION OVERLAY

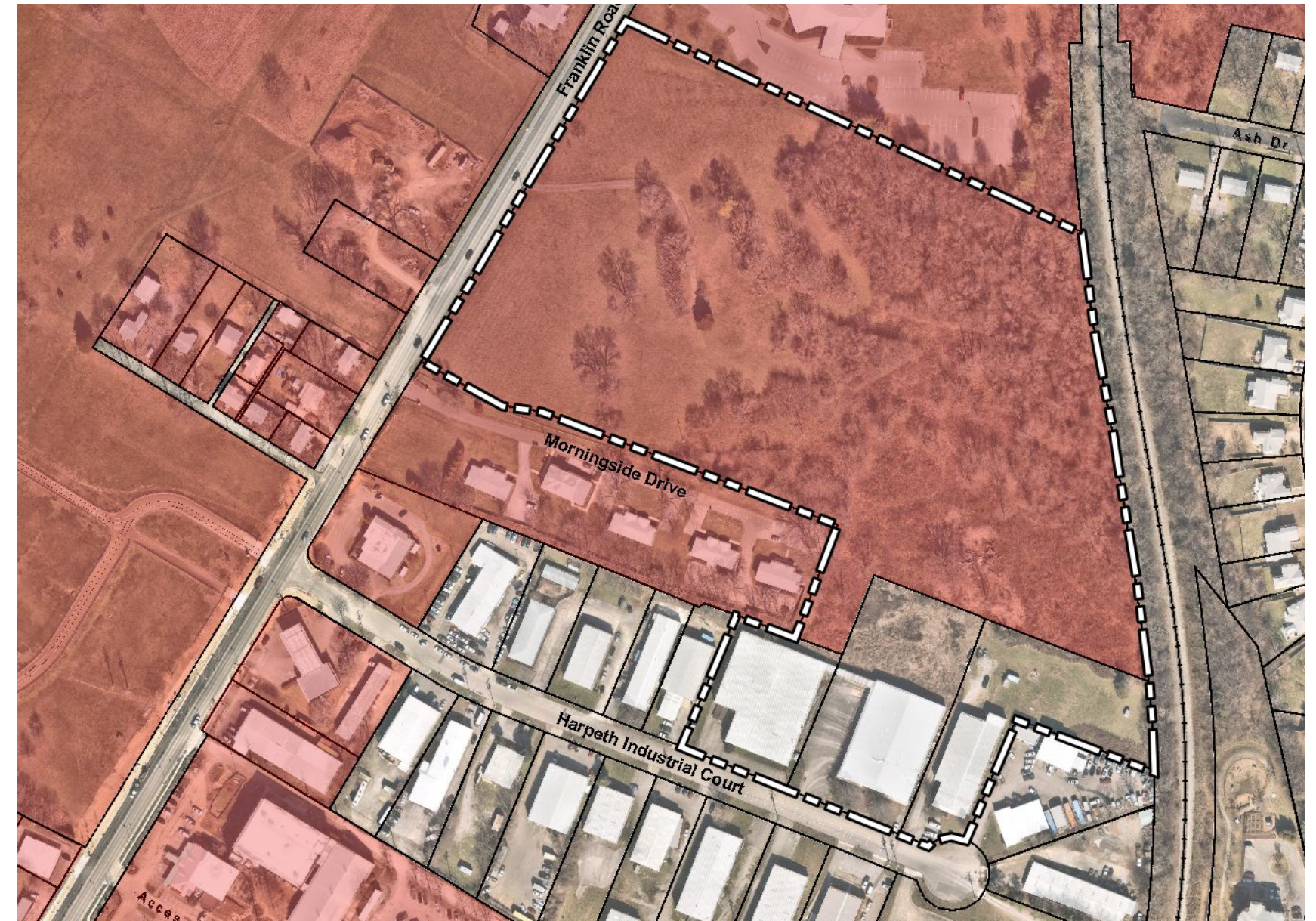
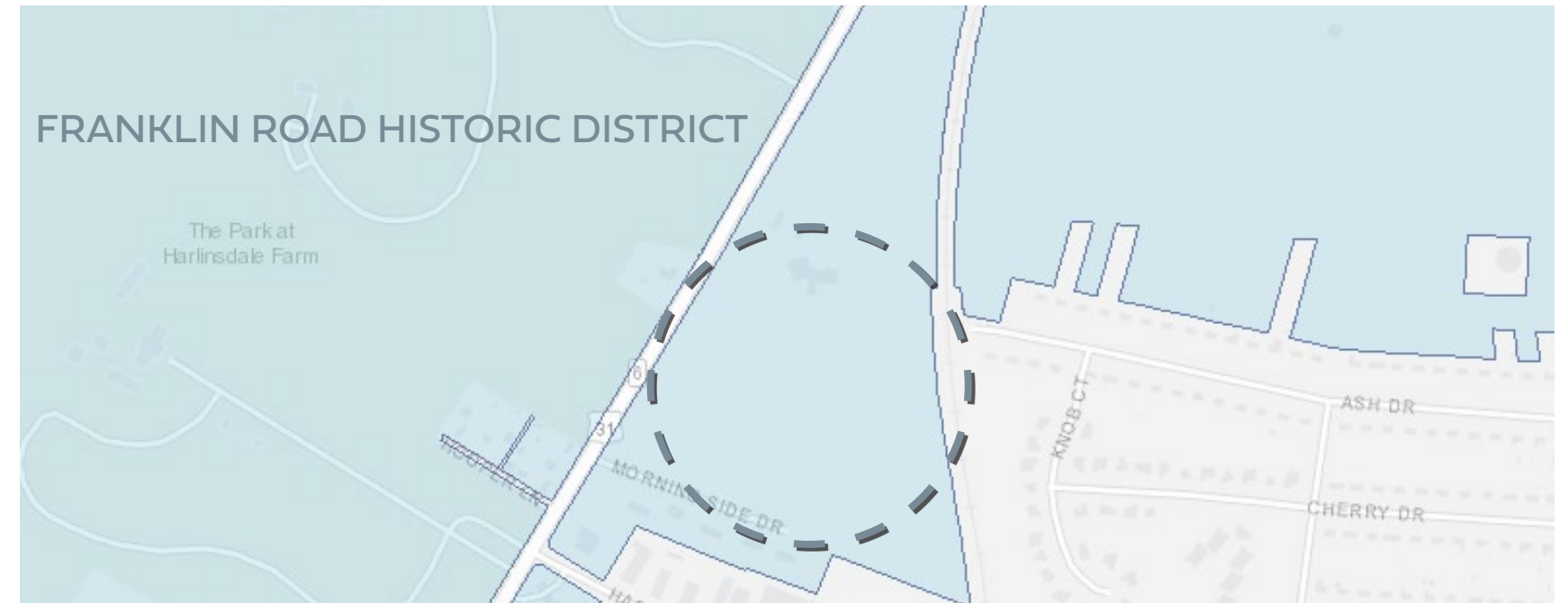
An important component of historic district integrity is ensuring that new development is compatible with the historic resources within it.

New buildings should reflect the key characteristics of the historic district in which they are proposed.

New buildings should be designed to be secondary in prominence to the historic structures on the site and in the district.

New buildings should not block the view of historic buildings from public viewsheds so that the historic buildings retain their prominence.

(page 18 of Franklin Historic District Design Guidelines)



HEIGHT ANALYSIS | MAIN STREET



HARPETH SQUARE THREE AND FOUR STORY HEIGHTS



NEW CITY HALL HEIGHT



RUBY SUNSHINE / FIRST HORIZON BANK HEIGHT

HEIGHT ANALYSIS | FACTORY DISTRICT



FACTORY HOTEL: 42'-11"

JAMISON STATION: 52'

HEIGHT ANALYSIS | FACTORY DISTRICT



JAMISON STATION HEIGHT



MORNINGSIDE DRIVE EXISTING HOMES

PRE 2020



CURRENT



DISTANCE ANALYSIS



COMMERCIAL BUILDING

EXISTING HOME



COA 331 Franklin
Rd. Site Alterations I C
FRANKLIN
TENNESSEE

Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

Address: 404 Bridge St. (Downtown Franklin Historic District)
Applicant: Anna Ham, YOUR Community Media
Owner: Matt Daniel, YOUR Community Media
Project #: 8899
Type of Work: Consideration of Signage (Reface of a Post-and-Panel and New Panels)

Status: Approval with conditions
(See “Approved Work Specifications” and Non-Approved Work Specifications Below)

Approval Date: September 9, 2025
Expiration Date: September 9, 2027 (if work has not commenced)
Reviewed By: Elizabeth Bulay

APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the reface of an existing post-and-panel sign located at 404 Bridge Street.

The Guidelines allow for administrative approval of post-and-arm signs if all recommendations are met.

- **Location:** The Guidelines state that the sign should be in a traditional front yard location and be perpendicular to the public sidewalk. The existing sign is in a traditional front yard location. The application does not propose to relocate the sign. The location is appropriate.
- **Quantity:** The Guidelines state that a maximum of one per building is recommended only if no post-and-arm sign exists. Only one post-and-panel sign exists on the site, and no changes are proposed to the quantity. The quantity is appropriate.
- **Sign Area:** The Guidelines state the recommended sign area maximum is 12 sq. ft. The existing sign is 48” x 36”, or 12 sq. ft. Four sign panels are proposed for the post-panel sign. The first panel proposed sign area is 48” x 28”, or 9.3 sq. ft. The second and third panels proposed is 7.3” x 7.9”, or .4 sq. ft. each. The fourth panel is 7.9”x 29.8”, or 1.63 sq. ft. The total proposed sign area amounts to 11.73 sq. ft. The proposed sign area for the reface and new panels is appropriate.

- **Height:** The Guidelines state that the maximum post height is 7 feet. The posts are existing and are not proposed to change height. The existing post height is appropriate. The Guidelines recommend that the proposed sign height from grade be a maximum of 6 feet. The proposed sign height is 6 feet. The height is appropriate.
- **Material:** The Guidelines state that the sign material should consist of a finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The proposed sign panel material is an aluminum composite material, and the proposed chain material is metal. The proposed materials are appropriate.
- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed sign utilizes the hex color #055ca8, or an azure blue, with white lettering. The proposed colors are appropriate.
- **Illumination:** No illumination is proposed.

APPLICABLE GUIDELINES

Chapter 8 – Signs

APPROVED WORK SPECIFICATIONS

The post-and-panel reface and new panels are **approved** with the following conditions:

- The sign must utilize a matte background finish to align with the Guidelines.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

Emily Huffer | Preservation Planner
 Planning & Sustainability Department
 City of Franklin, Tennessee
 615.550.6795 | <http://www.franklintn.gov/>

Sign Material: Aluminum composite
Chain Material: Metal

Main Sign:
48" x 28.014"

Your COMMUNITY

COMMUNITY



COLLECTIVE

MEDIA

PUBLISHING | EVENTS | CREATIVE



7.3395" x 7.986"

7.986" x 29.8283"

YOUR *Williamson*
A DISTINCTIVELY SOUTHERN PLACE

7.3395" x 7.986"

SOCIETY
1799

OWNER AFFIDAVIT

City of Franklin, Tennessee

When an application is not filed by the owner of the property, the City requires documentation that the owner of the property is aware of an application being filed on their behalf.

I/We 404 Bridge Sr. Ct / Matt Daniel
(please print name(s) as listed on deed; if property owner is a company, provide full company name plus specific name(s) of representative)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

078CA 002.00 000
(Property Parcel/Tax ID Number)

and located at:
404 Bridge Sr. Franklin TN 37064
(Street Address)

I am/We are fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Matt Daniel
(Please print name(s) in Full - This should be the applicant listed in IDT)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Signature]
Owner Signature

Additional Owner Signature, if applicable

404 Bridge Sr.
Property Owner Mailing Address

Franklin TN 37064
City, State & Zip

Subscribed and sworn to before me this

15th day of July, 2025.

Tamara H Ashker
Notary Public



My Commission Expires: 01-22-2029

Law Dept approved (2) 05.13.24



Project Overview **#1836900**

Project Title: 404 Bridge Street	Jurisdiction: Franklin
Application Type: 08b) Administrative Certificate of Appropriateness (COA)	State: TN
Workflow: COA Administrative Default	County: Williamson

Required Administrative Review COA Application Supporting Materials

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

Signage:

- Description of project
- Specification information that illustrates how proposed signage will look, including notes on dimensions, height from grade, materials, and colors
- Photographs of installation locations
- Signed and notarized owner affidavit

Rear Yard Fencing:

- Description of project
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
- Site plan that demonstrates proposed location/perimeter of fencing
- Photographs of project site location
- Signed and notarized owner affidavit
- **Note: Primary yard fencing does not qualify for administrative review**

Awnings:

- Description of project
- Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
- Specification information for proposed awning materials
- Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
- Signed and notarized owner affidavit

HVAC Equipment and/or Related Screening:

- Description of project
- Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
- Site plan demonstrating proposed location of equipment and/or screening
- Photographs of project site location
- Signed and notarized owner affidavit

Minor Alterations:

- Description of project
- Specifications for all materials within scope of work

- Site plan/Aerial Image of the project location demonstrating visibility from public view
- Photographs and documentation of the existing conditions within scope of work
- Renderings and Plans of proposed work
- Signed and notarized owner affidavit

Note: The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

Owner Affidavit

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

Contact Information - Project Contact

Project Contact

Anna Ham
 YOUR Community Media
 404 Bridge Street
 Franklin, TN 37064
 P:615-465-6046
anna@yourcommunity.media

Property Owner

Property Owner

Matt Daniel
 YOUR Community Media
 404 Bridge Street
 Franklin, TN 37064
 P:6154656046
Matt@Daniel-Christian.com

Address

Project Address or Parcel: 404 BRIDGE ST (078C-A00200)

Calculated Acreage: Parcel

- 404 BRIDGE ST: 0.14994462

Scenic Corridor Overlay:

Hillside/Hillcrest Overlay:

Flood Fringe Overlay:

500ft Buffer of Hillside Overlay:

Type of Work Proposed: Signage

Height of Overall Sign: 6

Indicate shape/dimensions of window or door over which

Columbia Avenue Overlay:

Zoning District: Zoning Districts

- 404 BRIDGE ST: OR

Central Franklin Overlay:

Historic Preservation Overlay: Historic Preservation Overlay

- 404 BRIDGE ST: Historic Preservation Overlay

Floodway Overlay:

Type of Signage Proposed: Post & Panel

Height of Sign Face or Sign Area: 3

Fence Material: Aluminum Composite

proposed awning will be affixed.:

HVAC Type:

Narrative

Project Description:

Submitting a new project for new signage that will be different color and design with our new branding logos. This attached document includes the dimensions of all of the signs and the material. Max square footage of all signs combined is 10 feet .075 inches.



HISTORIC
FRANKLIN
TENNESSEE

Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

Address: 230 Franklin Rd. (Bldg. 13 Suite 1302) (Franklin Road Historic District)
Applicant: Henry Roberts
Owner: Factory Partners, LLC.
Project #: 8923
Type of Work: Consideration of Signage (Band and Window)

Status: Approval with conditions
(See “**Approved Work Specifications**” Below)

Approval Date: September 9, 2025
Expiration Date: September 9, 2025 (if work has not commenced)
Reviewed By: Elizabeth Bulay

APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the installation of a band sign and window signage for the new tenant, Two Hands, at 230 Franklin Road at the Factory.

The Guidelines allow for administrative approval of signs if all recommendations are met.

Band Sign:

- **Quantity:** The Guidelines state that a maximum of 1 per main entrance per retail storefront/tenant space on the ground floor, if no wall sign exists on the building. One band sign is proposed, and no wall sign exists on the building for the tenant space. This is the first sign proposed of the recommended 3-sign maximum. The quantity proposed is appropriate.
- **Location:** The Guidelines state that a band sign should be placed within the flat fascia above the entrance, vertically aligned with the center of an architectural element such as a retail storefront/tenant space entrance or centered over the overall space occupied by the business. The proposed location, above the main entrance to the tenant space, is appropriate.
- **Sign Area:** The Guidelines state the sign area may be a maximum of 1 square foot per linear foot of width of building facade or retail storefront/tenant space. The proposed sign

is 36" x 57", or 14.25 sq. ft. The proposed area is less than the linear width of the tenant space. The proposed sign area is appropriate.

- **Thickness & Projection:** The Guidelines state that the sign thickness should be a maximum of 2" and the sign projection should be a maximum of 6" from the building. The proposed sign is 2" thick and is flush to the building. The proposed thickness and projection are appropriate.
- **Material:** The Guidelines state to use finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The sign consists of an Aluminum Composite Material (ACM) sign panel and lettering. The proposed materials are appropriate.
- **Design:** The Guidelines state that the design should utilize a maximum of 3 colors, with a darker background color than the lettering color and use muted colors that complement the facade, although vibrant colors may be considered as an accent. The design features a black background with white lettering. The proposed design is appropriate.

