



# City of Franklin

Mailing Address:  
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Franklin, TN 37064  
(615) 791-3217

## Meeting Agenda

### Historic Zoning Commission

Monday, September 8, 2025

5:00 PM

Eastern Flank Event Facility

#### MEETING LOCATION

Eastern Flank Event Facility  
1368 Eastern Flank Circle

Notice is hereby given that a meeting of the Historic Zoning Commission will be held on the date and time listed above. For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at (615) 791-3216, at least 24 hours prior to the meeting. Accommodations have been made to ensure that the public is able to participate in the meeting. The public may participate in the following ways: • Watch the meeting on FranklinTV or the City of Franklin website. • Watch the live stream through the City of Franklin Facebook and YouTube accounts. • Email comments to [PlanningIntake@FranklinTN.gov](mailto:PlanningIntake@FranklinTN.gov) to be provided in full to the Commission and included in the minutes, but not read aloud in their entirety during the meeting. Emailed comments are accepted until 12:00 PM (noon) on the day before the meeting. • Comment in-person at the meeting location. Speakers may sit in the meeting location.

#### CALL TO ORDER

**CITIZEN COMMENTS** (Open for citizens to be heard on any issue or concern, including those related to items on the agenda. Please submit a Speaker Card at the beginning of the meeting if you would like to address the Commission. If you would like to speak on an agenda item, the Chair will hold your comment until the public comment period associated with the item. As provided by law, the Commission shall make no decisions or consideration of action of citizen comments for items not on the agenda, except to refer the matter to the Planning Director/Staff for administrative consideration, or to a schedule the matter for consideration at a later date. Those addressing the Commission are requested to come to the microphone and identify themselves by name and address for the official record. The Chair may restrict the period for public comment, including the length of the public comment period, the number of individuals who can speak and the length of time each individual may speak. When time allows, the standard individual public comment time is two minutes.)

Comments on agenda items may be made in person at the meeting or by emailing [planningintake@franklintn.gov](mailto:planningintake@franklintn.gov) before noon on the day before the meeting. Emailed comments will be provided to the Commission and included in the minutes, but not read aloud in their entirety during the meeting.

#### APPROVAL OF MINUTES

1. Consideration Of Approval Of Minutes

#### ANNOUNCEMENTS

#### APPLICATIONS

2. Consideration Of Site Alterations At 331 Franklin Rd. (Harlinsdale Farm); Kevin Lindsey, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer

3. Consideration Of Site Alterations At 1002 Fair St.; Jeff Fleishour, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

4. Consideration Of Fencing At 1850 William Campbell Ct. (Magnolia Hall Subdivision); David Harwath, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

5. Consideration Of Lighting, Fencing, And Site Alterations At 1840 William Campbell Ct. (Magnolia Hall Mansion); Jason Goddard, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer

6. Consideration Of Site Alterations, Fencing, and Gates At 1835, 1837, 1839, 1841, And 1843 William Campbell Ct. (Magnolia Hall Subdivision, Lots 2-6); David Horwath, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

7. Consideration Of Partial Demolition, Additions, Alterations, Alterations, And Fencing At 106 Winslow Rd.; Steve Maher, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer

## **OTHER BUSINESS**

### **RECEIPT OF ADMINISTRATIVE COA APPROVALS ON BEHALF OF THE HZC**

8. Administrative COA For Signage (Reface Post and Panel) At 404 Bridge St.; Anna Ham, Applicant.
9. Administrative COA For Rear Yard Fencing At 340 4th Ave. S.; Allyson Williams, Applicant.
10. Administrative COA For Signage At 420 Main St.; Mary Menge, Applicant.

## **ADJOURN**

Anyone needing accommodations due to disabilities please contact the ADA Coordinator at 615-791-3277 at least 24 hours prior to the meeting.



## Meeting Minutes

### Historic Zoning Commission

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Monday, August 11, 2025

5:00 PM

Eastern Flank Event Facility

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Notice is hereby given that a meeting of the Historic Zoning Commission will be held on the date and time listed above. For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at (615) 791-3216, at least 24 hours prior to the meeting. Accommodations have been made to ensure that the public is able to participate in the meeting. The public may participate in the following ways: • Watch the meeting on FranklinTV or the City of Franklin website. • Watch the live stream through the City of Franklin Facebook and YouTube accounts. • Email comments to [planningintake@franklintn.gov](mailto:planningintake@franklintn.gov) to be provided in full to the Commission and included in the minutes, but not read aloud in their entirety during the meeting. Emailed comments are accepted until 12:00 PM (noon) on the day before the meeting. • Comment in-person at the meeting location. Speakers may sit in the meeting location.

#### CALL TO ORDER

Chair LeMarinel called the meeting to order at 5:00 pm.

Commissioners Present: Bob Barrett, Madalyn Ingram, Brian Laster, Tyler LeMarinel, Holly Thompson, Michael Orr

Commissioners Absent: Lisa Marquardt, Mary Pearce, Kathy Worthington

Staff: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay, Jared Carter, and Blake Harper

**CITIZEN COMMENTS (Open for citizens to be heard on any issue or concern, including those related to items on the agenda. Please submit a Speaker Card at the beginning of the meeting if you would like to address the Commission. If you would like to speak on an agenda item, the Chair will hold your comment until the public comment period associated with the item. As provided by law, the Commission shall make no decisions or consideration of action of citizen comments for items not on the agenda, except to refer the matter to the Planning Director/Staff for administrative consideration, or to a schedule the matter for consideration at a later date. Those addressing the Commission are requested to come to the microphone and identify themselves by name and address for the official record. The Chair may restrict the period for public comment, including the length of the public comment period, the number of individuals who can speak and the length of time each individual may speak. When time allows, the standard individual public comment time is two minutes.)**

Chair LeMarinel asked for citizen comments. There were none. Chair LeMarinel stated that the HZC received two public comments regarding items 12 and 13 and those have been published with the agenda packet.

**Comments on agenda items may be made in person at the meeting or by emailing [planningintake@franklintn.gov](mailto:planningintake@franklintn.gov) before noon on the day of the meeting. Emailed comments will be provided to the Commission and included in the minutes, but not read aloud in their entirety during the meeting.**

#### APPROVAL OF MINUTES

##### 1. Consideration Of Approval Of Minutes

Sponsors:

Commissioner Laster motioned to approve the HZC July 14, 2025, Meeting minutes, seconded by Commissioner Barrett.

The motion carried 5-0 (Commissioner Madalyn Ingram was not present at the time of the vote).

## ANNOUNCEMENTS

Ms. Huffer stated that the next DRC Meeting will be held next Monday, August 18, 2025, at 4 pm here at the Eastern Flank Event Facility. Applicants along with anyone invited to DRC should email staff of their intent to attend DRC by midnight, tonight, August 11, 2025, to be added to the agenda.

## APPLICATIONS

### 2. **Consideration Of Alterations (Principal) At 802 Fair St.; Bill Clark, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that the property located at 802 Fair Street is located in the Hincheyville National Register Historic District. The site features a ca. 1924 side-gabled cottage principal building and is considered a contributing building to the historic district. The proposal includes a request to replace all the existing aluminum siding with a new Ply Gem Envoy Aluminum siding intended to match the existing material. The exact material for in-kind replacement is no longer manufactured, and a close match for the material is proposed. The applicant has noted that beneath the existing aluminum siding, there isn't consistent siding found on the house. As the age of the material is not known, replacing the material with what is proposed, like what is existing is appropriate with an in-kind material with similar appearance. The replacement of the material with an in-kind material and similar appearance is appropriate and does not negatively impact the historic significance as the aluminum siding is presently on the building.

Recommendation: Staff recommended approval of the siding replacement with conditions outlined in the staff report.

Applicant Speaker: Bill Clark. Mr. Clark was present but did not have any other information to add.

Citizen Comments: None

## MOTION

Commissioner Orr motioned to approve Alterations (Principal) At 802 Fair St with staff conditions, seconded by Commissioner Ingram.

The motion carried 6-0.

### 3. **Consideration Of Alteration (Principal Roof Material) At 1835 William Campbell Ct. (Magnolia Hall Lot 2); Jennifer Lombard, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that the property located at 1835 William Campbell Court is located in the Boyd Mill Avenue Historic District, lot 2 at Magnolia Hall. The proposal includes an alteration to the approved plans to change the roof material on the conical porch element from asphalt shingle to standing seam metal. The standing seam metal that is proposed is found on the front façade of the building including already over the box bay window. The use of a standing seam metal roof is an appropriate roof covering material alteration on the front porch.

Recommendation: Staff recommended approval of the roof material alteration on the front porch with conditions outlined in the staff report.

Applicant Speaker: Jennifer Lombard. Ms. Lombard stated that the reason for the change is because the manufacturer would not warranty the shingles on the conical shape. Ms. Lombard also noted that she has material samples for the Commissioners to see.