Window Sign:

- **Quantity:** The Guidelines recommend a total of 3 signs for a retail/tenant space. The proposed window sign is the second and final sign type proposed. The quantity of signs is appropriate for a total of two signs.
- **Sign Area:** The Guidelines state that a maximum of 15 percent of an individual window area or in cases where windows are grouped, the sign area shall not exceed 15 percent of the window grouping area. The window sign proposed is 22" by 28", or 4.2 sq. ft. The window area is 76"x28", or 14.7 sq. ft. The sign area is 28% of the window area and is not appropriate.
- **Placement:** The Guidelines state that window signage must be fully within the interior of the building and attached directly to or mounted within 12 inches of the inside of the business. The placement of the signage is not indicated within the application, but shall be fully within the interior to comply with Zoning Ordinance regulations.
- **Material:** The Guidelines state that when using decals, use individual letters and graphics with a transparent background. The proposed background is transparent, and the lettering appears as individual letters. The proposed material is appropriate.
- **Color:** The Guidelines state that a maximum of 2 colors, using only light tones or only dark tones, but not a combination of the two. Use muted colors that complement the facade, although vibrant colors may be considered as an accent. The proposed window sign will utilize blue for the lettering. The proposed color is appropriate.

APPLICABLE GUIDELINES

Chapter 8 – Signs

APPROVED WORK SPECIFICATIONS

The band sign and window sign are **approved** with the following conditions:

- The window sign must be reduced in size not to exceed 15% of the window area.
- The window sign must be applied fully within the interior of the building.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

Emily Huffer | Preservation Planner
Planning & Sustainability Department
City of Franklin, Tennessee
615.550.6795 | <http://www.franklintn.gov/>

FRONT SIDE

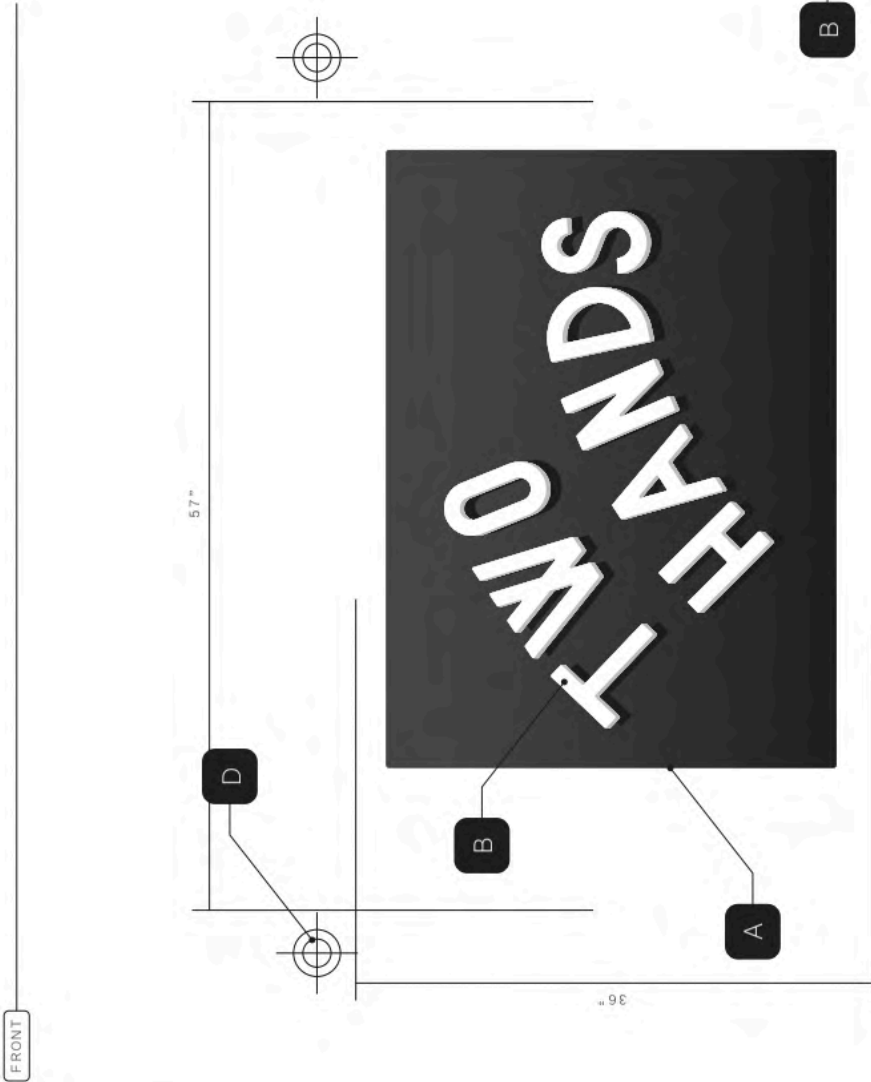
Band Sign

Letters pin-mounted to facade on 2" standoffs. Sign to be spot lit with canopy lights.

Quantity	1
Electrical	120v, ~1a
UL No.	N/A
Surface	Brick
Mounting	Pin-mount

(KEY)

- A → 1/4" THICK PAINTED ACM PANEL
- B → 1/2" THICK PAINTED LETTERS
- C → MASONRY SCREWS
- D → APX CANOPY LIGHT PLACEMENT





28"

22"

RESTAURANT HOURS
monday to sunday

coffee
8 A.M. - 6 P.M.

food
8 A.M. - 9 P.M.

**PLEASE SEE HOST AT THE
INSIDE ENTRANCE**

28"

76"

**TWO
HANDS**

RESTAURANT HOURS
monday to sunday

coffee
7 A.M. - 6 P.M.

food
8 A.M. - 9 P.M.

**PLEASE SEE HOST AT THE
INSIDE ENTRANCE**

PET POLICY

Please note, we do not allow animals inside.
Service animals specifically trained to aid
a person with a disability are welcome.
Emotional support animals and pets are not
permitted inside but are welcome outdoors.

SMOKE-FREE BUILDING
NO SMOKING OR ELECTRONIC CIGARETTE USE



OWNER AFFIDAVIT
City of Franklin, Tennessee

We/ FACTORY PARTNERS, LLC
(Please print Name/Names in Full)
being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

TAX MAP 63M, GROUP A, PARCEL 21.00
(Property Parcel/Tax ID Number)
and located at:
230 FRANKLIN RD, FRANKLIN TN 37064
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint
DAVID CLICK

(Please print Name/Names in Full)
to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

David Click
Signature
1009 3rd AVENUE N. - SUITE 200
Property Owner Mailing Address
NASHVILLE, TN 37201
City, State & Zip

Subscribed and sworn to before me this
7th day of August, 2025.
Tami A. Pryce
Notary Public
My Commission Expires: 10/26/26





Project Overview #1817930

Project Title: 230 Franklin Rd, Suite 1302, Franklin, TN 37064 Jurisdiction: Franklin
Application Type: 08b) Administrative Certificate of Appropriateness (COA) State: TN
Workflow: COA Administrative Default County: Williamson

Required Administrative Review COA Application Supporting Materials

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

Signage:

- Description of project
Specification information that illustrates how proposed signage will look, including notes on dimensions, height from grade, materials, and colors
Photographs of installation locations
Signed and notarized owner affidavit

Rear Yard Fencing:

- Description of project
Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
Site plan that demonstrates proposed location/perimeter of fencing
Photographs of project site location
Signed and notarized owner affidavit
Note: Primary yard fencing does not qualify for administrative review

Awnings:

- Description of project
Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
Specification information for proposed awning materials
Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
Signed and notarized owner affidavit

HVAC Equipment and/or Related Screening:

- Description of project
Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
Site plan demonstrating proposed location of equipment and/or screening
Photographs of project site location
Signed and notarized owner affidavit

Minor Alterations:

- Description of project
Specifications for all materials within scope of work

- Site plan/Aerial Image of the project location demonstrating visibility from public view
- Photographs and documentation of the existing conditions within scope of work
- Renderings and Plans of proposed work
- Signed and notarized owner affidavit

Note: The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

Owner Affidavit

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

Contact Information - Project Contact

Project Contact

Henry Roberts
 Two Hands
 230 Franklin Rd, Suite 1302, Suite 1302
 Franklin, NY 37064
 P:7187371458
henry@twohandshospitality.com

Property Owner

Property Owner

Henry Roberts
 Two Hands
 230 Franklin Rd, Suite 1302, Suite 1302
 Franklin, NY 37064
 P:7187371458
henry@twohandshospitality.com

Address

Project Address or Parcel: 230 FRANKLIN RD (063M-A02100)

Calculated Acreage: Parcel

- 230 FRANKLIN RD: 20.04685028

Scenic Corridor Overlay:

Hillside/Hillcrest Overlay:

Flood Fringe Overlay:

500ft Buffer of Hillside Overlay:

Type of Work Proposed: Signage

Height of Overall Sign: 3

Columbia Avenue Overlay:

Zoning District: Zoning Districts

- 230 FRANKLIN RD: PD

Central Franklin Overlay:

Historic Preservation Overlay: Historic Preservation Overlay

- 230 FRANKLIN RD: Historic Preservation Overlay

Floodway Overlay:

Type of Signage Proposed: Wall-Mounted

Height of Sign Face or Sign Area: 4

Indicate shape/dimensions of window or door over which proposed awning will be affixed.: Fence Material: NA

HVAC Type: Equipment Installation

Narrative

Project Description:

A store front sign which is wall mounted and specked based on design requirements for The Factory. The sign is 3 x 4 ft black with our white Two Hands logo centered. The sign is wall mounted above the side door entrance facing the carpark. There is also a decal on that side door which has our logo and hours of operation. It is stuck to the glass element of the door.



HISTORIC
FRANKLIN
TENNESSEE

Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

Address: 346 Main St. (Downtown Franklin Historic District)
Applicant: Heather Joel
Owner: Sam Harwell and Legacy One, GP.
Project #: 8919
Type of Work: Consideration of Signage (Band)

Status: Approval with conditions
(See “**Approved Work Specifications**” Below)

Approval Date: September 10, 2025
Expiration Date: September 10, 2027 (if work has not commenced)
Reviewed By: Elizabeth Bulay

APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the installation of a new band sign located at 346 Main Street for the tenant, The Green Room.

The Guidelines allow for administrative approval of band signs if all recommendations are met.

- **Location:** The Guidelines state to place a band sign within the flat fascia above the entrance, vertically aligned with the center of an architectural element such as a retail storefront/tenant space entrance or centered over the overall space occupied by the business. There are two options proposed for the placement of the band sign. The first location proposed is on the fascia/trim above the covered entrance into the retail tenant space and will be centered within the space. The second option proposed is above the fascia/trim in front of the transom windows. The second location proposed is not a traditional placement for a band sign and is not appropriate. The first location proposed is appropriate.
- **Quantity:** The Guidelines state that a maximum of 1 band sign per main entrance, per retail storefront/tenant space on the ground floor is recommended, if no wall sign is present on the building. One band sign is proposed, and there is no wall sign present on the building. This is the third of the three recommended signs for a tenant (Two window signs and one proposed band sign). The quantity proposed is appropriate.
- **Sign Area:** The Guidelines state the recommended sign area maximum is 1 square foot per linear foot of width of building facade or retail storefront/tenant space. The proposed sign

is 6.5" x 78", or 3.5 sq. ft., and the linear width of the building façade is 25.5. The sign area is appropriate.

- **Thickness & Projections:** The Guidelines state that sign thickness can be a maximum of 2" and project a total of 6" from the wall. The proposed sign is .5" thick and will be flush with the building. The proposed thickness and projection are appropriate.
- **Material:** The Guidelines state that the material should be finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The proposed material is finished wood for the lettering. The material is appropriate.
- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed pin lettering color is black on the white storefront.
- **Illumination:** No illumination is proposed.

APPLICABLE GUIDELINES

Chapter 8 – Signs

APPROVED WORK SPECIFICATIONS

The band sign is **approved** with the following conditions:

- The band sign must be installed in the first proposed location, on the fascia/trim above the entrance. *The sign shall not be installed above the trim, in front of the transom windows.*
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

Emily Huffer | Preservation Planner
Planning & Sustainability Department
City of Franklin, Tennessee
615.550.6795 | <http://www.franklintn.gov/>



THE GREEN ROOM

FLOWERS DON'T FIGHT

LOVE GROW

THE GREEN ROOM
SIMPLY & INDIVIDUALLY AFFORDABLE
GIFTS AND MORE

THE GREEN ROOM
GOOD THINGS FOR A HAPPY PLANET
FALL TREES • PLANT BASES • MADE WITH LOVE



THE GREEN ROOM

LET LOVE GROW

THE GREEN ROOM
GOOD THINGS FOR A HAPPY PLANET
FAIR TRADE • PLANT-BASED • MADE WITH LOVE

PICK FLOWERS NOT FIGHTS

THE GREEN ROOM
ENJOY A DELICIOUSLY SUSTAINABLE
GIFTS AND HOME

From: [Heather Joel](#)
To: [Elizabeth Bulay](#)
Subject: Re: COA Review Questions for 346 MAIN ST
Date: Monday, September 8, 2025 2:27:23 PM
Attachments: [Screenshot 2025-08-13 at 12.51.21 PM.png](#)
[Screenshot 2025-08-12 at 12.38.23 PM.png](#)
[Screenshot 2025-03-16 at 4.49.03 PM.png](#)

ATTENTION COF staff: This email originated from outside the City of Franklin. Please use discretion when clicking on attachments & links from unknown senders or suspicious emails.

Hey Elizabeth!

Thanks for your patience! I just got back in town and am now catching up on my CRAZY BIG list! Here are my answers to your questions:

Option #1 (Mounted to the window ledge)

1. 6" tall X 6.5' long
2. Thickness of letters = .5 inches
3. Height From Sidewalk = 9.3 FT (mounted on lower window ledge)
4. Linear width of storefront = 25.5 ft
5. We were planning to bottom mount them directly to the wooden window ledge



Option #2

1. 6" tall X 6.5' long
2. Thickness of letters = .5 inches
3. Height From Sidewalk = 8.5 FT
4. Linear width of storefront = 25.5 ft
5. We were planning to mount them directly to the moulding



Let me know if you have any more questions!

Thanks a MILL!
Heather

On Aug 29, 2025, at 9:55 AM, Elizabeth Bulay <elizabeth.bulay@franklintn.gov> wrote:

Good morning!

I am in the process of wrapping up the review for the Administrative COA for the signage at 346 Main Street, and just have a few questions that I needed additional information/clarification about. Please see the list of items below:

- Dimensions of signage (Height and Length of the lettering)
- Sign lettering thickness and projection from the building
- Height from the sidewalk to the sign location
- Linear width of the storefront space
- Will the sign be individual pin mounted lettering?

I have attached an image with the example measurements that will be needed. As soon as the information is provided to staff, we can complete the review! Please let us know if you have any questions or concerns. Thank you and have a fantastic day!

<image001.png> Elizabeth Bulay
Assistant Preservation Planner • 615-550-6737
City of Franklin • Planning & Sustainability 120 9th Ave. S. • Franklin, TN, 37064

This message has been prepared on resources owned by the City of Franklin, Tennessee. It is subject to the City's Policy for the Use of Computers, Internet and Email. Messages that are received or created by any City staff member may be a public record subject to Tennessee Open Records Act, T.C.A. §10-7-503, et seq., and the rules of the Open Records Commission. DO NOT COPY OR FORWARD TO UNAUTHORIZED PERSONS. This message may contain confidential information and is intended only for the use of the specific individual(s) to which it is addressed. If you are not an intended recipient of this message, you are hereby notified that any unauthorized use, dissemination or copying of this email or any information it contains is strictly prohibited. If you have received this message in error, please delete it and immediately notify the sender by reply email. Unless expressly stated, this email does not constitute an agreement to conduct transactions by electronic means and does not create a binding contract or enforceable obligation.

<346 Main St. Dimensions Needed.png>



Heather Joel
heather@thegreenroomfranklin.com
346 Main St
Franklin, TN
37064

OWNER AFFIDAVIT

City of Franklin, Tennessee

When an application is not filed by the owner of the property, the City requires documentation that the owner of the property is aware of an application being filed on their behalf.

I/We Sam K. Harwell & Legacy One, G.P.
(please print name(s) as listed on deed; if property owner is a company, provide full company name plus specific name(s) of representative)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

078C-101400

(Property Parcel/Tax ID Number)

and located at:

346 Main St.

(Street Address)

I am/We are fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Phil Joel

(Please print name(s) in Full - This should be the applicant listed in IDT)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Signature]
Owner Signature

[Signature], G.P. Legacy One, G.P.
Additional Owner Signature, if applicable

413 W. Tyne Dr., Nashville, TN 37205
Property Owner Mailing Address

Nashville, TN 37205
City, State & Zip

Subscribed and sworn to before me this

15 day of August, 2025.

[Signature]
Notary Public

My Commission Expires: September 21, 2025





Project Overview

#1836686

Project Title: 346 MAIN ST

Jurisdiction: Franklin

Application Type: 08b) Administrative Certificate of
Appropriateness (COA)

State: TN

Workflow: COA Administrative Default

County: Williamson

Required Administrative Review COA Application Supporting Materials

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

Signage:

- Description of project
- Specification information that illustrates how proposed signage will look, including notes on dimensions, height from grade, materials, and colors
- Photographs of installation locations
- Signed and notarized owner affidavit

Rear Yard Fencing:

- Description of project
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
- Site plan that demonstrates proposed location/perimeter of fencing
- Photographs of project site location
- Signed and notarized owner affidavit
- **Note: Primary yard fencing does not qualify for administrative review**

Awnings:

- Description of project
- Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
- Specification information for proposed awning materials
- Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
- Signed and notarized owner affidavit

HVAC Equipment and/or Related Screening:

- Description of project
- Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
- Site plan demonstrating proposed location of equipment and/or screening
- Photographs of project site location
- Signed and notarized owner affidavit

Minor Alterations:

- Description of project
- Specifications for all materials within scope of work
- Site plan/Aerial Image of the project location demonstrating visibility from public view
- Photographs and documentation of the existing conditions within scope of work
- Renderings and Plans of proposed work
- Signed and notarized owner affidavit

Note: The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

Owner Affidavit

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

Contact Information - Project Contact

Project Contact

Heather Joel
The Green Room
100 4th Avenue North
Franklin, TN 37064
P:6154007733
heather@thegreenroomfranklin.com

Property Owner

Property Owner

SAM HARWELL
LEGACY ONE LLC
413 W TYNE BLVD
NASHVILLE, TN 37205
P:615-975-6400
sam.harwell@bigtimetoys.com

Address or Parcel

Project Address or Parcel: 346 MAIN ST (078C-M01400)

Calculated Acreage: Parcel

- 346 MAIN ST: 0.09748646

Scenic Corridor Overlay:

Hillside/Hillcrest Overlay:

Flood Fringe Overlay:

500ft Buffer of Hillside Overlay:

Type of Work Proposed: Signage

Height of Overall Sign: 1

Indicate shape/dimensions of window or door over which proposed awning will be affixed.:

HVAC Type:

Columbia Avenue Overlay:

Zoning District: Zoning Districts

- 346 MAIN ST: DD

Central Franklin Overlay:

Historic Preservation Overlay: Historic Preservation Overlay

- 346 MAIN ST: Historic Preservation Overlay

Floodway Overlay:

COF Number of Site Plan: 078C-M01400

Type of Signage Proposed: Wall-Mounted

Height of Sign Face or Sign Area: 1.5

Fence Material: N/A

Narrative

Project Description:

Hello!

We are wanting to install 6" wooden letters to the 8" moulding above our entrance. The Lettering would be the name of our store: THE GREEN ROOM.

I have 2 photos that I emailed to Emily Huffer of options we'd like to pursue...either works for us, but we are partial to the letters being installed on the window moulding if that could work! Obviously, we want to be in compliance, so we will be happy either way!

I'm unable to see how to attach photos to this application but can provide them via email OR I do know Emily has them!??

P.S. (The previous page wouldn't allow me to enter a number under 1 ft - Ben Onisa advised me to do the lowest measurement possible so I could move past that screen and continue the application process and to clarify here in the description as to the discrepancy in the letter height!)

Thanks MUCH!

Heather Joel

615-400-7733



Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

Address: 161 Splendor Ridge Dr. (Franklin Road Historic District)
Applicant: Sherri Jones
Owner: Paul Brust
Project #: 8940
Type of Work: Minor Alteration on Rear (Non-Historic Building Pergola)

Status: Approval with conditions
(See “**Approved Work Specifications**” Below)

Approval Date: September 17, 2025
Expiration Date: September 17, 2027 (if work has not commenced)
Reviewer: Elizabeth Bulay

APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for a minor alteration on the rear of a non-historic building located at 161 Splendor Ridge Drive. The proposal is to install a 96” x 301” pergola over the patio behind the building.

The Guidelines allow for administrative approval of the following minor alterations to the rear façade if all recommendations are met:

- **Minor alterations to non-historic components on rear or obscured facades of historic or non-historic structures that enhance the compatibility with the context of the individual historic district (examples include rear doors, non-historic window replacement, or similar, but do not include any footprint or roofline alterations).**

The nature of the alteration, located on the rear façade of a non-historic building and not readily visible to the public, is easily reversible, does not add to the footprint or roofline, and is appropriate for administrative review. The Guidelines recommend:

- Generally, site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts.

As proposed, the installation of a pergola at the rear of a non-historic building meets the intent of the Guidelines and the administrative review process.

APPLICABLE GUIDELINES

2022 Historic District Design Guidelines
Chapter 6: Other Site and Setting Alterations

APPROVED WORK SPECIFICATIONS

The pergola installation is **approved** with the following conditions:

- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

Emily Huffer | Preservation Planner

Planning & Sustainability Department
City of Franklin, Tennessee
615.550.6795
<http://www.franklintn.gov/>

**NOTE:
ALL DIMENSIONS TO BE
FIELD VERIFIED.**

PRESENTED BY
STRUXURE TENNESSEE

PROJECT
PAUL BRUST RESIDENCE

ADDRESS
161 SPLENDOR RIDGE ROAD
FRANKLIN, TENNESSEE 37064

CONTRACT NO.
TBD

STRUXURE™

STRUXURE INC.
154 ETHAN ALLEN DRIVE
DAHLONEGA, GA 30533



SHEET INDEX

TITLE	SHEET NO.
COVER PAGE	A100
PERSPECTIVE VIEW	A101
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POST LAYOUT VIEW	A103
BEAM LAYOUT VIEW	A104
GUTTER LAYOUT VIEW	A105
FAN & LIGHTS LAYOUT VIEW	A106
SECTION 1-1	A200
SECTION A-A	A201
DETAILS	A300
DETAILS	A301
DETAILS	A302
DETAILS	A303
DETAILS	A304
DETAILS	A305
DETAILS	A306
MOTOR SPECIFICATION	A400
REVISIONS	A500

NOTES

FRAME: TBD
 PAN: TBD
 SYSTEM: 8" BEAMS & 5.5" GUTTERS
 ELEVATION: AT GRADE
 CONNECTED TO ROOF AND WALL OF
 HOST STRUCTURE

DURING SUCH PERIODS OF TIME AS ARE DESIGNATED BY THE U.S. WEATHER BUREAU AS A HIGH WIND OR SNOW ADVISORY FOR THE AREA, THIS SYSTEM MUST BE LOCKED IN THE OPEN POSITION. WITH THE LOUVER BLADES VERTICAL THE STRUCTURE SHALL ALSO NOT BE WALKED UPON AND IS NOT DESIGNED FOR HUMAN ACTIVITY OR STORAGE

STRUXURE™
 154 ETHAN ALLEN DR.
 DAHLONEGA, GA 30533
 (800) 303-8246

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

description

date
08/06/25

drawn by
SMC

SCALE

SHEET NO.

A 100

ALUMINUM TYPE;
LOUVERS 6063-T5
ALL OTHER COMPONENTS 6063-T6



STRUXURE
154 ETHAN ALLEN DR.
DAHLONEGA, GA 30533
(800) 303-5248



PAUL BRUST RESIDENCE
161 SPLENDOR RIDGE ROAD
FRANKLIN, TENNESSEE 37064

description
PERSPECTIVE
VIEW

date
08/06/25

drawn by
SMC

SCALE
N.T.S.

SHEET NO.

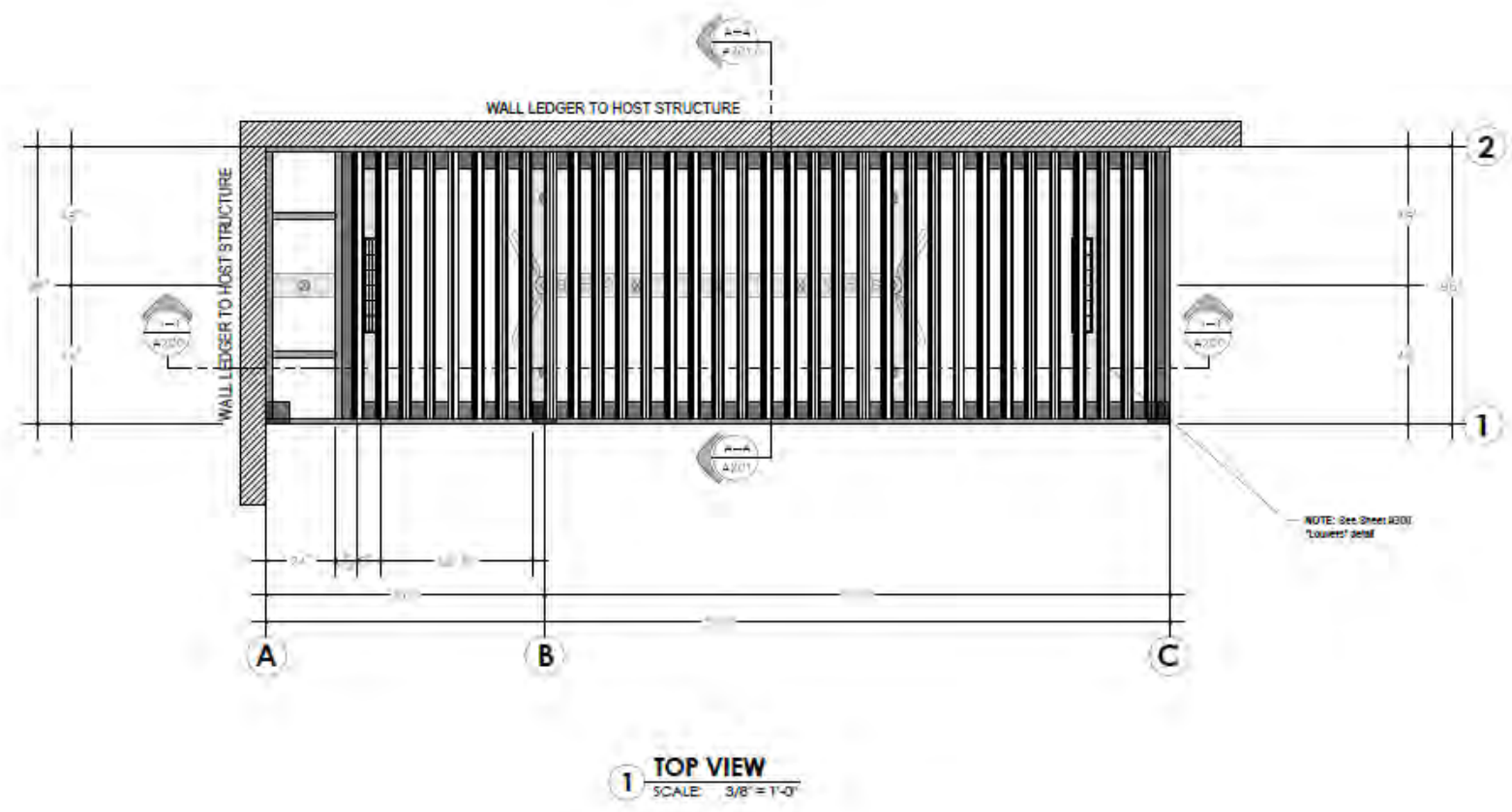
A 101

LEGEND

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



STRUXURE™
 154 ETHAN ALLEN DR.
 DAHLONEGA, GA 30533
 (800) 303-5248



PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

description	TOP VIEW
date	08/06/25
drawn by	SMC
SCALE	3/8" = 1'-0"
SHEET NO.	

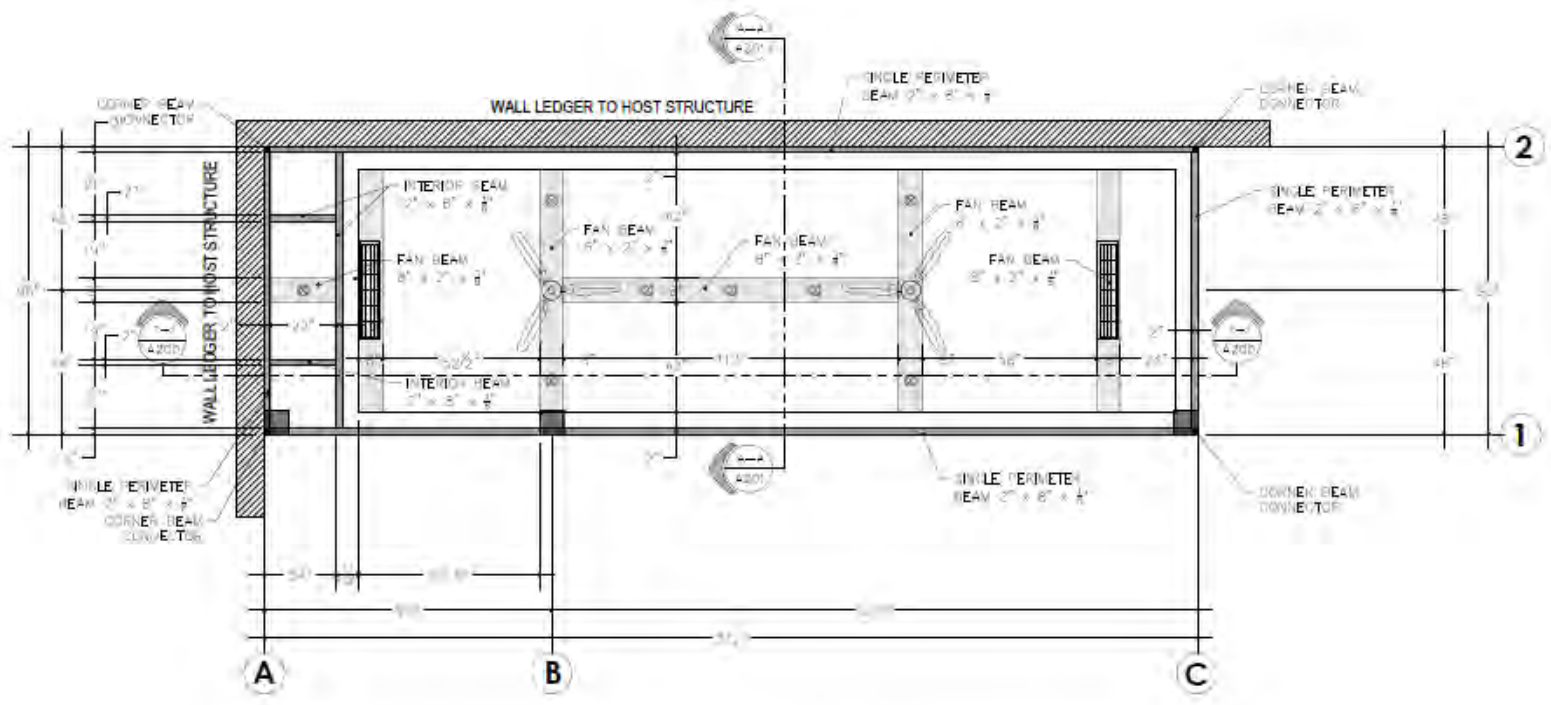


A 102
 Page 265 of 306

ALUMINUM TYPE;
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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 DAHLONEGA, GA 30533
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1 BEAM LAYOUT VIEW
 SCALE: 1/4" = 1'-0"