Citizen Comments: None

#### **MOTION**

Commissioner Ingram motioned to approve Alterations (Principal Roof Material) At 1835 William Campbell Ct. (Magnolia Hall Lot 2) with staff conditions, seconded by Commissioner Laster.

Chair LeMarinel stated that he likes how the metal material coordinates and stated that originally some metal was proposed. To not draw attention, the shingle would have been toned down, but it makes sense to use the metal material.

The motion carried 6-0.

#### **4. Consideration Of Signage And Lighting At 230 Franklin Rd. (Carousel Building); Raenah Anderson, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that the property located at 230 Franklin Road is located in the Franklin Road Historic District. The proposal is for the installation of two wall signs on the new carousel building at the Factory. The signs are proposed to be installed above the entrance and windows on the front and rear elevations. The signs will be 19' by 4'6", or 85.5 sq. ft. each and located 17'6" from grade. The Guidelines recommend the following for wall signs:

- A sign area of 9 square feet and proportionate to the building facade
- Maximum height of 12 feet from grade

The proposed size exceeds the recommended size maximum of 9 sq. ft., and the placement exceeds the recommended maximum height of 12' from grade.

Recommendation: Staff recommended denial of the application based on the guidelines for wall sign area and maximum height from grade.

If the commission votes to approve the application, the following conditions outlined in the staff report are recommended.

Applicant Speaker: David Click. Mr. Click stated that the sign dimensions had been reworked so that the total square footage measures 57.5 square feet which aligns with what was already approved. The sign design would be the same other than the overall reduction in size.

Chair LeMarinel asked staff to review what was approved and asked if the mural would have been in the same position as the sign (in the gable area).

Ms. Bulay stated the mural was approved with a modification of standards for placement. The mural itself was never reviewed or proposed, instead the applicant is proposing a wall sign. The proposed location of the sign is the same location as what was approved through the MOS. The MOS was approved prior to alterations (windows being pushed higher on the building) being made to the building, changing the location slightly.

Citizen Comments: None

#### **MOTION**

Commissioner Thompson motioned to deny Signage And Lighting At 230 Franklin Rd. (Carousel Building) and stated that the sign did not have enough of a historical design to go against the guidelines. The sign should be more historically significant if the sign is going to be larger.

The motion fails for a lack of a second.

Commissioner Orr asked staff if the revised sign dimensions mentioned by the applicant would meet the zoning ordinance requirements for a wall sign.

Ms. Bulay stated that the revised sign would meet the zoning requirements for a wall sign in the same location and placement.

Chair LeMarinel stated that the revised sign would meet the zoning requirements, but the wall sign still goes against two of the guidelines for height and square footage. Because a MOS was previously approved, the revised sign dimensions would be acceptable.

Ms. Bulay noted that the revised sign would meet the general intent of the zoning ordinance.

#### **MOTION**

Commissioner Laster motioned to approve Signage And Lighting At 230 Franklin Rd. (Carousel Building) with staff conditions and not to exceed 57.5 feet, seconded by Commissioner Barrett.

Commissioner Ingram noted that the wall sign photo in the application documents is shown before the size revision.

Chair LeMarinel stated that the photo is the supersized version prior to the reduction in height and width. Chair LeMarinel asked the applicant what percentage the reduction of the overall sign size is. It appears to be about a 46% reduction in size.

Mr. Click stated that the width is reduced from 19 feet to 15.7 feet and the height is reduced from 4.5 feet to 3.8 feet. Essentially the wall sign is in alignment with the windows but may extend 2-3 inches in width on each side.

Commissioner Laster stated that if the sign can fit within the scope of the windows, the sign would be aesthetically pleasing. Mr. Laster noted that this is a reasonable request.

Commissioner Thompson stated that if the sign fits within the same dimensions as the windows, the proposal can be supported and asked about the sign photo in the application documents relating to size.

Mr. Click stated the sign would have the same color scheme and same font as seen in the photo, but the dimensions have been reduced.

Commissioner Thompson stated that if the sign is smaller, it will look fine. Considering the huge version of the sign, it would need to look different.

Ms. Dannenfelser stated that the staff's condition is based on square footage so if the Commission would like the signage to stay within the dimensions of the windows, that needs to be stated.

Chair LeMarinel stated that he is comfortable either way.

The motion carried 6-0.

#### **5. Consideration Of Awning (Principal) At 900 Fair St.; Stephen Scott, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that the property located at 900 Fair Street is located in the Hincheyville National Register Historic District. The site features a ca. 1895 one-story building, which contributes to the district. The applicants attended the June and July DRC meetings, and feedback has been incorporated into the application. The proposal includes the removal of the existing green, arched fabric awning and installation of a copper awning with brackets over the entrance to the front porch. The proposed awning style utilizes a Juliet design. The bracket design is proposed to be metal and use a scroll design. The Guidelines recommend the following:

- Use duck canvas or cotton and polyester blends with or without acrylic treatment. Avoid vinyl awnings.
- New architectural features should not be added.

The use of a copper material for an awning is not supported by the Guidelines and the proposed bracket adds an ornamental detail that is not seen elsewhere on the front facade of the historic building.

Recommendation: Staff Recommends denial of the application based on the following Guidelines:

- Use duck canvas or cotton and polyester blends with or without acrylic treatment. Avoid vinyl awnings.
- New architectural features should not be added.

If the commission votes to approve the application, conditions of approval are recommended and outlined in the staff report.

Applicant Speaker: Stephen Scott. Mr. Scott stated that he understands that cooper is not a recommended material in a historic district, but cooper material has been approved by the HZC in some situations. Mr. Scott referenced application photos showing the use of cooper as the material in the historic districts. Mr. Scott noted that copper was chosen because copper will patina over time, matching the existing material on the house. The fabricator highly recommended against use of a standing seam metal as this type of awning would not be the intended “look” we’re going for – making it look like a cheapened version. The goal is to remove the rounded green awning as it is not aesthetically pleasing. As far as the brackets go, this is not a deal breaker as the objective is to remove what is there now. Based on the feedback from the DRC meeting, Mr. Scott explained that he thought he had chosen a bracket that would be appropriate.

Citizen Comments: None

#### **MOTION**

Commissioner Orr motioned to approve with staff conditions an Awning (Principal) At 900 Fair St, seconded by Commissioner Thompson.

Commissioner Ingram stated/asked if the Board approves with staff conditions, will canvas be used or could metal be used.

Ms. Bulay explained that the only condition staff had was if the application were being approved against staff’s original recommendation, so in this case the Board’s motion is for approval meaning the cooper material would be approved.

Commissioner Ingram asked the applicant if the drawings were to scale as they appear slightly shorter than last time.

Mr. Scott noted that the drawings were generated by AI and are as close to scale as possible and yes, there would be a increase in size. The size is very close to the application drawing.

Commissioner Orr stated you can count the brick and see, but the size is very close.

Commissioner Barrett asked if the Board is also approving the brackets in the motion.

Chair LeMarinel stated that a drawing is included in the application, so they are part of the approval. Looking at the drawing it could be frilly, but a side profile is shown and not the actual picture. For a Tudor style home, the bracket design is not too busy and considering the ironwork on the gate, the bracket design blends with existing elements of the building.

Commissioner Ingram stated that the brackets selected by the applicant look good and seem appropriate for the home.

Commissioner Orr noted that the brackets are not massive and do not overwhelm the doorway.

Chair LeMarinel stated that the canopies in the photos are larger than the canopy under consideration. The canopy should hold a lot of weight on top making the brackets seem smaller.

The motion carried 6-0.

#### **6. Consideration Of Site Alterations At 1002 Fair St.; Jeff Fleishour, Applicant.**

**Sponsors:** Kelly Dannenfels, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that the property located at 1002 Fair Street is located in the Hincheyville National Register Historic District. The site features a ca. 1885 one story Queen Anne style house that has elaborate detailing and a ca. 1950 concrete block garage, both of which are contributing to the National Register District. The proposal includes a request for two site alterations including:

- Installation of a covered pergola walkway
- Installation of a pea gravel rain garden

The first request is to install a pergola-covered walkway from the rear of the building to the side of the accessory structure and the second request is for the installation of a pea gravel rain garden in the rear yard. The Guidelines recommend the following for other site and setting alterations.

- Generally, site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts.

The pea gravel rain garden will not be visible from public view, does not involve the removal of historic features, and does not detract or overwhelm the context of the historic districts. The design of a flat-top-covered pergola walkway will be visible from public view and a pitched pergola design is not seen in the historic districts and may overwhelm the context of the district.

Recommendation: Staff recommend denial of the pergola walkway cover based on the following Guideline:

- Generally, site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view.

Recommendation: Staff recommend approval of the pea gravel rain garden with conditions outlined in the staff report.

Applicant Speaker: Jeff Fleishour, contractor. Mr. Fleishour stated that the purpose of the covered pergola walkway is simply to provide protection when walking from the garage to the house. The pergola adjacent to that would be coming off the house at 10 feet. Both pergolas are well behind the house and out of view. Visually, one would have to really try to see either pergola. Originally, an exterior kitchen extended out to the east and after a conversation with staff, the area was truncated off and placed behind the house to stay within the guidelines.