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

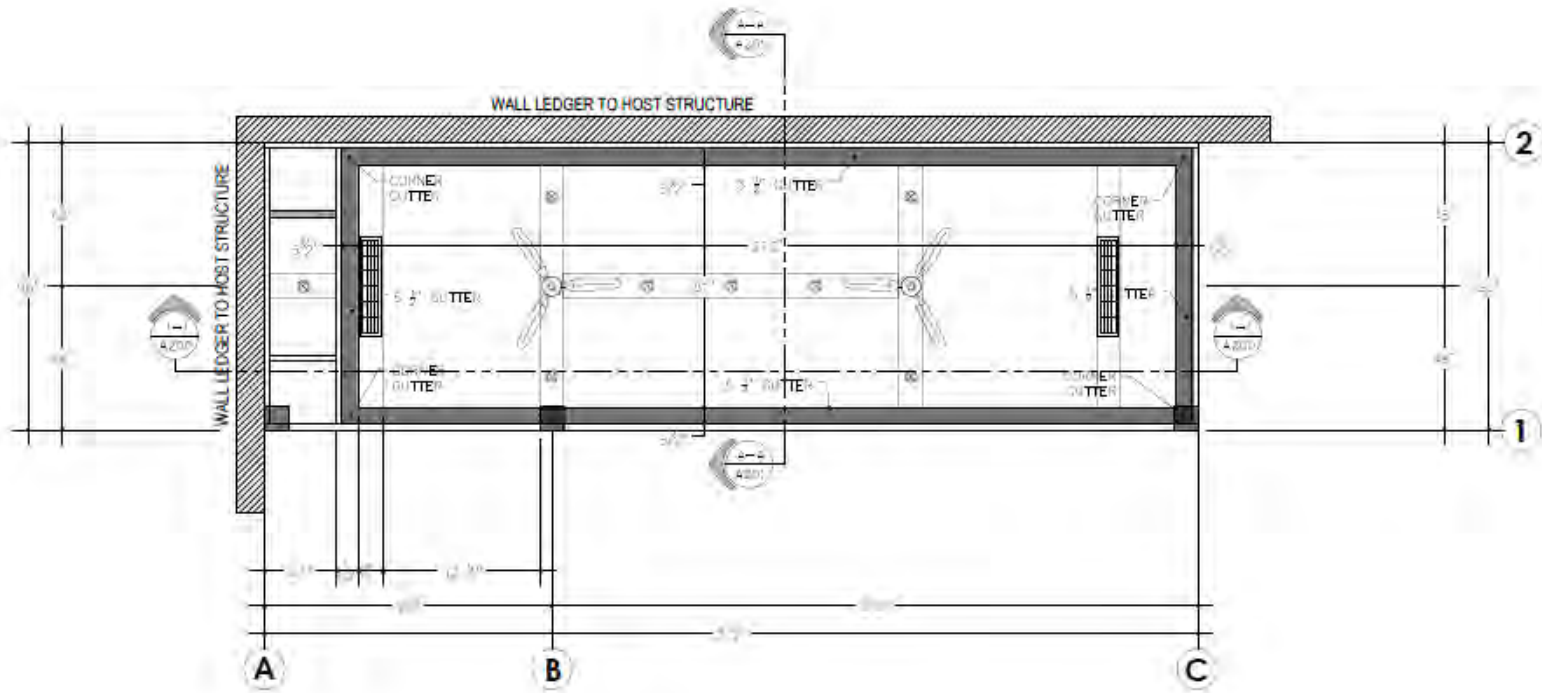
description	BEAM LAYOUT VIEW
date	08/06/25
drawn by	SMC
SCALE	3/8" = 1'-0"
SHEET NO.	A 104



ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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1 GUTTER LAYOUT VIEW
 SCALE 1/4" = 1'-0"

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

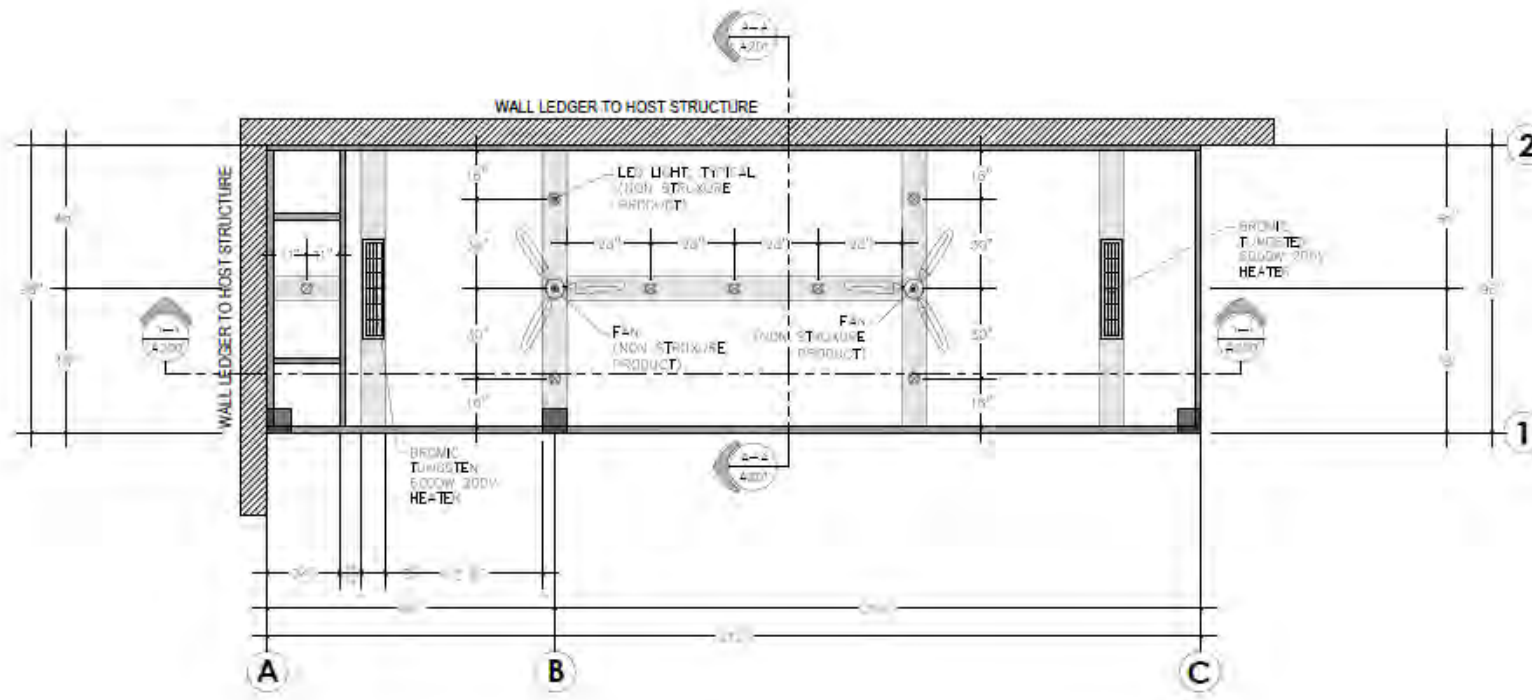
description	GUTTER LAYOUT VIEW
date	08/06/25
drawn by	SMC
SCALE	3/8" = 1'-0"
SHEET NO.	A 105



ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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1 FAN & LIGHT LAYOUT VIEW
 SCALE 1/4" = 1'-0"

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

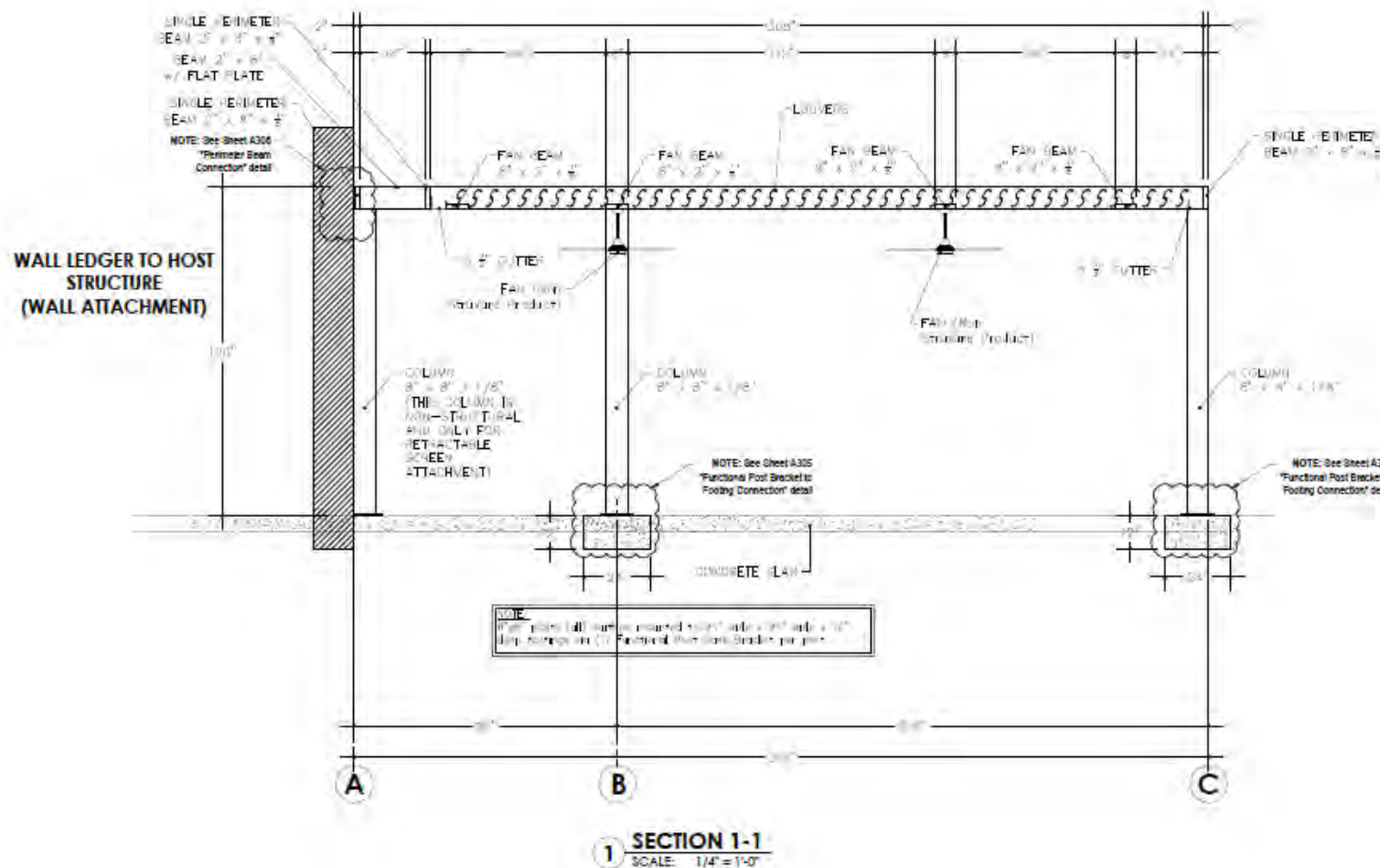
description	FAN & lights LAYOUT VIEW
date	08/06/25
drawn by	SMC
SCALE	3/8" = 1'-0"
SHEET NO.	A 106



ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

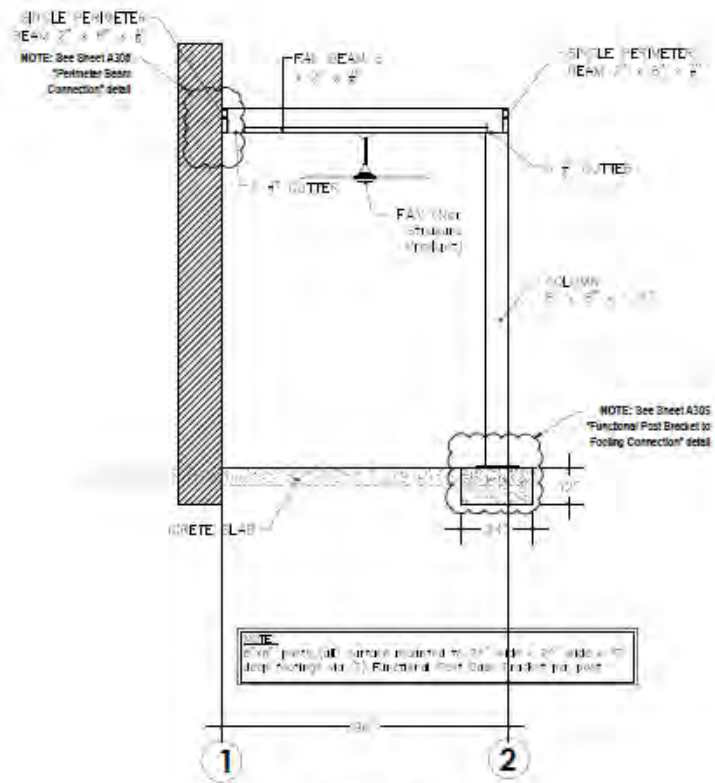
description	SECTION 1-1
date	08/06/25
drawn by	SMC
SCALE	3/8" = 1'-0"
SHEET NO.	A 200



ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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SECTION A-A
 SCALE: 1/4"=1'-0"

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

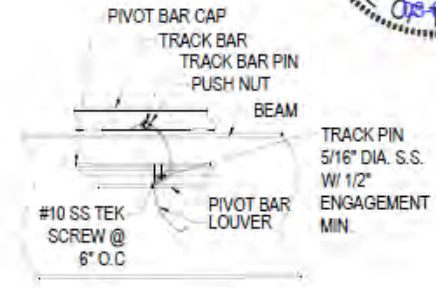
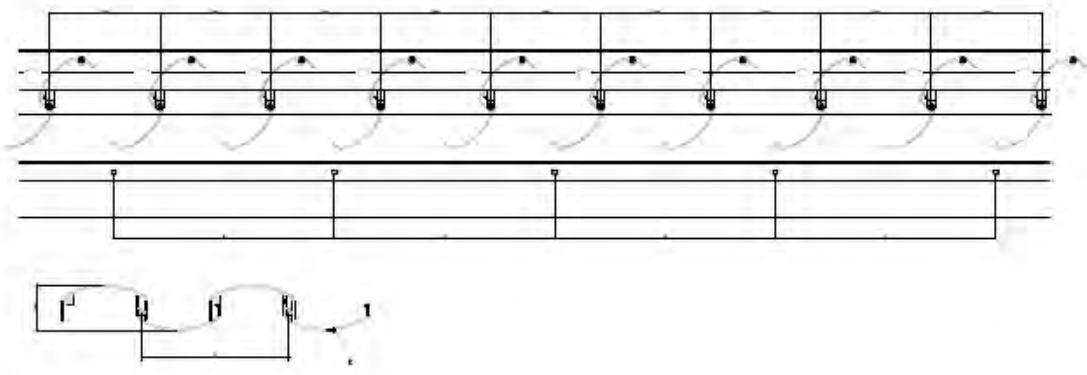
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date	08/06/25
drawn by	SMC
SCALE	3/8" = 1'-0"
SHEET NO.	A 201



ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



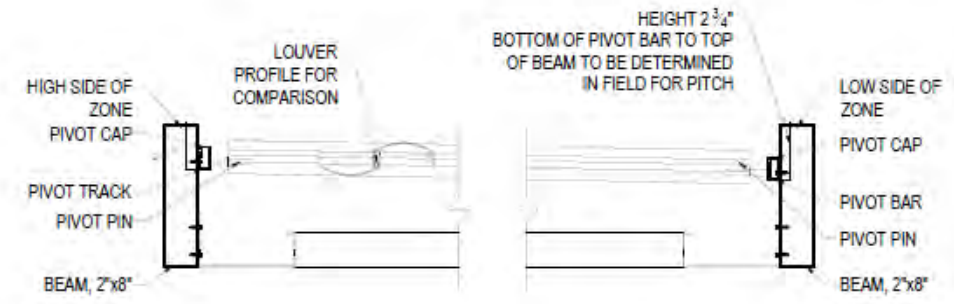
STRUXURE™
 154 ETHAN ALLEN DR.
 DAHLONEGA, GA 30533
 (800) 303-6248



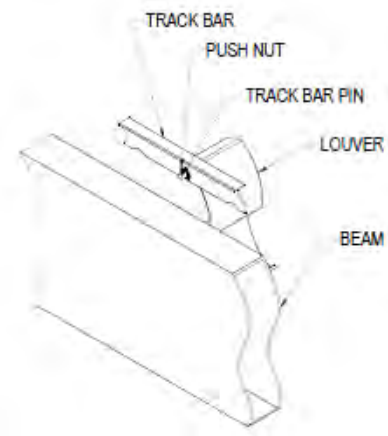
LOUVERS DETAIL
 1 1/2" = 1'-0"

SIDE VIEW
 1 1/2" = 1'-0"

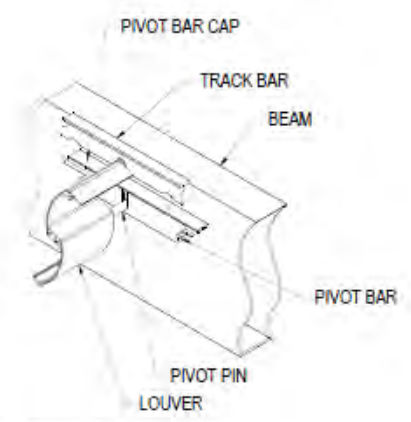
NOTE: NEED THIS TO BE STANDARD NORMAL PITCH ON A STANDARD 2X8 WITH 5.5" GUTTERS & 2X10 WITH 7.5" GUTTERS. THESE DIMENSIONS WILL BE DIFFERENT WITH A 2X10 AND 5.5" GUTTERS DEPENDING ON WHICH MOTOR IS USED.



LOUVERS TO BEAM CONNECTION
(2X8 BEAM)
 1 1/2" = 1'-0"



ISOMETRIC OUT-SIDE VIEW
 1 1/2" = 1'-0"



ISOMETRIC IN-SIDE VIEW
 1 1/2" = 1'-0"

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

description	DETAILS
date	08/06/25
drawn by	SMC
SCALE	N.T.S.
SHEET NO.	

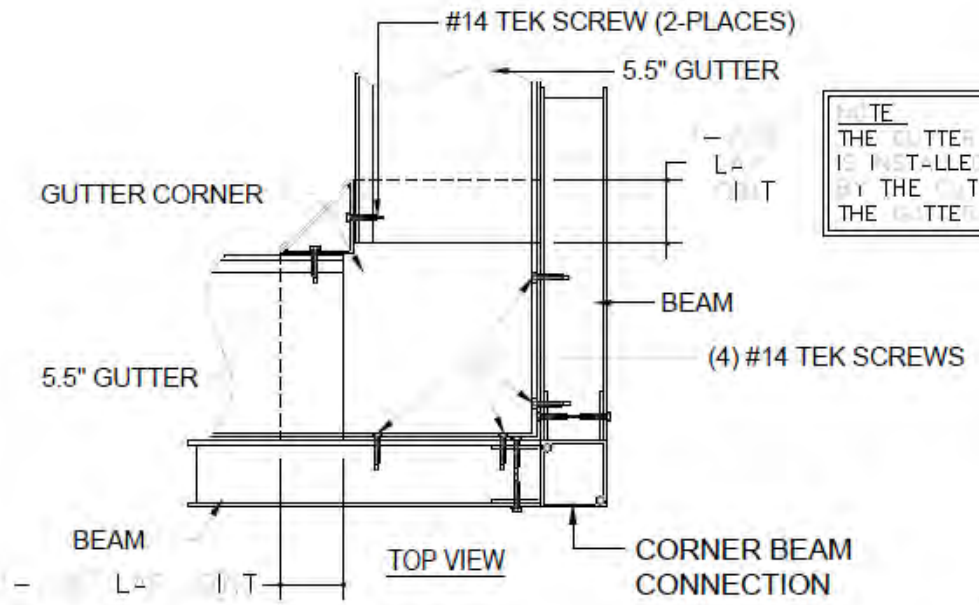
A 300
 Page 271 of 306

ALUMINUM TYPE:
 LOUVERS: 6063-T5
 ALL OTHER COMPONENTS 6063-T6

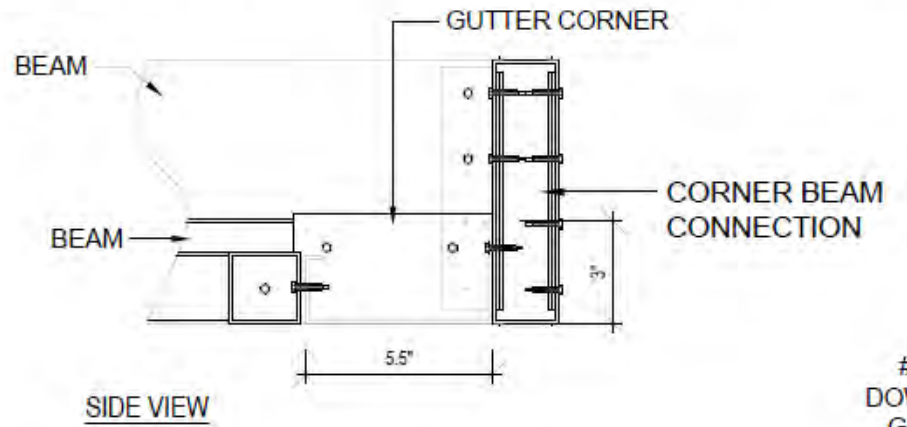
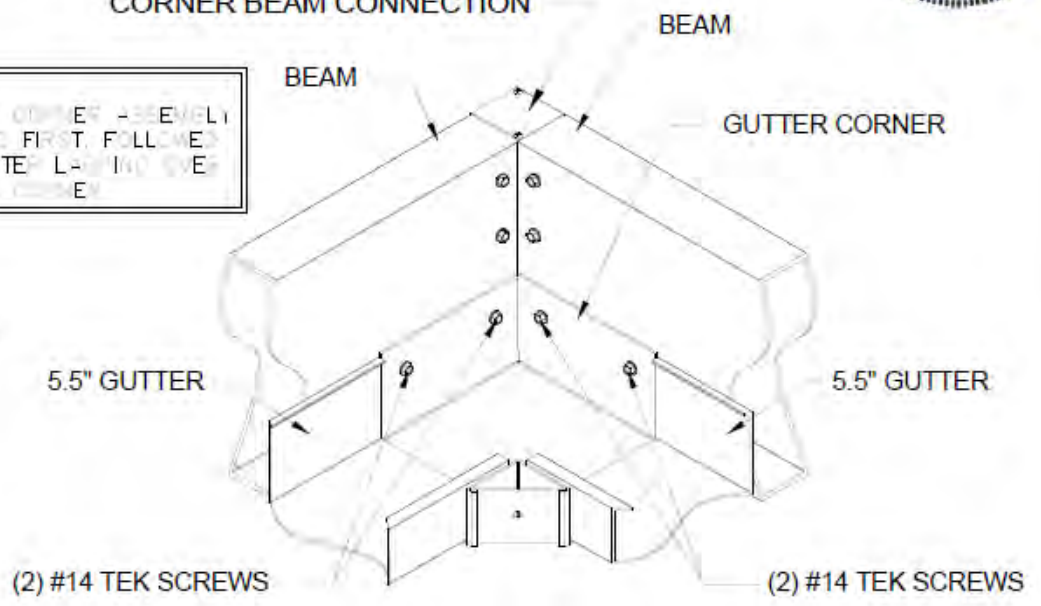


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 DAHLONEGA, GA 30533
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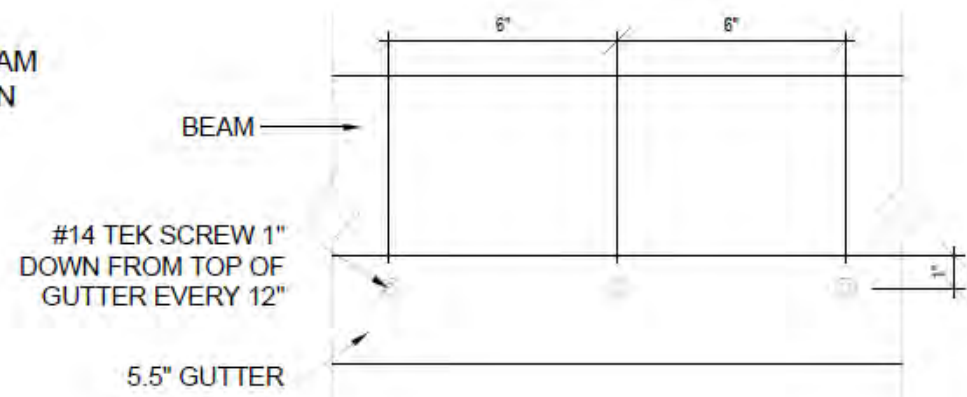
CORNER BEAM CONNECTION



NOTE
 THE GUTTER CORNER ASSEMBLY
 IS INSTALLED FIRST FOLLOWED
 BY THE GUTTER LAYOUT OVER
 THE GUTTER CORNER



ISOMETRIC VIEW



GUTTER CORNER ASSEMBLY

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

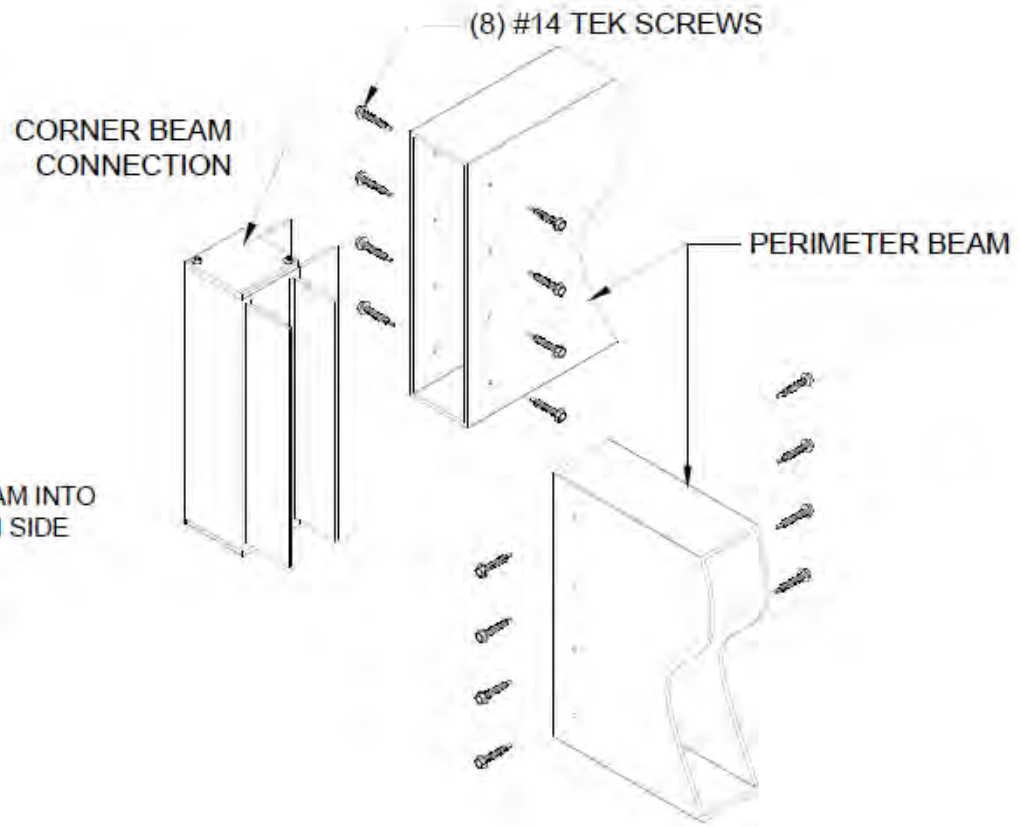
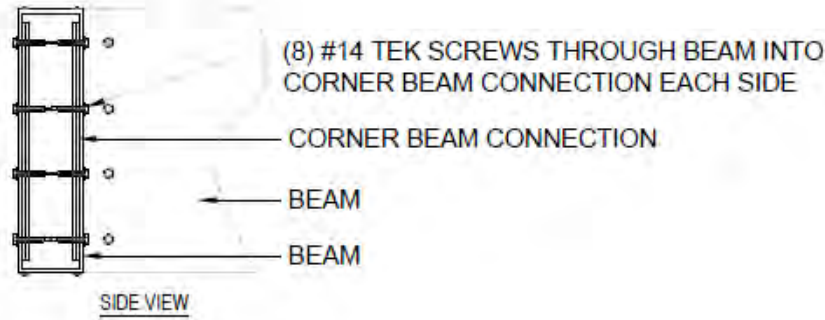
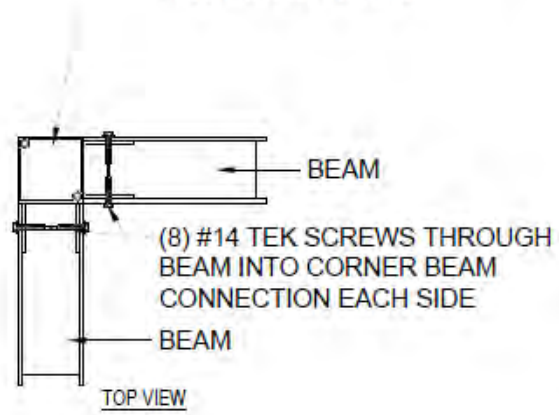
description	DETAILS
date	08/06/25
drawn by	SMC
SCALE	N.T.S.
SHEET NO.	A 301

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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— CORNER BEAM CONNECTION
 - EXTRUDED WITH CAPS



TYPICAL CORNER ASSEMBLY

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

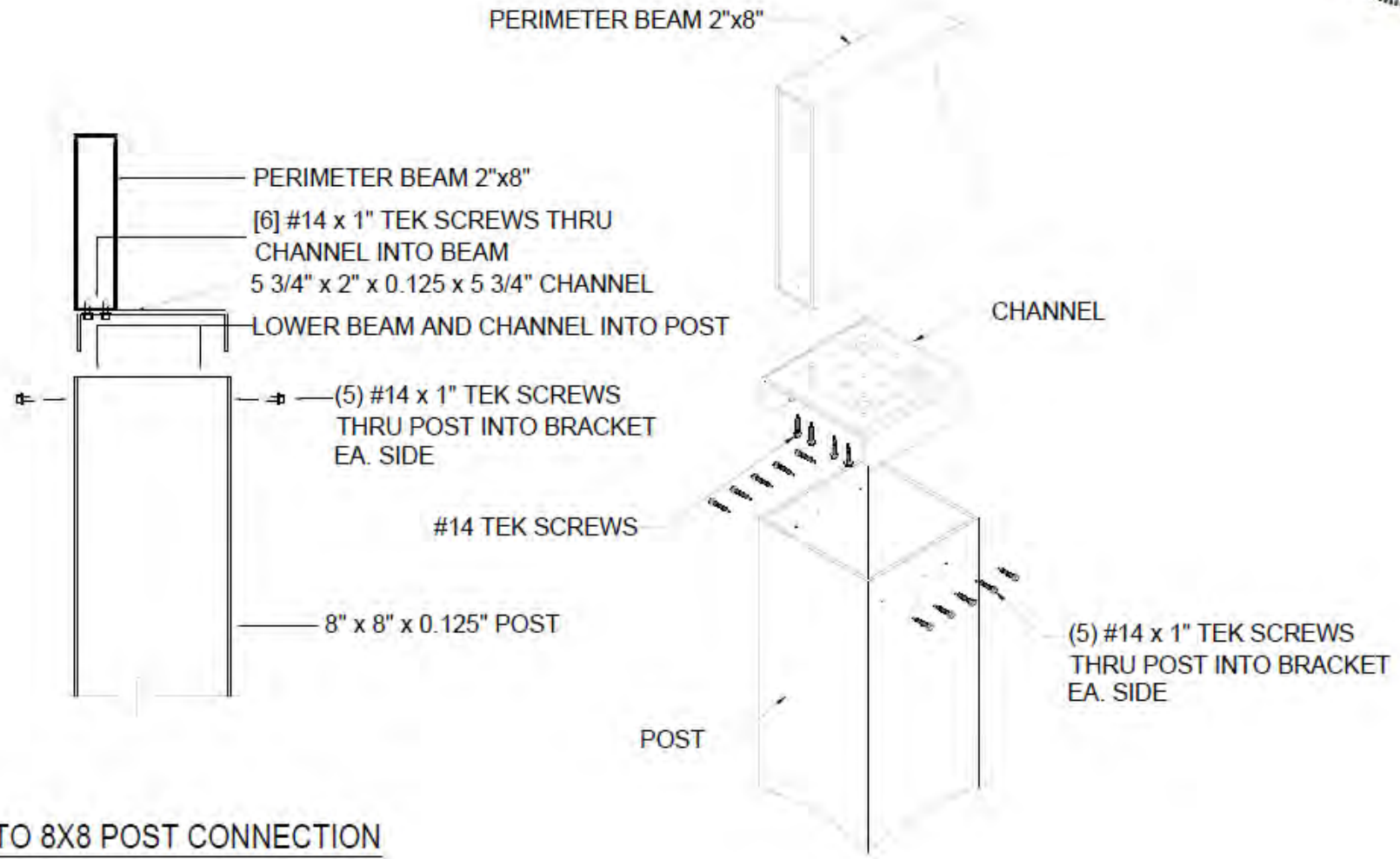
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date	08/06/25
drawn by	SMC
SCALE	N.T.S.
SHEET NO.	