Chair LeMarinel asked the applicant if the walkway is being proposed to be an open air or covered.

Mr. Fleishour stated that the request is for a covered walkway.

Chair LeMarinel stated that the open-air pergola covers the dining area and the outdoor kitchen. Chair LeMarinel asked if that was the staff's understanding of the application.

Ms. Bulay stated that staff understood that the entire walkway was going to be covered with a pergola and it would be open air and not a fully covered walkway.

Chair LeMarinel stated that staff is recommending denial based on the visibility of the pergola.

Ms. Bulay stated that a pergola is reviewed under site and setting alterations following the recommendations of the Guidelines. The walkway was not evaluated as a covered connector from the house to the garage because the request was not understood. Denial was recommended for the open-air covered walkway based on the guidelines.

Randy Thompson, homeowner. Mr. Thompson thanked the Board for their work and service to the city. Mr. Thompson

explained that he has three adult children with a genetic disorder requiring each to use a motorized wheelchair to move around. All three children are successful adults with careers. The entire project is intended to create an environment so that they can move around the property as easily as possible when they come home to visit. For people who use wheelchairs, everything is an obstacle. The goal of the project is to make a space where wheelchairs can go from the house to the cottage without getting wet.

Chair LeMarinel asked staff if the pathway is completely covered if it would be considered differently.

Ms. Bulay stated that it would change the guidelines it is reviewed under. For awning, canopies and breezeways there are different guidelines to consider for visibility. One is to choose a path that lessens the length and expanse of the walkway.

Citizen Comments: None

#### **MOTION**

Commissioner Thompson motioned to defer the item to the September 8, 2025, HZC meeting so that the covered walkway can be considered under the correct guidelines, seconded by Commissioner Ingram.

Commissioner Ingram invited the applicant to attend the DRC meeting to discuss further.

Chair LeMarinel stated that the images were helpful but did not reflect the exact configuration. It would be helpful for the applicant to request a covered walkway which may be in better alignment with the guidelines and room for interpretation based on those guidelines.

Chair LeMarinel stated that the discussion was helpful, and staff would reach out to the applicant about attending the next meeting.

The motion to defer carried 6-0.

### **7. Consideration Of Alterations At 230 Franklin Rd. (The Factory Hotel); Benton Smothers, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that the property at 230 Franklin Road is the site of The Factory of Franklin. The Factory Campus is located in the Franklin Road Local Historic District, and the site is also listed on the National Register of Historic Places (NRHP). The application packet includes

- Metal roofing, gutters, and downspouts on the hotel building,
- Screening of the mechanical equipment on the hotel building,
- The change of a portion of the facade, that involves windows

The preservation staff only reviewed these items even though there are other items that are not addressed that have changed from the previous submittals. Regarding metal roofing, the applicant proposes using a galvalume 5V metal roof on the building which appears to meet the guidelines. Silver galvalume gutters and downspouts are also proposed on the building and meet the guidelines. Galvalume 5V metal roofing and dark colored gutters and downspouts can be found on the Factory campus. The proposed material for the mechanical equipment screening is proposed to be the same material as the roof, a 5V galvalume material. The proposed exhaust fan screening color appears to blend with the roofing material that was supported by DRC members during the August meeting. Lastly, the proposed change of right façade that faces the parking lot and railroad line is proposed to be altered. The previous design utilized dark metal siding to the ground of the building and three large windows on each floor of the building. The proposed change of design will have four ground-floor windows surrounded by brick and then the dark metal siding will begin above the windows. The guidelines recommend designing new windows to be compatible with the size, placement, rhythm, and relationship of solids to voids of those on nearby historic buildings. It is unknown what the size of the new windows are proposed to be and if they relate to the existing sizes of the windows of the buildings on the Factory.

Recommendation: Staff recommends deferring the change of the facade based on the following grounds.

- Design new windows to be compatible with the size, placement, rhythm, and relationship of solids to voids of those on nearby historic buildings.

Recommendation: Staff recommend the approval of the galvalume 5V metal roofing, galvalume gutters, galvalume downspouts, and galvalume metal screening for the new exhaust fans with the conditions outlined in the staff report.

Applicant Speaker: Read Talley. Mr. Talley explained that the goal of this proposal is to address the roofing material so that the COA can be granted and a site plan submitted. Mr. Talley stated that he doesn't want the other items to get in the way of that as the team is working toward submitting construction documents. During the process adjustments will be made requiring the team to bring the items before the Board. Regarding the three items proposed for this submittal, the team feels confident about and believe they are appropriate and ready to discuss. The team continues to work on the other items and once those are complete will be brought before DRC and then the HZC for discussion and approval. Regarding the windows, the teams is proposing additional windows of the same grid pattern (as seen throughout the Factory) for the fitness room to allow more natural light.

Chair LeMarinel asked for a clarification of the roof, gutters, and downspout material. The application indicated galvalume gutters and downspouts but then referred to them as silver metal.

Mr. Talley confirmed that the material for the roof, gutters, and downspouts will be galvalume or galvanized material. Mr. Tally provided brick samples showing one brick sample brand new straight out of the package and the other brick showing how the brick would weather/age over time.

Citizen Comments: None

Chair LeMarinel stated that he would like to address the all the metal elements (roof, gutters, downspouts and screening) in one motion and a second motion to address the windows.

#### **MOTION**

Commissioner Barrett motioned to approve the galvalume material for the roof, gutters, downspouts and screening for the Factory Hotel at 230 Franklin Road with staff conditions, seconded by Commissioner Ingram.

Commissioner Ingram thanked the applicant for bringing the brick samples and asked the applicant to estimate the timeframe before the aging process would occur.

Mr. Talley stated that the aging process depends on the weather conditions, but he would estimate 5-7 years.

The motion carried 6-0.

#### **MOTION**

Commissioner Laster motioned to defer the window alterations to the September 8, 2025, HZC meeting, seconded by Commissioner Barrett.

Commissioner Laster asked the applicant if the window alterations were presented at the DRC meeting.

Mr. Talley stated that the alterations were discussed.

Chair LeMarinel noted that he remembered the discussion and stated that he would like to see the facade finalized so that the Commission can see the proposal all at once.

Commissioner Ingram agreed with Chair LeMarinel.

The motion to defer carried 6-0.

## 8. Consideration Of Alterations (Principal) At 319 N. Margin St.; Wilson Stevenson, Applicant.

**Sponsors:** Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Ms. Bulay stated The property located at 319 North Margin Street is located in the Downtown Franklin Historic District with a ca. 1900 one-story frame duplex. A Certificate of Appropriateness was granted in 2021 for building alterations include raising the building one-foot, new wood siding on three facades, new cementitious siding on the rear, select window replacement, and deck expansion on the rear. The proposal includes continuing with the exact same approved plans with two alterations, which include the use of smooth cementitious siding on all facades of the building and replacement of all windows on the building. The proposed smooth cementitious siding will utilize the approved 5" reveal for the entirety of the building. The second alteration to the approved plans includes replacing the two original windows which were to be preserved as a condition of approval on the approved COA. The windows could not be preserved due to the termite damage and deterioration from damages from flooding. The proposed window will match the approved window profile of the windows which were approved in the original COA. The Guidelines recommend the following:

- Replace deteriorated siding with siding that matches the original siding.
- To use Smooth cement board siding may be appropriate for replacement of deteriorated wood siding on rear facades.

This request is to install a smooth cementitious siding on all facades of the building and is not appropriate. The request to replace the two identified original windows on the building with the window profile which was previously approved for the remaining windows is appropriate.

Recommendation: Staff recommend denial of the request for the installation of smooth cementitious siding on all facades based on the following Guidelines:

- Replace deteriorated siding with siding that matches the original siding. Do not install vinyl or other synthetic siding. Smooth cement board siding may be appropriate for replacement of deteriorated wood siding on rear facades.

Recommendation: Staff recommend approval of the window replacement with the conditions outlined in the staff report.

Applicant Speaker: Wilson Stevenson. Mr. Stevenson stated that this house has been vacant since the early 1990's with multiple exterior materials used over the years including wood, asphalt, vinyl siding, and using inferior materials that have the same appearance does not make sense. Mr. Stevenson explained that \$70,000 has been spent to redevelop and improve the building and lot and it has been extremely difficult. Lastly, Mr. Stevenson stated that he feels that the proposed material would be best for the home.

Chair LeMarinel asked staff to pull up the photos of the property and asked if the photos were taken before the home was lifted.

Mr. Stevenson explained that the home could not be lifted as there was no foundation coupled with termite damage and the fact the home had burned twice. Two other developers have attempted and failed to bring the house up to standards. Mr. Stevenson said he was ready to get started and finish restoring and redeveloping the home.