A 302
 Page 273 of 306

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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SINGLE BEAM TO 8X8 POST CONNECTION

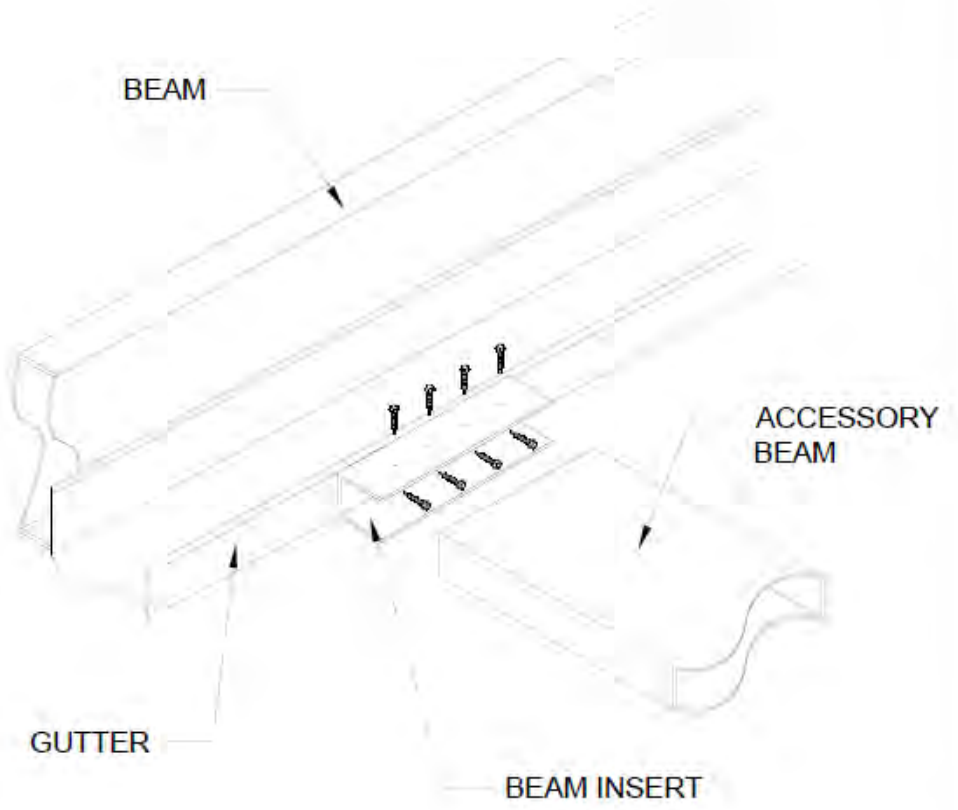
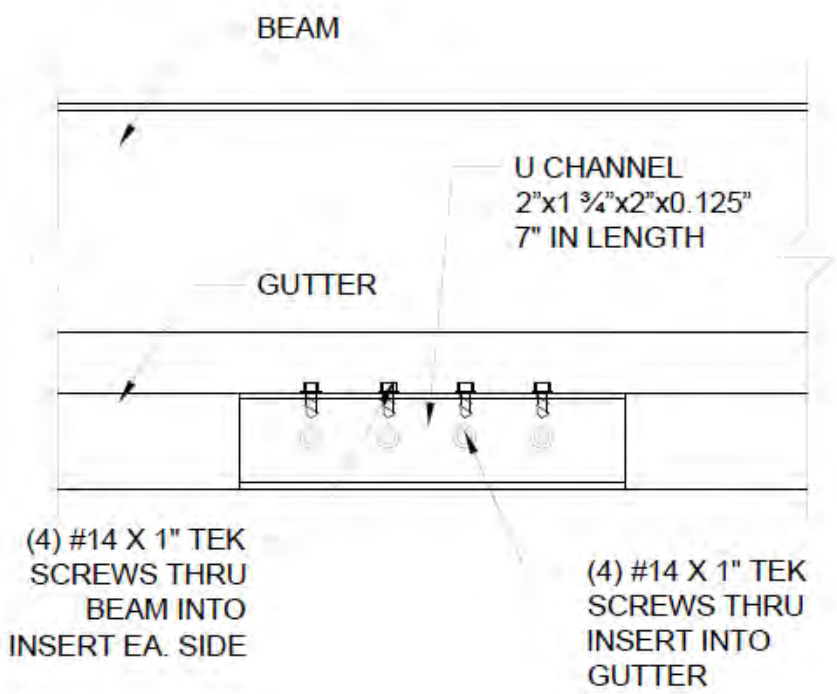
PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

description	DETAILS
date	08/06/25
drawn by	SMC
SCALE	N.T.S.
SHEET NO.	

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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FAN BEAM CONNECTION

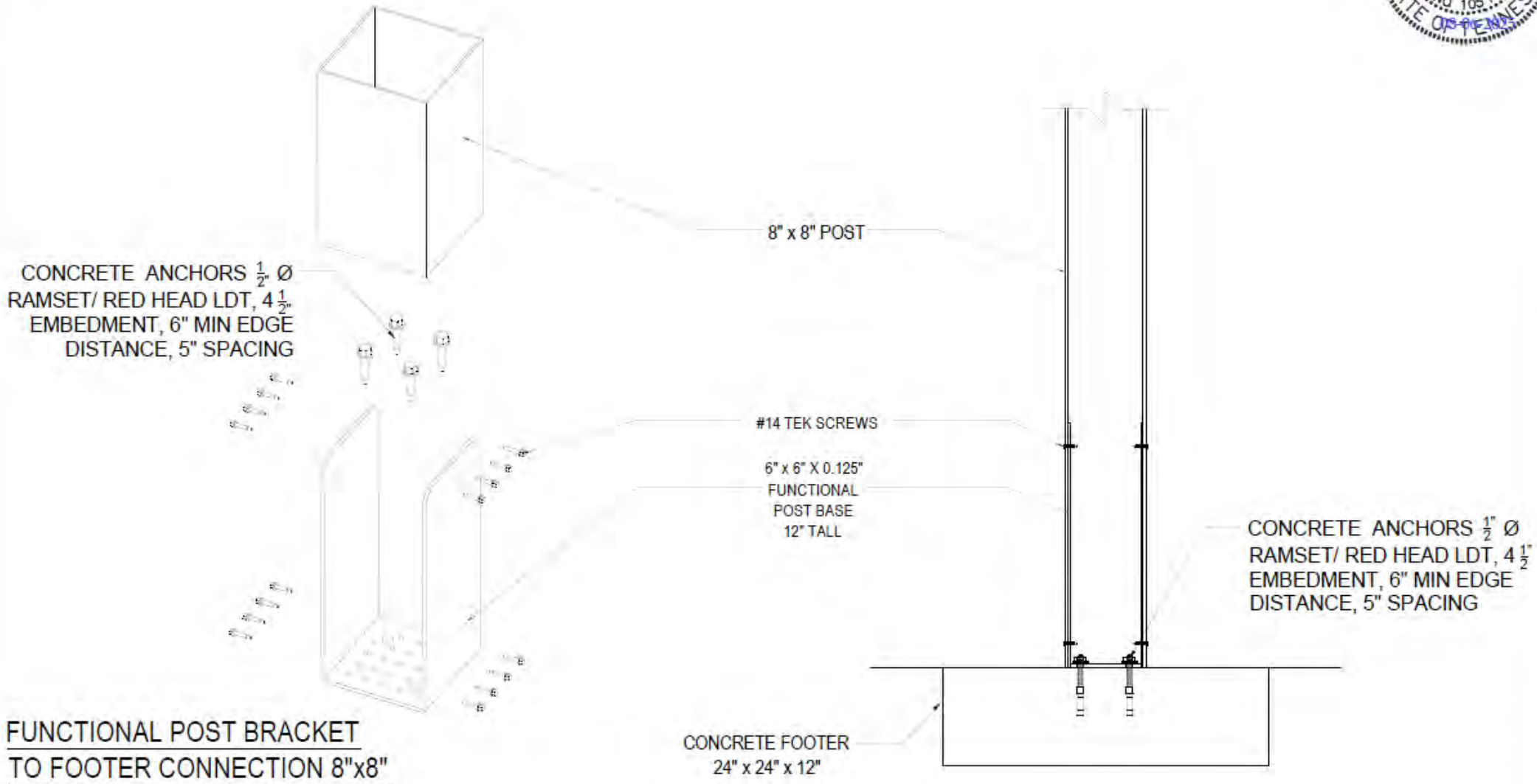
PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

description	DETAILS
date	08/06/25
drawn by	SMC
SCALE	N.T.S.
SHEET NO.	

ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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FUNCTIONAL POST BRACKET
 TO FOOTER CONNECTION 8"x8"

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

description	DETAILS
date	08/06/25
drawn by	SMC
SCALE	N.T.S.
SHEET NO.	

A 305

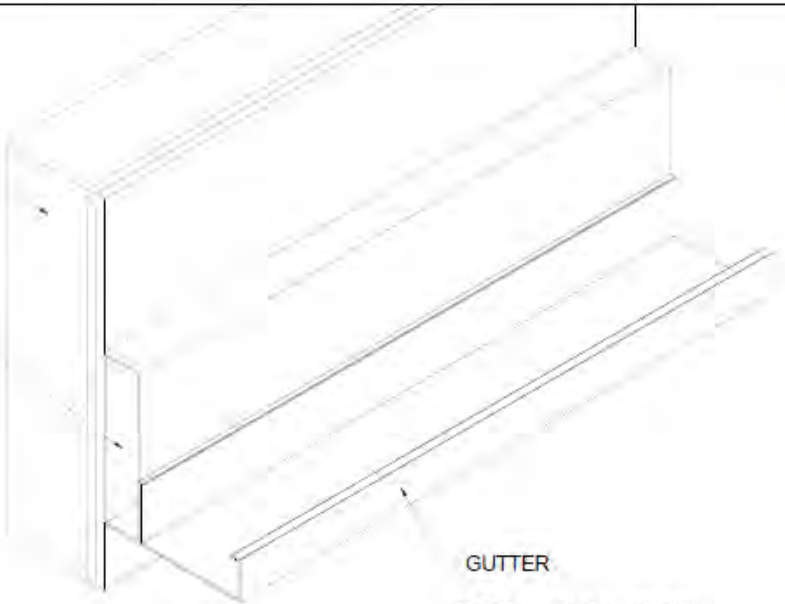
ALUMINUM TYPE:
 LOUVERS 6063-T5
 ALL OTHER COMPONENTS 6063-T6



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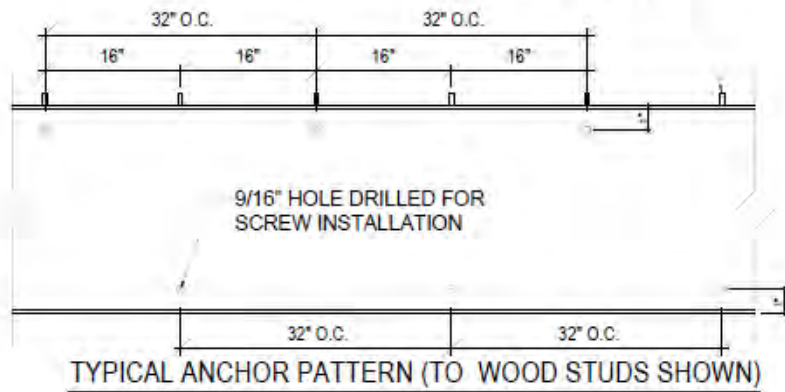
HOST STRUCTURE

PERIMETER BEAM



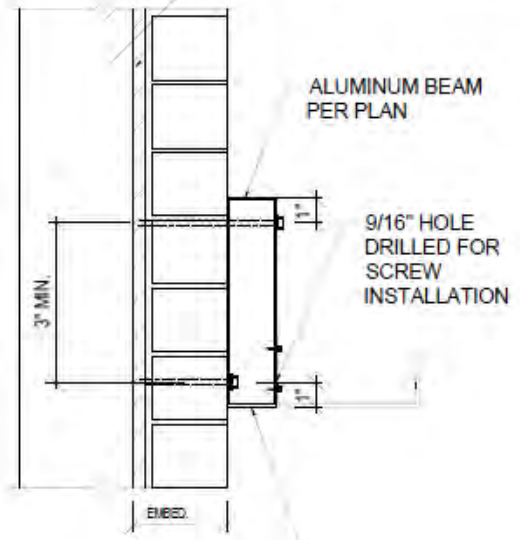
GUTTER

TYPICAL 16" O.C. STUDS



TYPICAL ANCHOR PATTERN (TO WOOD STUDS SHOWN)

EXISTING HOST STRUCTURE
 BRICK OVER WOOD FRAMING



ALUMINUM BEAM
 PER PLAN

9/16" HOLE
 DRILLED FOR
 SCREW
 INSTALLATION

3" MIN.

EMBED.

FOR ATTACHMENT:
 [2] 1/4" DIAM. ITW STAINLESS STEEL TAPCON INTO WALL W/ 3" EMBEDMENT AND
 3" EDGE DISTANCE, SPACED 12" O.C. STAGGERED

BEAM TO HOST STRUCTURE CONNECTION

PAUL BRUST RESIDENCE
 161 SPLENDOR RIDGE ROAD
 FRANKLIN, TENNESSEE 37064

description	DETAILS
date	08/06/25
drawn by	SMC
SCALE	N.T.S.
SHEET NO.	

A 306

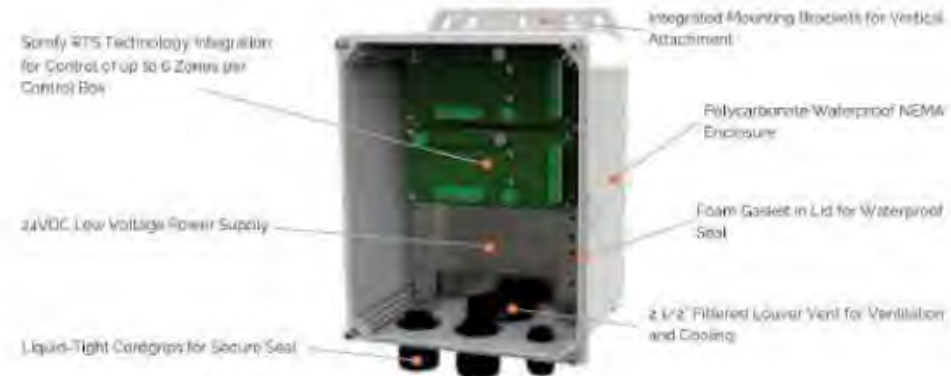
LOUVERED ROOF MOTOR



SOMFY TECHNICAL SPECIFICATIONS

SOMFY TECHNICAL SPECIFICATIONS		
VOLTAGE		
Input Voltage	(VDC)	24
LOAD		
Static Load (F _{st}) max.	(N/lbs)	2500 / 562
Dynamic Load (F _d) max.	(N/lbs)	2500 / 562
STROKE		
Stroke length, standard	(mm)	135
CURRENT		
Current consumption, rated load	(A)	1.875
GENERAL DATA		
Speed, no load	(mm/s)	34
Speed, rated load	(mm/s)	28
Operating temperature limits	(°C)	-10/+60
Service life	(Cycles)	+10,000
Sound level	(dB(A))	+20
Lead screw type		ACME
Protection Class		IP66
Certificates		CE (EN60601-1)
Insulation		CLASS III

LOUVERED PERGOLA CONTROL



Product dimensions: 10.59 x 8.66 x 6.26 in. / 269.94 x 218.29 x 159.78 mm

*Enclosure must be mounted in the vertical orientation.

COMPONENT RATINGS AND CERTIFICATIONS

COMPONENT RATINGS AND CERTIFICATIONS		
POWER SUPPLY		
Input Voltage	(VAC)	115/230
Input Voltage Frequency Range	(Hz)	47 - 63
Output Voltage	(VDC)	24
Voltage Adjustable Range	(VDC)	21.6 - 28.8V
Current Range	(A)	0 - 14.8
Rated Power	(W)	350.4
Safety Standard	(UL Certification)	UL60950-1
POWER SUPPLY CABLE (NOT SHOWN)		
Safety Standard	(ETL Certification)	#3170291
Voltage Rating	(V)	300
Temperature Rating	(°F)	-40 to 158
ENCLOSURE		
Safety Standard	(UL Certification)	UL508A
	(File Number)	E352997
Temperature Range	(°F)	-40 to 257
Impact Resistance	(in/lb)	500
Dielectric Strength	(volts/mil)	380
UV Rating	(UL Certification)	UL 745C
Flammability Rating	(UL Certification)	UL 94

PAUL BRUST RESIDENCE

161 SPLENDOR RIDGE ROAD
FRANKLIN, TENNESSEE 37064

description
MOTOR
SPECIFICATION

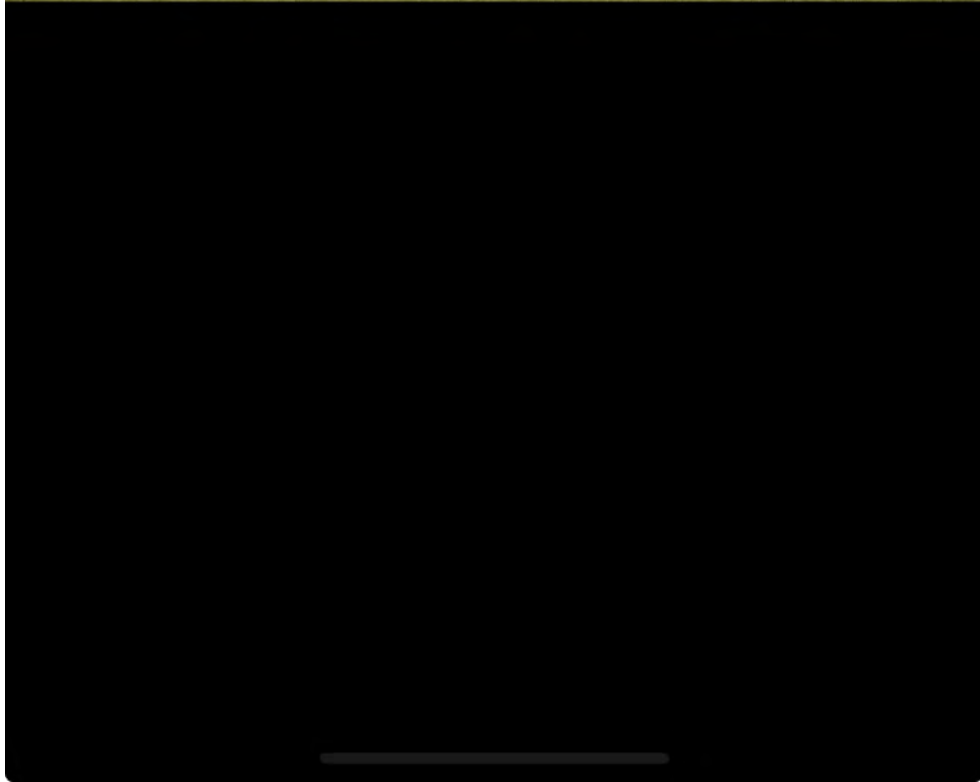
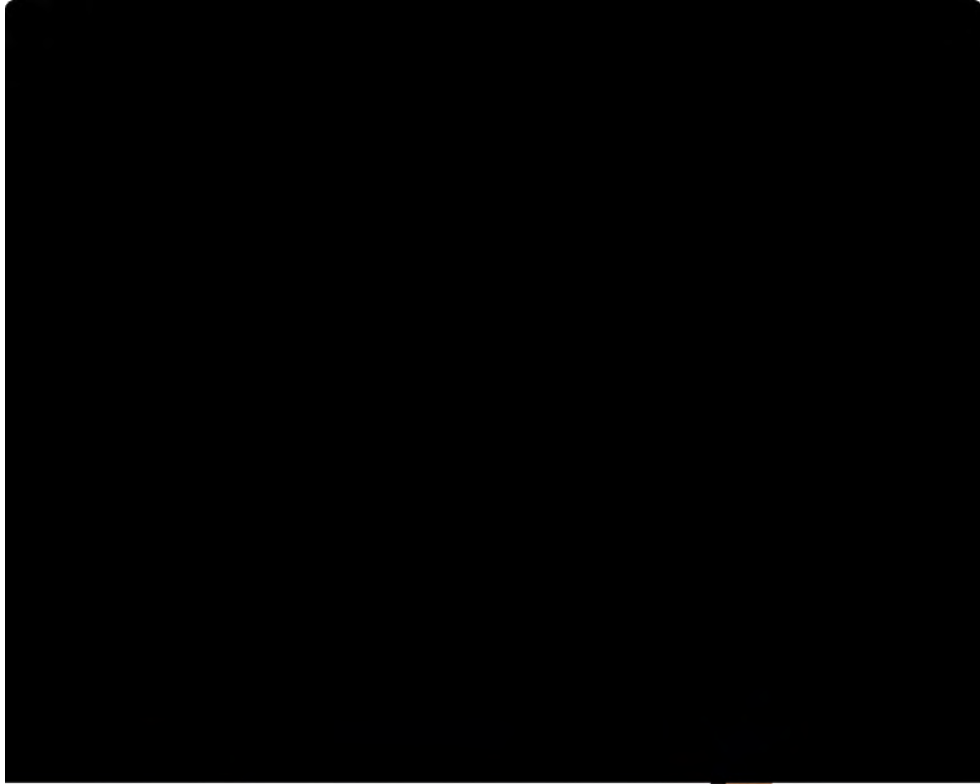
date
08/06/25

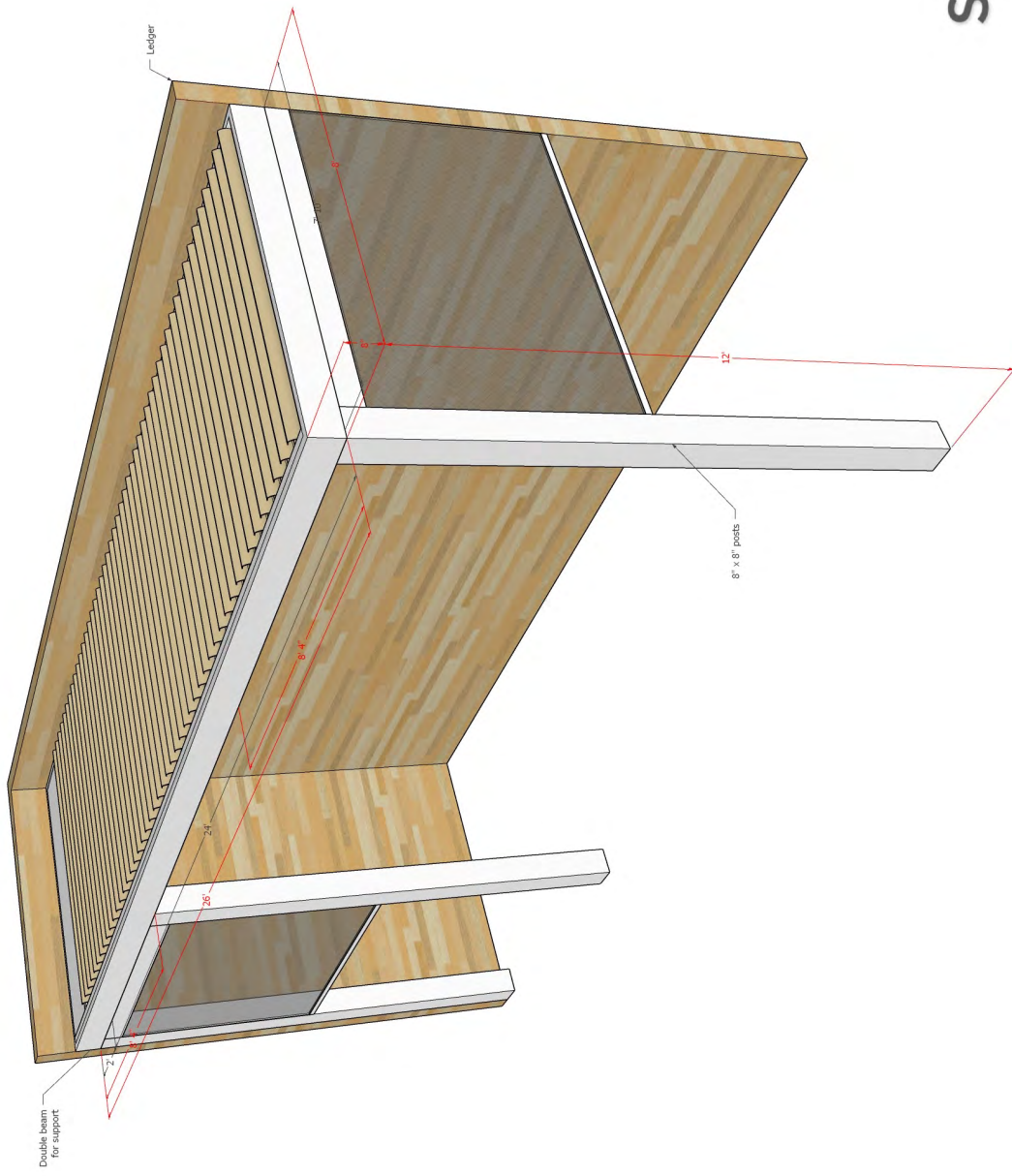
drawn by
SMC

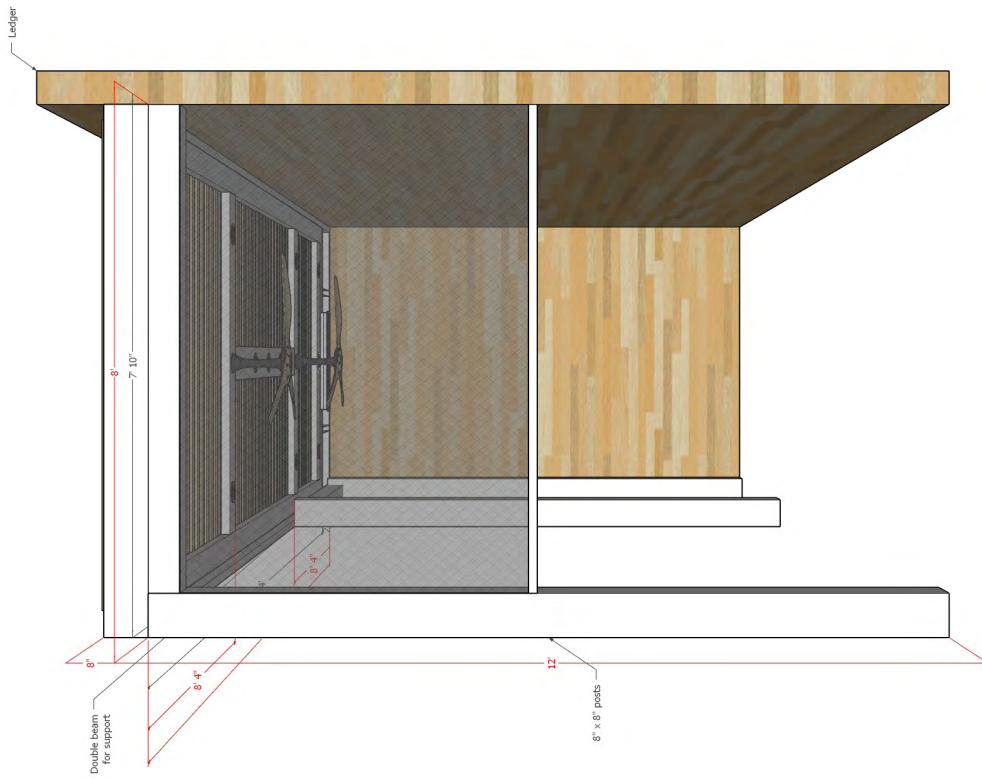
SCALE
N.T.S.

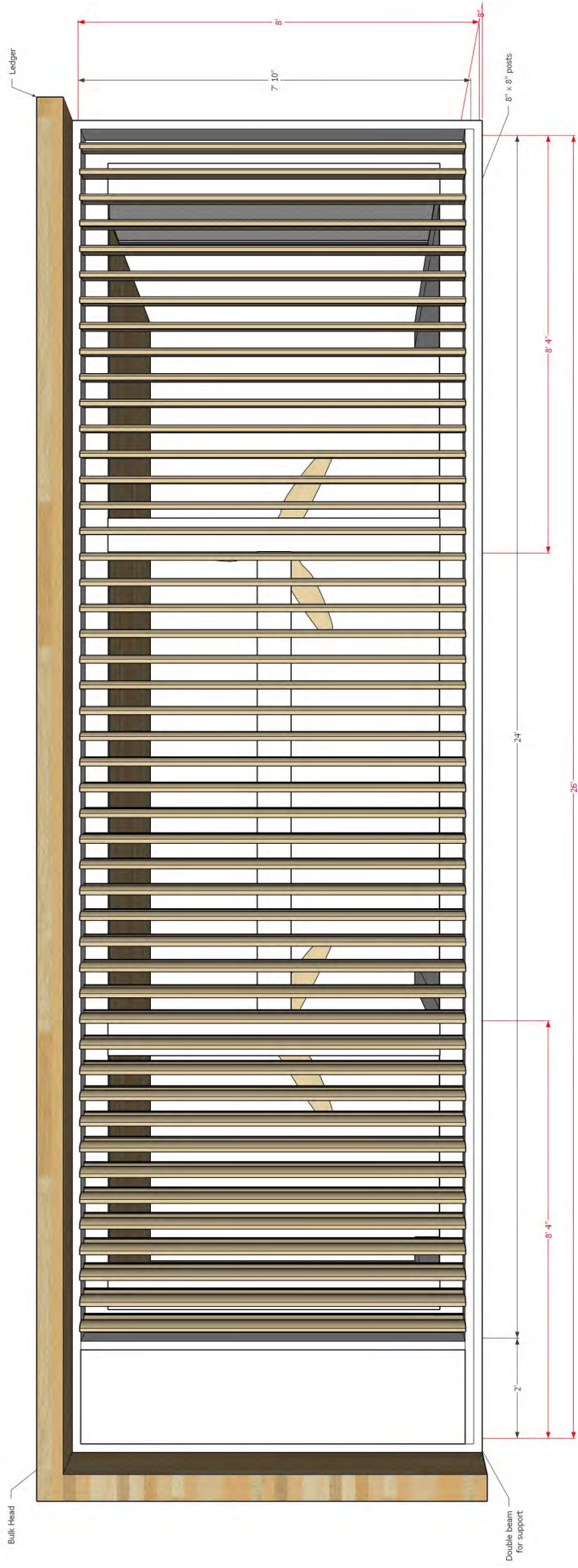
SHEET NO.

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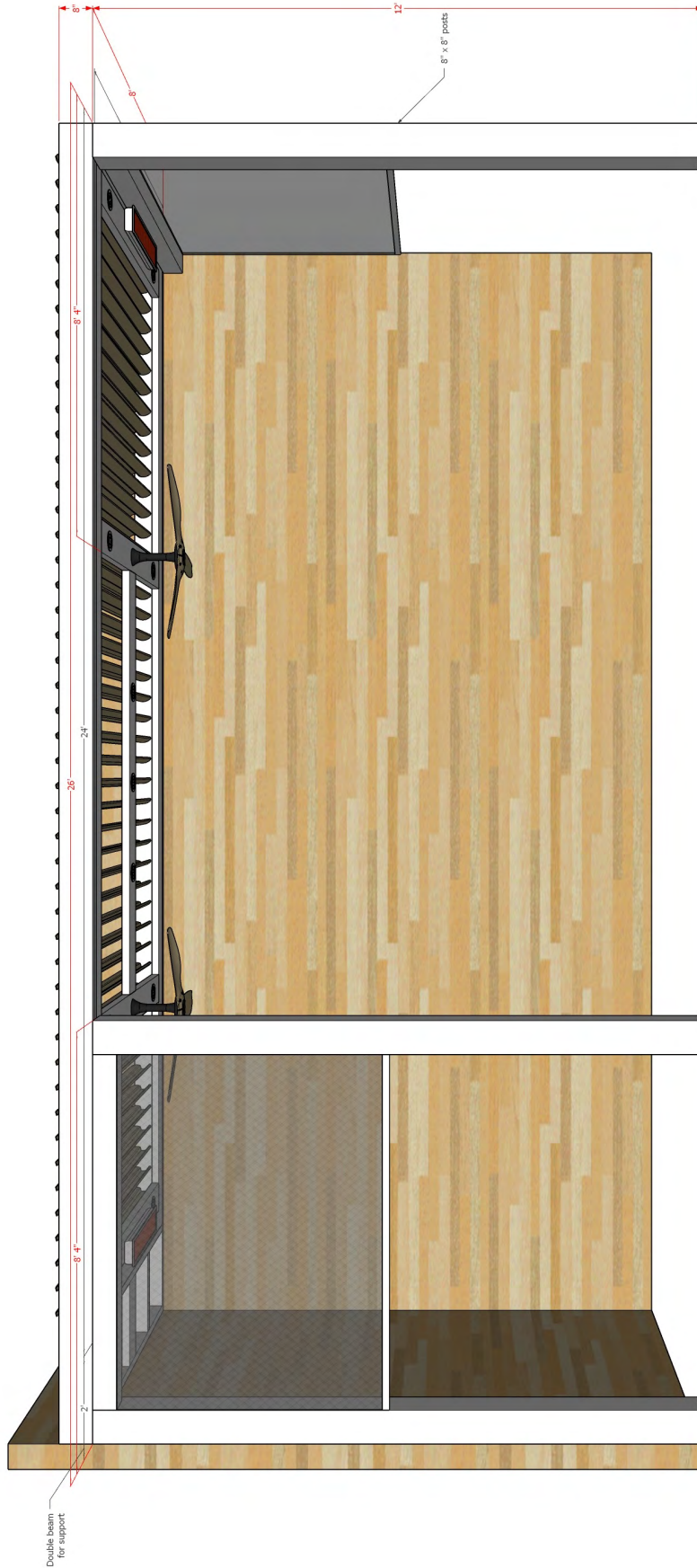








STRUXURE®



STRUXURE®

OWNER AFFIDAVIT
City of Franklin, Tennessee

When an application is not filed by the owner of the property, the City requires documentation that the owner of the property is aware of an application being filed on their behalf.