Citizen Comments: None

### **MOTION**

Commissioner Thompson motioned to approve Alterations (Principal) At 319 N. Margin St. with staff conditions, seconded by Commissioner Laster.

Chair LeMarinel asked if the motion includes both elements, window replacement and siding.

Commissioner Thompson stated yes and asked if staff recommended the use of actual wood and is that the only option other

than replacing the vinyl.

Ms. Bulay stated that it was originally approved to utilize wood siding on all three facades and to use cementitious siding only on the rear for historic residential buildings.

Commissioner Thompson stated that if the cementitious siding is approved for the rear, it looks basically the same, is long lasting and does not change the look, it would be acceptable. Replacing three of the facades with vinyl seems to be the least desirable choice.

Commissioner Laster stated that he can support use of cementitious siding because the historic home that existed in 2021 does not exist today as shown by the photographs. The original intent was to repair the siding of the home but according to the photos there isn't any siding to be replaced. Cementitious siding would be approved for new construction which is basically what the home will be.

Chair LeMarinel stated that according to the photos, the home will basically be new. So, then the Commission looks to the guidelines for a recommendation for siding for a new home and asked if cementitious siding be appropriate for infill.

Commissioner Orr asked if there was a request for demolition.

Ms. Bulay stated that there was not a request for demolition as the walls were moved off site and deterioration occurred during the ownership change.

Commissioner Orr suggested that this situation could set a precedent that if a historic home gets demolished, a new home can be built.

Chair LeMarinel stated that it appears the applicant is basically going to replicate the duplex that existed previously, but it will be a new building. At this point it is disingenuous to the intent of the guidelines to attempt to replicate the historic structure.

Commissioner Ingram asked if the motion includes the siding to remain a similar width and does the motion include the windows.

Chair LeMarinel stated that if Commissioner Ingram is referring to the reveal, yes it would be the same width, and the windows were clarified and were recommended for approval by staff. Historically, all the windows but two were approved to be replaced.

Commissioner Laster noted that there were only two original windows left.

Commissioner Ingram asked what the guidelines say regarding the grid pattern on the windows versus what is being proposed. The front windows are different from the rest of the windows.

Chair LeMarinel stated that as Mr. Laster noted there are only two original windows with a grid pattern of four over four. The Commission may need to weigh in on the windows if the original COA is not active.

Ms. Bulay explained that the current application is a proposal for the two windows as the other windows were approved previously. Permits have been pulled and work started on the previously approved windows.

Commissioner Laster asked if it was part of the conditions of approval that the replacement windows match the original window profile.

Ms. Bulay stated yes, the conditions of approval were that the windows match the original window profile.

The motion carried 6-0.

9. **Consideration Of New Construction At 1845 William Campbell Ct. (Lot 7) At Magnolia Hall; Jennifer Lombard, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that The application has been to several Design Review Committee meetings to discuss the overall architectural style of the proposed building. The proposal includes the construction of a two-story, cross-gabled residence with Colonial Revival architectural style features. The placement, scale, massing, height architecture, and materials all appear to be appropriate per the design guidelines. Regarding materials, the foundation level of brick buildings should be delineated through some type of belt course, such as soldier or sailor coursing, and should have a height of at least one foot above the grade on the primary elevation. The guidelines recommend using wood or composite material and the windows have the appearance of wood which is appropriate for windows, stops, jambs and trim. While the window specifications have not been provided as part of this application, they should align with the Guidelines. Several elements, such as the lighting and the hardscaping materials, have not been provided. The Guidelines recommend using simple fixtures that are appropriate to the scale of the house and constructed of historically prevalent materials and avoiding ornate carriage lights or fixtures reflective of the 18th century and using durable materials that were historically typical for driveways, such as gravel, concrete, bricks, and asphalt.

Recommendation: Staff recommend approval of the application with conditions.

Applicant Speaker: Jennifer Lombard. Ms. Lombard was present but did not have any additional information to add.

Citizen Comments: None

**MOTION**

Commissioner Ingram motioned to approve new construction At 1845 William Campbell Ct. (Lot 7) At Magnolia Hall with staff conditions, seconded by Commissioner Orr.

Commissioner Ingram noted that the adjustments that were made, make a huge difference and the design looks great.

Commissioner Laster agreed with Commissioner Ingram and stated the application has come a long way.

Chair LeMarinel acknowledged Ms. Lombard's efforts in adjusting the scale to suit the site. The scale is vastly improved.

The motion carried 6-0.

10. **Consideration Of In-Kind Repairs and Alterations (Colt Barn and Hayes House Equipment Barn) At 331 Franklin Rd. (Harlinsdale Farm); Lisa Clayton, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that the Park at Harlinsdale Farm is located within the Franklin Road Historic District and is also on the National Register of Historic Places. The proposal includes the following:

- In-kind repair and replacement of exterior elements on the Colt barn,
- Installation of doors on the Hayes House Equipment barn.

**Colt Barn**

The barn is located behind the Hayes House and is closest to the pond. The application notes that within 2024 and 2025, severe storms compromised the structural stability of the barn, and therefore, emergency actions were taken to ensure the integrity of the barn. The proposal is seeking a retroactive COA for the emergency repair work that has already been completed and to complete the repair and restoration of the exterior of the barn. The repair of the barn is supported by the Guidelines. It is recommended to try to preserve as much wood material as possible on the site and replace it when restoration is not feasible. Ms. Huffer referred to photos showing siding replacement on the barn along with the remaining

areas where the siding is proposed to be replaced (45' Length).

#### Hayes House Equipment Shed

This barn is located beside the Hayes House and is proposed to recreate doors on the east and south elevations. Ms. Huffer referred to historic photos where the doors can be seen. Two doors are proposed to be recreated on the southern elevation and on the eastern side of the barn, facing the Hayes house, a man door is proposed. Recreation of the doors is supported by the guidelines which recommend the reuse of existing wood in good condition. This is a city project, staff do not make a recommendation but there are potential conditions should the Commission approve the application.

Applicant Speakers: Kevin Lindsey and Trevor Finch. Mr. Lindsey stated that the only additional information to discuss is painting the equipment barn white if the Commission approves installation of doors. Doors are being proposed to keep the public from climbing the stairs that are just inside the barn door. Friends of Franklin Parks use the area for storage. The doors will help to secure the site when staff are not present.

Citizen Comments: None

#### **MOTION**

Commissioner Laster motioned to approve In-Kind Repairs and Alterations (Colt Barn and Hayes House Equipment Barn) At 331 Franklin Rd. (Harlinsdale Farm) and painting the equipment building white with staff conditions, seconded by Commissioner Orr.

Commissioner Laster stated that the city has done an excellent job of researching the site and a great job of using original materials.

Ms. Huffer asked if Commissioner Laster wanted to include painting the barn white as part of his motion.

Commissioner Laster stated that that was the intent of the motion.

Mr. Lindsey stated that the intent of painting the equipment barn white is to be consistent throughout the farm.

Chair LeMarinel noted that in the original photos the doors are dog eared with one door missing a dog ear and it would make him happy if it could be put back.

Mr. Lindsey stated that the dog ear will be put back and noted that the doors are 11' high, making it a task to create operable doors. The doors will be built in a way that anyone can open and close them.

The motion carried 6-0.

#### **11. Consideration of an Addition And Alterations (Principal) At 305 3rd Ave. S.; Brandon Priddy, Applicant.**

**Sponsors:** Kelly Dannenfelsner, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that the property at 305 3rd Avenue South is located in the Downtown Franklin National Register Historic District. The proposal includes the following items:

- A retroactive approval of the installation of copper downspouts on the building,
- Changing the roofing material of the rear addition (previously a detached garage),
- An addition to the building will include the 1990s minor accessory structure.

A retroactive COA is proposed for the installation of copper downspouts on the building and while it is unknown if the downspouts that were removed were original to the building, the new copper downspouts are appropriate for the age of the building. Regarding the roof change, the applicant proposes to change the existing roofing on the rear portion of the building which was previously a circa 1950s detached garage. The Guidelines recommend preserving historic roof forms and materials and if partial or wholesale replacement is needed, use material whose composition and appearance match the historic materials. As requested, replacement of the roofing on the rear portion of the building does not align with the Guidelines. An

836 square foot addition is proposed on the right side of the building. The construction of the addition including form, placement and sizing is appropriate per the guidelines. However, the lack of solids to voids on the building addition does not meet the design guidelines. It is recommended designing new windows to be compatible with the size, detailing, placement, rhythm, and relationship of solids to voids for historic buildings. By not having windows on the addition, it does not align with the guidelines and does not have a similar solid to void ratio on the building. Additionally, future lighting and hardscapes were not included as part of the application and staff will need more information on these items if they are offered. It was not proposed to utilize downspouts and gutter on the addition, but it would be appropriate to utilize the same design that is seen on the building.