I/We Paul Brust | Bonnie Brust
(please print name(s) as listed on deed; if property owner is a company, provide full company name plus specific name(s) of representative)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

094063N F 0800 00009063N
(Property Parcel/Tax ID Number)
and located at:

161 Splendor Ridge, Franklin, TN 37064
(Street Address)

I am/We are fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Adrian Jones, Structure (JMTC LLC)
(Please print name(s) in Full - This should be the applicant listed in IDT)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Signature]
Owner Signature

Additional Owner Signature, if applicable

161 Splendor Ridge
Property Owner Mailing Address

Franklin, TN 37064
City, State & Zip

Subscribed and sworn to before me this

25th day of August, 2025.

[Signature]
Notary Public

My Commission Expires: 09/14/2027





Project Overview **#1852355**

Project Title: 161 Splendor Ridge Rd **Jurisdiction:** Franklin
Application Type: 08b) Administrative Certificate of Appropriateness (COA) **State:** TN
Workflow: COA Administrative Default **County:** Williamson

Required Administrative Review COA Application Supporting Materials

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

Signage:

- Description of project
- Specification information that illustrates how proposed signage will look, including notes on dimensions, height from grade, materials, and colors
- Photographs of installation locations
- Signed and notarized owner affidavit

Rear Yard Fencing:

- Description of project
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
- Site plan that demonstrates proposed location/perimeter of fencing
- Photographs of project site location
- Signed and notarized owner affidavit
- **Note: Primary yard fencing does not qualify for administrative review**

Awnings:

- Description of project
- Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
- Specification information for proposed awning materials
- Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
- Signed and notarized owner affidavit

HVAC Equipment and/or Related Screening:

- Description of project
- Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
- Site plan demonstrating proposed location of equipment and/or screening
- Photographs of project site location
- Signed and notarized owner affidavit

Minor Alterations:

- Description of project
- Specifications for all materials within scope of work

- Site plan/Aerial Image of the project location demonstrating visibility from public view
- Photographs and documentation of the existing conditions within scope of work
- Renderings and Plans of proposed work
- Signed and notarized owner affidavit

Note: The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

Owner Affidavit

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

Contact Information - Project Contact

Project Contact

Sherry Jones
 JMTCO LLC dba StruXure Tennessee
 9724 Turner Lane
 Brentwood , TN 37027
 P:6155124908
sherri@struxuretn.com

Property Owner

Property Owner

Paul Brust

 161 Splendor Ridge Dr
 Franklin, TN 37064
 P:916-768-6856
brust73@gmail.com

Address

Project Address or Parcel: 161 SPLENDOR RIDGE DR (063N-F00800)

Calculated Acreage: Parcel

- 161 SPLENDOR RIDGE DR: 0.16899229

Scenic Corridor Overlay:

Hillside/Hillcrest Overlay:

Flood Fringe Overlay:

500ft Buffer of Hillside Overlay:

Type of Work Proposed: Minor Alteration

Height of Overall Sign:

Columbia Avenue Overlay:

Zoning District: Zoning Districts

- 161 SPLENDOR RIDGE DR: R1

Central Franklin Overlay:

Historic Preservation Overlay: Historic Preservation Overlay

- 161 SPLENDOR RIDGE DR: Historic Preservation Overlay

Floodway Overlay:

Type of Signage Proposed:

Height of Sign Face or Sign Area:

Indicate shape/dimensions of window or door over which proposed awning will be affixed.: Fence Material:

HVAC Type:

Narrative

Project Description:

The installation of a louvered aluminum pergola system attached to the rear of the house to cover an existing concrete patio.



HISTORIC
FRANKLIN
TENNESSEE

Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

Address: 130 2nd Ave. N. (Downtown Franklin Historic District)
Applicant: Justin Foster, Harpeth Hotel
Owner: Harpeth Hotel, Justin Foster, rep.
Project #: 8941
Type of Work: Consideration of Signage (Sandwich Board Sign)

Status: Approval with conditions
(See “**Approved Work Specifications**” Below)

Approval Date: September 18, 2025
Expiration Date: September 18, 2027 (if work has not commenced)
Reviewed By: Elizabeth Bulay

APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for a sandwich board sign at 130 2nd Avenue North for the Harpeth Hotel.

The Guidelines allow for administrative approval of sandwich board signs if all recommendations are met.

- **Sandwich Board Signs:** A pair of advertisement boards connected at the top by straps or hinges, designed to be placed on the sidewalk in front of the ground-floor retail storefront/tenant space. The proposed sign is consistent with the design of a sandwich board sign as listed in the Guidelines and Zoning Ordinance. The proposed sign frame is appropriate.
- **Location:** The Guidelines state that sandwich board signs shall be placed on the sidewalk in front of the retail storefront/tenant space and shall maintain 48 inches of sidewalk clearance for pedestrian circulation. The proposed sandwich board sign is placed on the public sidewalk located in front of the retail space. The clearance around the sign was not included within the application.
- **Quantity:** The Guidelines state that a maximum of one per retail store front/tenant space is recommended. One Sandwich Board Sign is proposed. The sandwich board sign is the third sign of the recommended three-sign maximum for retail/tenant spaces. The proposed quantity is appropriate.

- **Sign Area:** The Guidelines state the recommended sign area maximum is 6 sq. ft. per side. The proposed sign panel area is 24” by 36”, or 6 sq. ft. The proposed sign area is appropriate.
- **Height:** The Guidelines state that the maximum height shall be 4 feet at the top of the sign area. The proposed sign height is 41”. The height is appropriate.
- **Material:** The Guidelines state that the material should be finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The proposed sign consists of a metal frame and a metal sign panel. The proposed materials are appropriate.
- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed sign utilizes a black background, lighter white lettering, and a minimal accent of yellow. The colors are appropriate.
- **Illumination:** No illumination is permitted. No illumination is proposed.

APPLICABLE GUIDELINES

Chapter 8 – Signs

APPROVED WORK SPECIFICATIONS

The sandwich board sign is **approved** with the following conditions:

- The placement of the sandwich board sign shall maintain 48 inches of sidewalk clearance for pedestrian circulation.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

Emily Huffer | Preservation Planner
 Planning & Sustainability Department
 City of Franklin, Tennessee
 615.550.6795 | <http://www.franklintn.gov/>

1799

KITCHEN & BAR ROOM



MCGAVOCK'S

COFFEE BAR & PROVISIONS

**BEER + WINE
COCKTAILS**



**GREAT FOOD
LIVE MUSIC**

1799

KITCHEN & BAR ROOM



MCGAVOCK'S
COFFEE BAR & PROVISIONS

BEER + WINE
COCKTAILS



GREAT FOOD
LIVE MUSIC

From: [Jade Foster](#)
To: [Monette Raley](#); [Trina Ruffo](#)
Cc: [Jade Foster](#); [Jeff Chubb](#)
Subject: RE: The Harpeth Signs
Date: Wednesday, September 10, 2025 3:11:43 PM
Attachments: [image013.png](#)
[image014.png](#)
[image015.png](#)
[image016.png](#)
[image017.png](#)
[image018.png](#)
[image019.png](#)
[image020.png](#)
[image021.png](#)
[image022.png](#)
[image023.png](#)
[image024.png](#)

ATTENTION COF staff: This email originated from outside the City of Franklin. Please use discretion when clicking on attachments & links from unknown senders or suspicious emails.

Elizabeth,

My apologies for the delay. This is got trapped in my fairly full inbox. Here are the sign dimensions. The sign insert is exactly 24" wide by 36" in height. The sign frame and panel are both metal. Please disregard the affidavit as I am the representative for the asset and owner.



Jade Foster
General Manager
The Harpeth, Curio Collection by Hilton

O: 615-786-0826 | H: 615-206-7510



OWNER AFFIDAVIT
City of Franklin, Tennessee

When an application is not filed by the owner of the property, the City requires documentation that the owner of the property is aware of an application being filed on their behalf.

I/We Kw Franklin Hotel Partners LLC dba Harpeth Hotel
(please print name(s) as listed on deed; if property owner is a company, provide full company name plus specific name(s) of representative)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

130 2nd Ave N.

(Property Parcel/Tax ID Number)
and located at:

130 2nd Ave N Franklin, TN 37064

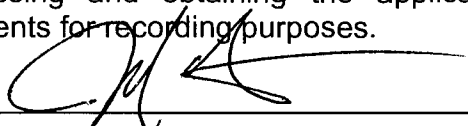
(Street Address)

I am/We are fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Justin Foster

(Please print name(s) in Full - This should be the applicant listed in IDT)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.



Owner Signature

Additional Owner Signature, if applicable

130 2nd Ave N, Franklin, TN 37064

Property Owner Mailing Address

Franklin, TN 37064

City, State & Zip

Subscribed and sworn to before me this

_____ day of _____, 20_____.

Notary Public

My Commission Expires: _____



Project Overview

#1849381

Project Title: 130 2nd Ave N	Jurisdiction: Franklin
Application Type: 08b) Administrative Certificate of Appropriateness (COA)	State: TN
Workflow: COA Administrative Default	County: Williamson

Required Administrative Review COA Application Supporting Materials

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

Signage:

- Description of project
- Specification information that illustrates how proposed signage will look, including notes on dimensions, height from grade, materials, and colors
- Photographs of installation locations
- Signed and notarized owner affidavit

Rear Yard Fencing:

- Description of project
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
- Site plan that demonstrates proposed location/perimeter of fencing
- Photographs of project site location
- Signed and notarized owner affidavit
- **Note: Primary yard fencing does not qualify for administrative review**

Awnings:

- Description of project
- Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
- Specification information for proposed awning materials
- Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
- Signed and notarized owner affidavit

HVAC Equipment and/or Related Screening:

- Description of project
- Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
- Site plan demonstrating proposed location of equipment and/or screening
- Photographs of project site location
- Signed and notarized owner affidavit

Minor Alterations:

- Description of project
- Specifications for all materials within scope of work

- Site plan/Aerial Image of the project location demonstrating visibility from public view
- Photographs and documentation of the existing conditions within scope of work
- Renderings and Plans of proposed work
- Signed and notarized owner affidavit

Note: The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

Owner Affidavit

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

Contact Information - Project Contact

Project Contact

Justin Foster
 Harpeth Hotel
 130 2nd Ave n
 Franklin, TN 37064
 P:615-706-7510
jfoster@harpethhotel.com

Property Owner

Property Owner

Justin Foster
 Harpeth Hotel
 130 2nd Ave n
 Franklin, TN 37064
 P:615-706-7510
jfoster@harpethhotel.com

Address

Project Address or Parcel: 130 2ND AVE N (078C-D01500)

Calculated Acreage: Parcel

- 130 2ND AVE N: 4.48181039

Scenic Corridor Overlay:

Hillside/Hillcrest Overlay:

Flood Fringe Overlay:

500ft Buffer of Hillside Overlay:

Type of Work Proposed: Signage

Height of Overall Sign: 2.5

Indicate shape/dimensions of window or door over which

Columbia Avenue Overlay:

Zoning District: Zoning Districts

- 130 2ND AVE N: PD

Central Franklin Overlay:

Historic Preservation Overlay: Historic Preservation Overlay

- 130 2ND AVE N: Historic Preservation Overlay

Floodway Overlay:

Type of Signage Proposed: Sandwich Board Signage

Height of Sign Face or Sign Area: 3

Fence Material: Metal

proposed awning will be affixed.:

HVAC Type:

Narrative

Project Description:

Sidewalk signage for restaurants - 1799 Kitchen and Bar Room and McGavock's Coffee Bar & Provisions. Purchased approved metal frames and metal inserts for signage.



HISTORIC
FRANKLIN
TENNESSEE

Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

Address: 709 West Main Street
(Hincheyville National Register Historic District)

Applicant: David Crookshanks
Owner: BTC Properties, Daniel Crookshanks
Project #: 8942
Type of Work: Minor Alteration on Rear (Non-Historic Deck In-Kind Replacement)

Status: Approval with Conditions
(See “**Approved Work Specifications**” Below)

Approval Date: September 23, 2025
Expiration Date: September 23, 2027 (if work has not commenced)
Reviewer: Elizabeth Bulay

APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for a minor alteration on the rear of a building on a non-historic deck located at 709 West Main Street. The proposal is to replace in-kind an existing deck due to code issues and to add new structural supports.

The Guidelines allow for administrative approval of the following minor alterations to the rear façade if all recommendations are met:

- **Minor alterations to non-historic components on rear or obscured facades of historic or non-historic structures that enhance the compatibility with the context of the individual historic district (examples include rear doors, non-historic window replacement, or similar, but do not include any footprint or roofline alterations).**

The nature of the alteration, located on the rear façade of a building on a non-historic deck and not readily visible to the public, is easily reversible, does not add to the footprint or roofline, and is appropriate for administrative review. The Guidelines recommend:

- Place new decks on rear or obscured facades with minimal visibility from the street.
- Use wood materials and simple wood rail designs with square balusters.

As proposed, the in-kind replacement of the existing deck with minor modifications to allow for additional structural supports to meet building code, meets the intent of the Guidelines and the administrative review process. The location and appearance of the deck will remain the same and will not be changed.

APPLICABLE GUIDELINES

2022 Historic District Design Guidelines

Chapter 2: Additions Historic Residential Buildings: Decks

APPROVED WORK SPECIFICATIONS

The in-kind deck replacement is **approved** with the following conditions:

- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

Emily Huffer | Preservation Planner

Planning & Sustainability Department

City of Franklin, Tennessee

615.550.6795

<http://www.franklintn.gov/>









OWNER AFFIDAVIT

City of Franklin, Tennessee

We/I Daniel (Dan) Crookshanks - General Manager for BTC Properties TN LLC

(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

078C J 02400 000

(Property Parcel/Tax ID Number)

and located at:

709 W Main St. Franklin, Tn. 37064

(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Kenneth Powell - Owner of Signature Building LLC

(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

Daniel Crookshanks

Signature

709 W. Main St

Property Owner Mailing Address

Franklin, Tn. 37064

City, State & Zip

Subscribed and sworn to before me this

15th day of August, 2025.

[Signature]

Notary Public



My Commission Expires: 3-20-29



Project Overview **#1835713**

Project Title: 709 W Main St, Franklin, Tn. 37064 **Jurisdiction:** Franklin
Application Type: 08b) Administrative Certificate of Appropriateness (COA) **State:** TN
Workflow: COA Administrative Default **County:** Williamson

Required Administrative Review COA Application Supporting Materials

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

Signage:

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Awnings:

- Description of project
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Note: The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

Owner Affidavit

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

Contact Information - Project Contact

Project Contact

Kenneth Powell
 Signature Building
 2008 Lake Colonial Ct
 Arrington, TN 37014
 P:615-804-8641
Kenneth.powell2@gmail.com

Property Owner

Property Owner

Daniel Crookshanks
 BTC Properties TN LLC
 709 W Main St
 Franklin, TN 37064
 P:615-669-7388
dcrookshanks@tn-btcprop.com

Address

Project Address or Parcel: 709 W MAIN ST (078C-J02400)

Calculated Acreage: Parcel

- 709 W MAIN ST: 0.33566829

Scenic Corridor Overlay:

Hillside/Hillcrest Overlay:

Flood Fringe Overlay:

500ft Buffer of Hillside Overlay:

Type of Work Proposed: Minor Alteration

Height of Overall Sign:

Indicate shape/dimensions of window or door over which

Columbia Avenue Overlay:

Zoning District: Zoning Districts

- 709 W MAIN ST: OR

Central Franklin Overlay:

Historic Preservation Overlay: Historic Preservation Overlay

- 709 W MAIN ST: Historic Preservation Overlay

Floodway Overlay:

Type of Signage Proposed:

Height of Sign Face or Sign Area:

Fence Material:

proposed awning will be affixed.:

HVAC Type:

Narrative

Project Description:

We purchased the building and the deck going to the AirBNB's was not to code. We are going to fix deck deficiencies and bring it to code.