Recommendation: Staff recommend denial of the change in roofing material from asphalt shingle to metal roofing and the construction of the addition based on the following grounds:

- Preserve historic roof forms and materials. Roofing sections on main and other visible facades should remain unaltered.
- If localized damage occurs, replace the damaged materials only. If partial or wholesale replacement is needed; use materials whose composition and appearance match the historic materials.
- Design new windows to be compatible with the size, detailing, placement, rhythm, and relationship of solids to voids of those on the historic building.

Recommendation: Staff recommend approval of the retroactive installation of the downspouts with conditions outlined in the staff report.

Should the HZC approve of the roofing material change and construction of the addition, there are additional conditions recommended and are listed in the staff report.

Applicant Speaker: Mike Hathaway, 906 Studio Architects. Mr. Hathaway thanked the Commission for their insights and discussions on this project. Regarding the proposed roofing changes, the team is proposing use of a metal roof to provide continuity throughout the property. The garage is the only area where an asphalt roof is utilized and the team request consideration from this point of view. Mr. Hathaway addressed the voids in the facade by stating that someone suggested using a Smokehouse concept for the addition. Conceptionally a Smokehouse would have simple detailing with very few openings and a simple fenestration. The designs presented to HZC have not shown much detailing as the team is following through with the Smokehouse concept. The goal is not to make it look like it is a formal outbuilding or garden structure. Mr. Hathaway asked the Board to consider the addition from the Smokehouse perspective when contemplating a decision on the application.

Citizen Comments: None

#### **MOTION**

Commissioner Laster motioned to deny the garage roofing replacement and the new addition with conditions at 305 3rd Ave. S., seconded by Commissioner Ingram.

Commissioner Laster explained that part of the historical appreciation is seeing changes in the building over time. Seeing the changes over time makes an impression, rather than trying to match the rest of the house.

Chair LeMarinel stated that the guidelines are clear and state that if the roof is asphalt, the roof should remain asphalt, barring some compelling argument, the HZC tries to follow the recommended guidelines. Regarding the new addition, Chair LeMarinel stated that the form is an improvement from what was seen at the DRC meeting. The building has the Smokehouse feel with exaggerated dimensions. The building is twice as long as a Smokehouse would be with long expansive walls and even though there is a brick wall in front, that brick wall may not be there forever. The openings may not need to be windows but there needs to be some kind of rhythm of openings that meet the guidelines.

Commissioner Laster stated that he suggested the concept of a Smokehouse but typically a Smokehouse is 120 square feet and conflicts with the Greek Revival style with the addition proposed along the side. Commissioner Laster invited the applicant to attend the DRC meeting.

Commissioner Barrett noted his concerns about the viewshed from 3rd Avenue even though there is brick fencing there. The

addition would still be visible.

The motion to deny carried 6-0.

#### **MOTION**

Commissioner Barrett motioned to approve the copper downspouts at 305 3rd Ave. S., seconded by Commissioner Thompson.

The motion to approve the downspouts carried 6-0.

### **12. Consideration Of Demolition (Principal And Accessory) At 119 Church St.; John Ligon, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that the property at 119 Church Street is located in the Downtown Franklin National Register Historic District. The National Register lists the building at 119 Church Street as non-contributing and being constructed circa 1920. The National Register does not list the accessory structure as being on the site. The proposal is for the demolition of the principal building and the accessory structure. The information provided on the accessory structure was that it is an 8'x10' small metal shed that appeared to be of a 1980s construction. Based on the documentation provided, the removal of the metal accessory structure appears to not adversely impact the site. The Guidelines recommend conducting routine maintenance and major repairs on historic structures to ensure their preservation. Demolition is not permitted unless there are extraordinary circumstances. The Guidelines provide that demolition can only be approved if the Historic Zoning Commission deems one or more of the following conditions met:

1. If a building has lost its architectural and historical integrity and its removal will not adversely affect the district's historic character.
2. If the demolition will result in an unreasonable economic hardship on the applicant, as determined by the HZC.
3. If the structural instability or deterioration of a property is demonstrated through a report by a structural engineer or architect with demonstrated experience working with historic structures. Such a report must clearly detail the property's physical condition, reasons why rehabilitation is not feasible, and cost estimates for rehabilitation versus demolition and construction of a comparable structure. In addition to this report, there should be a separate report that details future action on the site.

Within this submittal, new cost estimates were provided for both the rehabilitation of the existing structure and the complete reconstruction of a new one. The estimated cost to rehabilitate the building is \$975,000, and to build a new structure will be \$590,000. A contractor who builds new custom houses provided these numbers on behalf of the applicant. It is unclear whether the contractor has experience working with historic buildings, as their website states that they handle any new construction need. While photos have been provided showing the deterioration of the building and the cost estimates have also been provided as well, the cost estimates have been provided by a contractor that does not have experience with historic buildings.

Recommendation: Staff recommends denial of the demolition of the principal building based on the following ground:

- If the structural instability or deterioration of a property is demonstrated through a report by a structural engineer or architect with demonstrated experience working with historic structures. Such a report must clearly detail the property's physical condition, reasons why rehabilitation is not feasible, and cost estimates for rehabilitation versus demolition and construction of a comparable structure. In addition to this report, there should be a separate report that details future action on the site.

Recommendation: Staff recommends approval of the demolition of the circa 1980 metal accessory structure with conditions.

Applicant Speaker: John Ligon and Matt Ligon. Mr. Matt Ligon stated that this is the third time before HZC and hoped that

they have been responsive to every request from staff and the Commission. Documentation from two engineers, a house mover, and two contractors that have all stipulated that there are safety concerns with the structural integrity of the building. Mr. Ligon stated that he believes they have provided enough documentation to support all three of the conditions that must be met for demolition approval. Mr. Ligon noted that Mike Lee had the opportunity to inspect the building and agreed that it would not be feasible to restore the building. Mr. Lee had planned to attend and speak but was unable to make it.

Citizen Comments:

Mike Miersma, 203 2<sup>nd</sup> Avenue South. Mr. Miersma stated that he recently finished restoring his home that has a view of this property. Mr. Miersma noted that the building doesn't have any aesthetic value, and he would like to see it demolished. Walking through the building with a contractor and civil engineer you could see the floor joist was rotten and not much worth saving. Mr. Miersma agreed with Matt and John Ligon regarding demolition and stated that it is a tremendous eyesore for the Brownstones across the way.

Ms. Huffer stated that a written public comment was received and was published with the application documents.

**MOTION**

Commissioner Ingram motioned to approve demolition of the accessory structure at 119 Church Street, seconded by Commissioner Orr.

The motion carried 6-0.

**MOTION**

Commissioner Orr motioned to approve demolition of the principal structure at 119 Church Street, seconded by Commissioner Laster.

Commissioner Orr stated that based on the photos and discussion regarding this property there doesn't appear that there is much to be saved.

Commissioner Laster stated that this is one of the tough decisions the HZC is confronted with as most may see the building as a shack, but it still has some historical significance to the city of Franklin. If the building had been under roof for the last couple of years, Commissioner Laster stated his opinion might be different. Mr. Laster explained that in his experience, rehabilitation of historic homes even under the best conditions may have dry rot, wet rot, termites, and post-beetles. In this situation, a tree fell on the roof causing exposure to the elements leaving very little to be saved. To save the building means basically replacing everything, making it no longer an old house. The guidelines provide direction in these tough situations by providing criteria that must be met to justify demolition. The engineers report along with the contractor's report both meet the criteria provided by the guidelines. It could also be said that due to the alterations made to the building over the years, it no longer has historical significance. The building is a non-contributing historical structure. In this situation, Commissioner Laster stated that demolition is appropriate for the principal building. Commissioner Laster noted that this is only the second time in his history, as a member of the HZC, that he's voted in favor of demolition and these are tough decisions.

Commissioner Ingram stated that she has a question about how the numbers were determined.

Chair LeMarinel stated that the guidelines require estimates from an architect or a contractor with construction experience with historic homes and are provided by the applicant. Staff nor the Commission would be involved in providing the estimates.

Chair LeMarinel stated that he agrees with Commissioner Laster regarding tough decisions. When these types of houses were built, they were not built to be architectural statements, but they are still contextual and are important. Chair LeMarinel stated that the community is made up of all different types of architecture and they all contribute in some way. Some structures more than others, some more ornate and some more plain but each one is part of who we are as a community. In this circumstance, as Mr. Laster stated, the home is in bad enough shape and with the supporting documents from professionals, Chair LeMarinel stated that he feels comfortable with the motion.

Commissioner Ingram asked what happens after the demolition, is the applicant required to rebuild.

Chair LeMarinel stated that the third criteria states that if the structure is to be demolished, a separate report should be submitted detailing future actions of the site. Chair LeMarinel stated that the applicant mentioned green space, but he was not sure if the final determination had been made.

Mr. Huffer also noted that the first condition for the demolition of the accessory structure is that any new proposed development on the lot should obtain a COA from the Historic Zoning Commission.

Commissioner Laster noted that there may be salvageable elements of the historic structure such as a mantel, doors or sashes and may be usable.

Commissioner Barrett stated that even though the Commission is leaning toward demolition approval, it is important to remember the historical aspects of this side of town. During the Civil War this was a nice part of town and over the years the area has gone down and is now back up with a vengeance. Remembering how this area of Franklin is now is not how it was even 50 years ago.

The motion carried 6-0.

**Recess:**

Commissioner Laster motioned to take a recess, seconded by Commissioner Barrett. The motion carried 6-0.

**13. Consideration Of An Addition (Principal) And Alterations And An Addition (Accessory) At 1008 Fair St.; Jacob Layne, Applicant.**

Sponsors: Kelly Dannenfelser, Emily Huffer, Elizabeth Bulay

Project Leader: Elizabeth Bulay. Ms. Bulay stated that The property located at 1008 Fair Street is in the Hincheyville National Register Historic District. The site features a ca. 1889 one-story Federal-style house. The proposal includes a request for an addition to the principal building and for alterations and an addition to the accessory structure. This proposal was previously submitted for a DRC review, but staff recommended to the applicant there should be significant redesign prior to attending a DRC meeting and that application was withdrawn. This proposal was subsequently submitted for a formal HZC review.

Principal Building Addition:

A two-story, 164 sq. ft. addition is proposed on the rear of the principal building. The height of the historic building is 18' and the height of the proposed addition is 20'10" and utilizes a "popup" "camelback" form. The proposed "pop-up" form is highly inappropriate per the Guidelines, and the proposed two-story addition is not subordinate to the one-story historic building and compromises the scale relationship between the historic building and the addition. Because significant redesign and additional information are necessary, an analysis of the windows, entrances, deck, materials and exterior finishes, details and ornamentation, and decks was not conducted as they will need to be redesigned as well to accommodate an appropriate form for the addition.

Accessory Structure Alterations and Addition:

The proposal includes alterations and an addition to the existing accessory structure. The National Register lists the building as a ca. 2000 structure. Historic Sanborn maps indicate that, historically, there may have been a structure in the same area as the existing structure. With the information currently available, the structure is reviewed as a non-historic accessory structure. Proposed alterations to the existing structure include the addition of a dormer on the rear façade and the addition of a front-facing gable. The roof pitches for the roof forms have not been included. Neither information nor specifications for the materials, details, windows, or garage doors have been called out or included in the application. A 420 sq. ft. addition is proposed to the existing accessory structure, as well. The proposed alterations and additions do not increase the compatibility of the structure and appropriateness of the structure within the district. The proposed alterations and additions create mass that is not consistent with the massing and scale of the surrounding historic accessory structures. A more thorough review of the proposal cannot be completed as information or specifications for the materials, details, windows, garage doors, or lighting have not been called out or included in the application for review.

Recommendation: Staff recommends denial of the addition to the principal building and alterations and addition to the

accessory structure based on the Guidelines listed in the staff report.

Applicant Speaker: Jacob Layne. Mr. Layne stated he would like to clarify that the roof pitches and dormers follow the codes with a 3/12 for the dormer and reiterated that the front façade will not be touched or altered in any way. Mr. Layne also noted that the historical character of the home is important and would like to carry that character through to the back.

Citizen Comments: None

Ms. Bulay noted that one public comment was received electronically and is published with the application documents.

#### **MOTION**

Commissioner Orr motioned to deny An Addition (Principal) And Alterations And An Addition (Accessory) At 1008 Fair St. based on all staff comments and conditions, seconded by Commissioner Ingram.

Commissioner Laster invited the applicant to attend a DRC meeting to discuss the design. Chair LeMarinel stated that he agrees with the motion to deny. The massing of the building is not even close to what would be allowable or recommended in the guidelines. A lot of work needs to be done to get the project within compliance so that the Commission can consider it for approval. Chair LeMarinel also invited the applicant to the DRC meeting to discuss and get feedback from staff and the Commissioners.

Commissioner Laster stated that it would be a good idea to spend time with staff so that they can provide directions on the project.

Chair LeMarinel reminded the applicant about the DRC meeting and if they plan on attending, please let staff know by midnight.

The motion to deny carried 6-0.

#### **14. Consideration Of Alterations At 109 3rd Ave. S. (City Hall And City Hall Park); Anna Ruth Kimbrough, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that The property at 109 3rd Avenue South is the site of the previously approved demolition and construction of the City of Franklin's new City Hall. The site is in the Downtown Franklin National Register Historic District. The proposal includes the following items:

- Rooftop mechanical screening
- Roofing materials
- Gates and railing
- Windows and doors specifications
- Lighting for the building, site, and park
- Park elements
- Hardscaping

Ms. Huffer explained that all the items proposed appear to be appropriate and follow the design guidelines. Since this is a city project, staff do not make a recommendation. However, there are potential conditions should the HZC approve the proposal. These potential conditions are listed in the staff report.

Applicant Speaker: Anna Ruth Kimbro, Studio Eight Design, design representative for the new City Hall project. Ms. Kimbro stated that there are several items she will cover that were conditions of approval for the previous COA. It was suggested in the HZC meeting that the steps on the plaza on the corner should be squared off instead of rounded. Ms. Kimbro noted this change in the renderings on page A3.0 in the submittal documents. Also, the brick planters that run along 3rd Avenue and the ADA ramp have been lowered in height. Ms. Kimbro moved on to the new items to be considered in this proposal. Ms.

Kimbro noted a material sample she provided for the mechanical screening that will be in an antique bronze to match the windows and other detailing on the building and will be a combination of louvers and solid panels. The enclosed rooftop penthouse will have clad and thin bricks to match the brick of the city hall building. Ms. Kimbro noted that the mechanical rooftop screening cannot be seen from the square or from Main Street. Other material samples provided by Ms. Kimbro include the roofing material for the pediments as shown in the top left rendering on page A3.0. It is a soft gray material which complements the limestone pediments on the main city hall building. On page A3.3 of the application documents, Ms. Kimbro referred to the brick color choices for the various areas throughout the city hall campus. Regarding the gates and railing designs, Ms. Kimbro explained that the team considered existing gates and railing around Public Square and at the Harpeth Square development along with historic examples in the residential areas close to the site. Page A3.7 shows the proposed railing and gate design shapes that were chosen because they are unique and reflect historic examples seen around the city. Moving onto the windows, Ms. Kimbro explained that they ran into issues with the commercial hardware working on clad wood doors. Commercial hardware provides the electrified card readers and panic bars that are not typically installed on wood clad doors. After researching historic examples of aluminum doors, the Boyd company can accommodate custom design that will have the same profile as the Marvin design and be as close as possible to a wood clad window (Pgs. A.3.10-11).

The team compared the exterior lighting of public square, the courthouse and throughout downtown to determine exterior lighting for the new city hall. Ms. Kimbro explained that they are proposing keeping the pediments lighted to maintain the scale and form of the building. Coach lights were added on each side of the main entrance with the remainder of the lighting proposed as downlighting to light the pathway to the parking garage and plaza area for safety. The lighting system will be adjustable so that the right amount of lighting can be chosen with warm light around 2700 to 3000 Kelvin which is an incandescent warm light. Ms. Kimbro provided examples of the light fixtures to be used throughout the City Hall buildings, parking garage and the park on Pages. AL1.2-AL2.3.

Three fountains are proposed on the site that include a central main fountain, a courtyard fountain and a wall fountain (Pg. AF1.0). Ms. Kimbro touched on the vertical elements proposed for the park (L1.1-L1.2). There are three locations proposed for trellises. The rendering shows how the proposed columns will have a brick base with the wood portions of the trellis in white. Ms. Kimbro noted that the column design comes from the kind of architecture seen on residential porches around the site with brick bases, white columns and white pergola members. Swings are also proposed in the Franklin green color and will tie in with the Franklin benches. Next, Ms. Kimbro referred to the paving materials proposed for the park as seen on page L1.3 of the submittal documents and noted that fixed aggregate will be used in some places instead of loose aggregate as some were concerned about. The next page, L1.5, Ms. Kimbro referred to the wider planters for the front entry from the square and the taller planter will be utilized at the arcade connector to the courtyard. The furnishings proposed for the park and throughout the site are indicated on page L1.4.

Citizen Comments: None

#### **MOTION**

Commissioner Laster motioned to approve Alterations At 109 3rd Ave. S. (City Hall And City Hall Park), seconded by Commissioner Ingram.

Commissioner Laster stated that for the window elements the thinner muntin pattern seems more appropriate and asked Ms. Kimbro about the Boyd vs. Marvin window style relating to the double hung appearance of the Marvin window. Mr. Laster stated that it looks like a single meeting rail, but you would usually have the shadow line. Looking at the Boyd style window it almost looks flat, and it appears to have two meeting rails.

Ms. Kimbro explained and confirmed that the Boyd window profile has a double hung appearance because of the offset. Ms. Kimbro referenced page A3.10 in the application documents.

Commissioner Laster asked Ms. Kimbro if the coach lights for the main entrance will be attached to the wall with a gooseneck attachment.

Ms. Kimbro confirmed that a gooseneck would attach the coach lights to the wall.

Commissioner Orr stated that he is concerned about the benches not having a bar to keep people from using the bench as a place to sleep.

Ms. Kimbro explained that their security consultant had mentioned it but based on Franklin's current crime rate and Franklin's projected crime rate for the future, they didn't feel like it was necessary. The team has made a good effort to try to keep the lighting subtle on the park but provide enough light for the security cameras to operate at night.

Commissioner Ingram expressed her concern about the style of the railings and not having a historic look. Looking at the Brownstones in the photos along with other examples, Commissioner Ingram stated that the railings seem more contemporary to her.

Commissioner Barrett noted that it was mentioned at the DRC meeting that the width of the railings would be thicker than shown on the application documents.

Ms. Kimbro stated that the railings will be thicker like what is seen on steel or wrought iron railing. The thickness will measure ½" with the circular and arched pieces measuring 3/8." The reason a different style was chosen for City Hall was to create something unique and appealing for a lifetime but also giving a nod to the history and context of its surroundings. Commissioner Ingram recognized how hard the design team has worked to create a unique building fitting for downtown Franklin but reiterated her point about the style of the railings and stated that the style does not seem to fit the context of the building, in her opinion.

Chair LeMarinel stated that after the last discussion on the railings, he went back and studied railings and noted that he doesn't mind the circle shape and arch of the design. The whole point of ironwork is to be slender and Chair LeMarinel noted that the proposed railings may look like a traditional iron panel was taken and set into the large newel posts. The iron work in front of the Harpeth Hotel is aluminum and is designed to be thicker so that it will hold up better. Lastly, Chair LeMarinel stated that the newels seem a bit heavy as they appear to be 4"-6" square but also noted that he is ok with the understated design given everything else going on with the building.

Chair Laster stated that he agrees with Ms. Ingram and Chair LeMarinel and stated that the design seems a little lackluster. However, there are benefits of simplicity too. Mr. Laster suggested seeing a material sample.

Commissioner Ingram agreed that seeing a material sample could make a difference.

Ms. Kimbro noted that one of the conditions of approval is to provide a material sample, wrought iron, steel, or aluminum, which has not been decided yet.

The motion to approve carried 6-0.

**15. Consideration Of HPO Rezoning Recommendation Request for 171 Hillhaven Ln. And Parcel ID 063---02101; City of Franklin, Applicant.**

**Sponsors:** Kelly Dannenfelser, Emily Huffer

Project Leader: Emily Huffer. Ms. Huffer stated that The City undertakes annual Zoning Ordinance updates and two nominations into the HPO for the property on Mack Hatcher Parkway (by Harlinsdale Farm) noted as Parcel ID 063---02101, and land located by Roper's Knob, located at 171 Hillhaven Lane. Due to the location of the property in relation to Harlinsdale Farm and to Roper's Knob, the property owners of these two properties, the City of Franklin, and Franklin's Charge have worked with the city staff and requested that the property be rezoned and placed within the HPO. The City-owned property that fronts Mack Hatcher Parkway and Aldersgate Way and is adjacent to Harlinsdale Farm to the south and the property is approximately 54 acres. The property at 171 Hillhaven Lane is positioned so that the property will connect to the city-owned portion of Roper's Knob. The fortifications at Roper's Knob were entered on the National Register as part of the Civil War Historic and Historic Archeological Resources in Tennessee Multiple Property Submission.

Recommendation: It is recommended that the HZC recommend approval to the FMPC and the BOMA for the proposed HPO district rezoning. The FMPC and the BOMA are both slated to consider the proposed rezoning at their respective meetings in the coming months.

Citizen Comments: None

#### **MOTION**

Chair Laster motioned to recommend approval of HPO Rezoning Recommendation Request for 171 Hillhaven Ln. And Parcel ID 063---02101 to the Franklin Municipal Planning Commission and the Board of Mayor and Aldermen, seconded by Commissioner Ingram.

Commissioner Laster stated that he has been to the parcel that will connect to Roper's Knob and stated that Franklin's Charge has done a great job in making this available to the city. It is also great to see properties join the historic zoning overlay.

The motion to recommend approval carried 6-0.

#### **OTHER BUSINESS**

Ms. Huffer reminded the Board that there will be a special DRC meeting on Thursday, August 21, 2025, at 3 pm to discuss the Harpeth Village Mixed Use development plan and a review of the modification of standards. The special meeting will be held at 324 Liberty Pike, suite 150, Jamison Station.

#### **RECEIPT OF ADMINISTRATIVE COA APPROVALS ON BEHALF OF THE HZC**

16. **Admin COA For Lighting at 129 2nd Ave. N.; Marla Albert, Applicant.**

Sponsors:

17. **Admin COA For Signage (Reface) At 232 5th Ave. N.; Jason Collins, Applicant.**

Sponsors:

18. **Admin COA For Signage (Projecting, Sandwich Board, And Window) At 430 Main St.; Cathey Jo Elwood, Applicant.**

Sponsors:

#### **ADJOURN**

Commissioner Orr motioned to adjourn the August 11, 2025, HZC meeting, seconded by Commissioner Ingram. The motion carried 6-0.

There being no further business, the meeting adjourned at 7:23 PM

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Chair

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Date





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**File #: 21-01084**

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**DATE:** August 28, 2025  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner

**SUBJECT:**  
Consideration Of Site Alterations At 331 Franklin Rd. (Harlinsdale Farm); Kevin Lindsey, Applicant.

**PURPOSE:**  
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning site alterations at 331 Harlinsdale Farm.

**APPLICABLE DESIGN GUIDELINES:**  
2022 Franklin Historic District Design Guidelines:  
Chapter 6: Site & Setting

**PROJECT INFORMATION:**  
COF Project Number: 8921  
Applicant: Kevin Lindsey  
Owner: City of Franklin

**BACKGROUND:**  
The property at 331 Franklin Road is the site of Harlinsdale Farm, which is located within the Franklin Road Historic District. The property is also individually listed on the National Register of Historic Places. The proposal includes extending the hardscaping around the interpreted interurban trail.

It is proposed to widen the area around the interpreted interurban trail. This widening will allow vehicles to turn on a hard surface without disrupting the earth around the concrete. The path will span 20' in length on the side of the interurban path and 24' on the road that leads from the parking lot by the Hayes House. Adding this triangle of hardscaping will allow vehicles and emergency vehicles the ability to access the site and not be stuck in the area that is currently grass. It is proposed that the additional concrete will match in color and profile as the existing materials. The Guidelines recommend:

- Generally, site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts.

Since there is an existing concrete drive on the site, adding a portion to it to improve accessibility appears to align with the Guidelines.

**RECOMMENDATION:**

Since this is a City project, staff does not make a recommendation, but here are some potential conditions should the HZC approve the proposal:

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

**Project Considerations:**

1. Staff will update an existing, open floodplain development permit to include this minor scope of work.

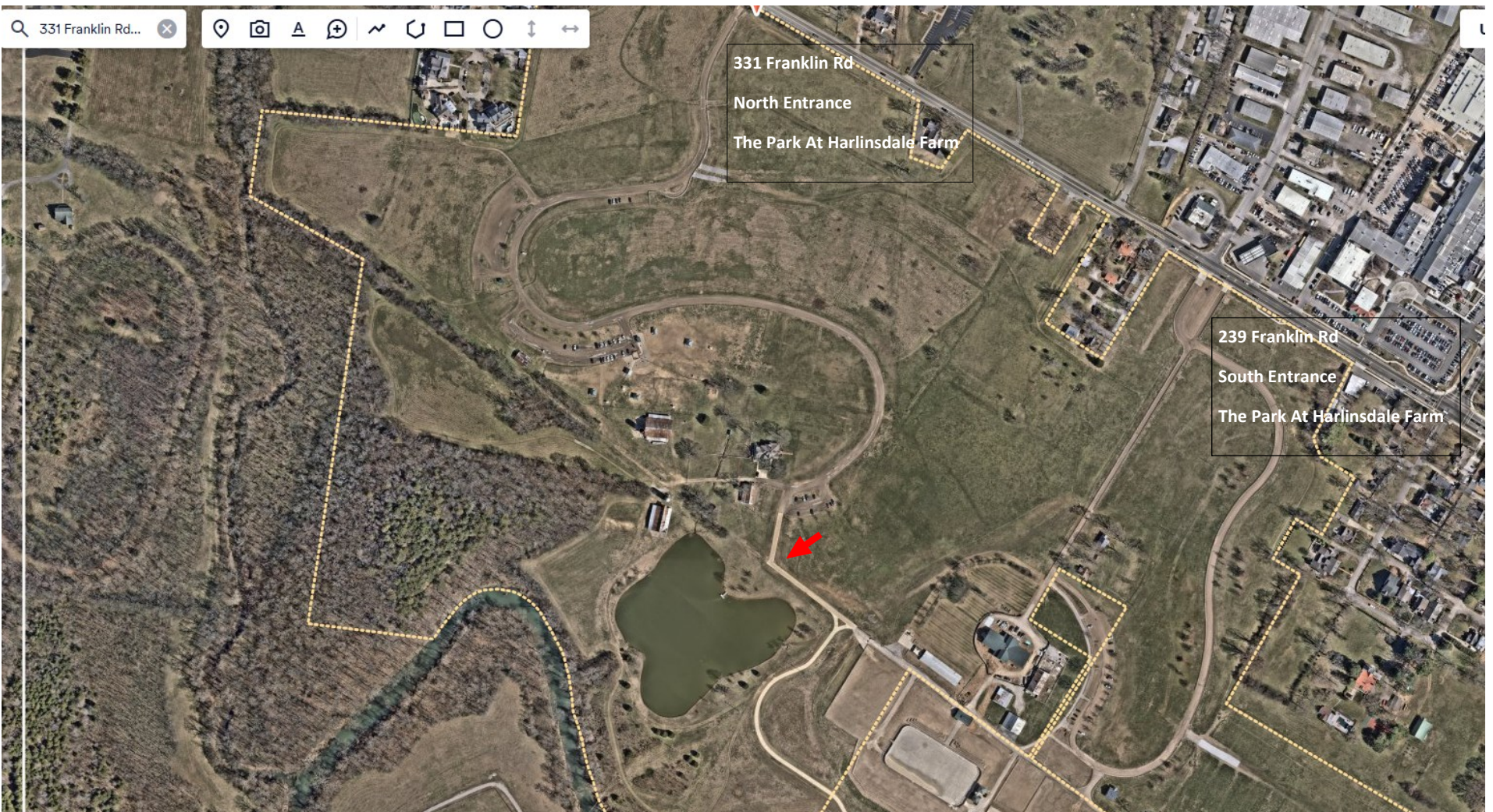
**Park Name:** The Park at Harlinsdale Farm

**Address:** 331 Franklin Road

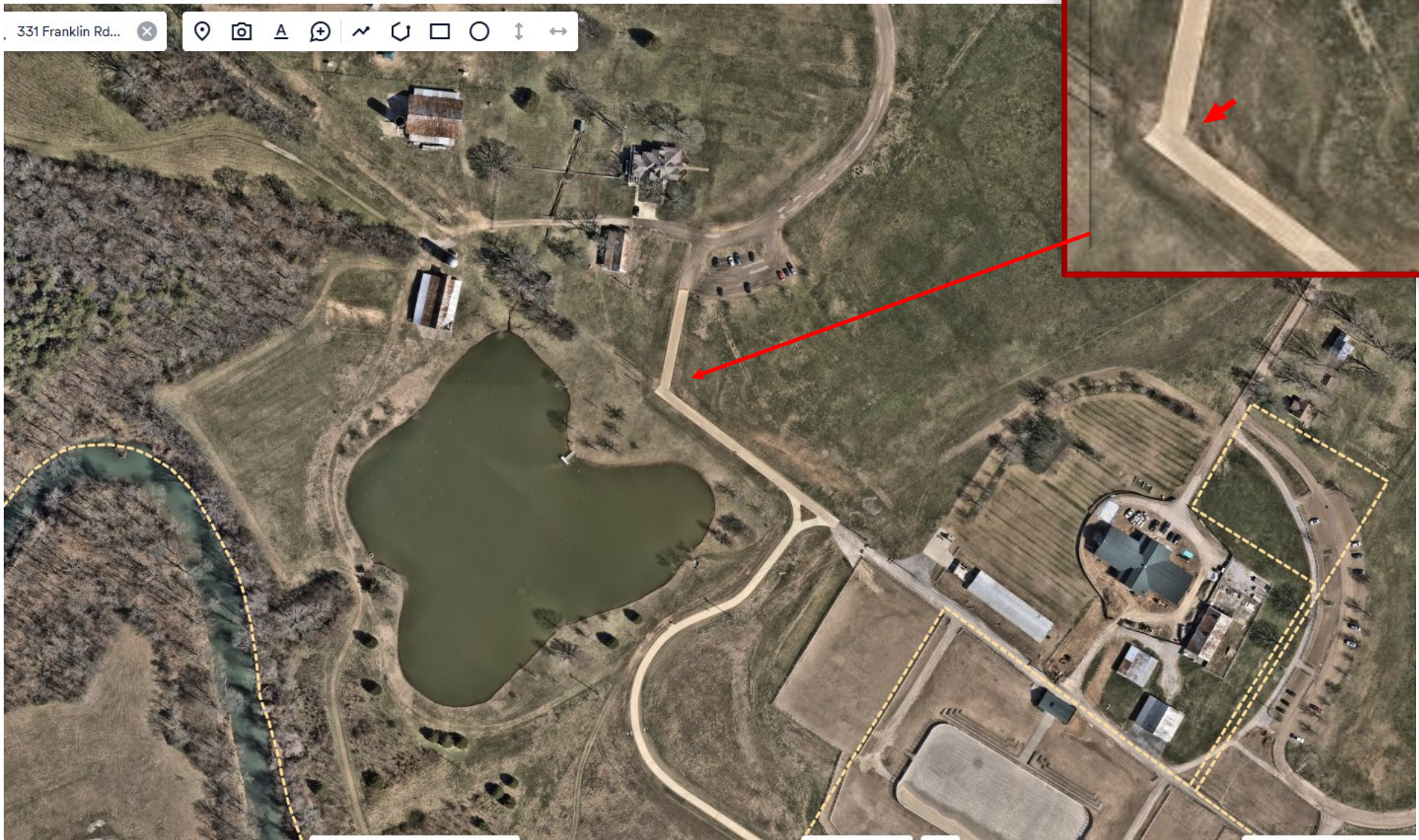
**Location:** Interurban Hayes Home parking lot connection-**Red arrow below**

**Request:** Secure a Certificate of Appropriateness for the addition of new concrete place in the turn/elbow for egress onto the interurban

**Applicant:** City of Franklin Parks & Recreation Department



**Location-Elbow of the approach to the Interurban from Hayes Parking lot**



Shown in the picture is the existing condition at the Elbow of the approach to the Interurban just after repairs were made from the previous event held.

This access point is used by horse trailers, fire trucks, and ambulance vehicles to reach the arena floor and paddocks. Due to the standard turning radius of these trailers, approximately 90% are unable to make the turn without veering off the edge of the path, which poses a risk of damaging the vehicle, trailer, or the existing concrete border.



Parks request is to add extra concrete to the inside of the elbow to assist trailers with the turn.  
This addition would be made of the same concrete mixture and spec of the existing road as shown to blend in.



**Another angle shown for reference:**

**By adding this additional band of concrete this area will be safe for traffic entering to arena with minimal disturbance to the grass and eliminating staff time and expense on repairing after every event.**





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**File #: 21-01067**

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**DATE:** August 27, 2025  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner  
Elizabeth Bulay, Assistant Preservation Planner

**SUBJECT:**  
Consideration Of Site Alterations At 1002 Fair St.; Jeff Fleishour, Applicant.

**PURPOSE:**  
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning proposed site alterations at 1002 Fair Street.

**APPLICABLE DESIGN GUIDELINES:**  
2022 Franklin Historic District Design Guidelines:  
Chapter 6: Site & Setting

**PROJECT INFORMATION:**  
COF Project Number: 8897  
Applicant: Jeff Fleishour  
Owner: Amanda Cecconi

**BACKGROUND:**  
The property located at 1002 Fair Street is located in the Hincheyville National Register Historic District. The site features a ca. 1885 one story Queen Anne style house that has elaborate detailing and a ca. 1950 concrete block garage, both of which are contributing to the National Register District. The request was deferred during the August HZC meeting and the applicant attended the August DRC meeting and changes have been made to the proposal.

The proposal includes a request for the installation of a pergola behind the principal building and the installation of a pea gravel raingarden. The pergola will be located entirely behind the principal building and will have minimal visibility from street view. The pergola will extend 26'2" behind the building and will be a total width of 22'2". The pergola will be approximately 10' tall. The second request is for the installation of a pea gravel rain garden in the rear yard. The Guidelines recommend the following for site and setting alterations:

- Generally, site and setting alterations should be considered as appropriate when they are undertaken in locations that are not visible from public view, do not involve the removal of historic features, and do not detract from or overwhelm the context of the historic districts

The pergola and pea gravel rain garden will not be visible from public view, does not involve the removal of historic features, and does not appear to detract or overwhelm the context of the historic districts. The proposed site alterations are appropriate.

**RECOMMENDATION:**

**Staff recommends approval of the site alterations with the following conditions:**

1. The size of the pergola must match what is shown on the site plan.
2. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
3. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

# THOMPSON OUTDOOR | PERGOLA



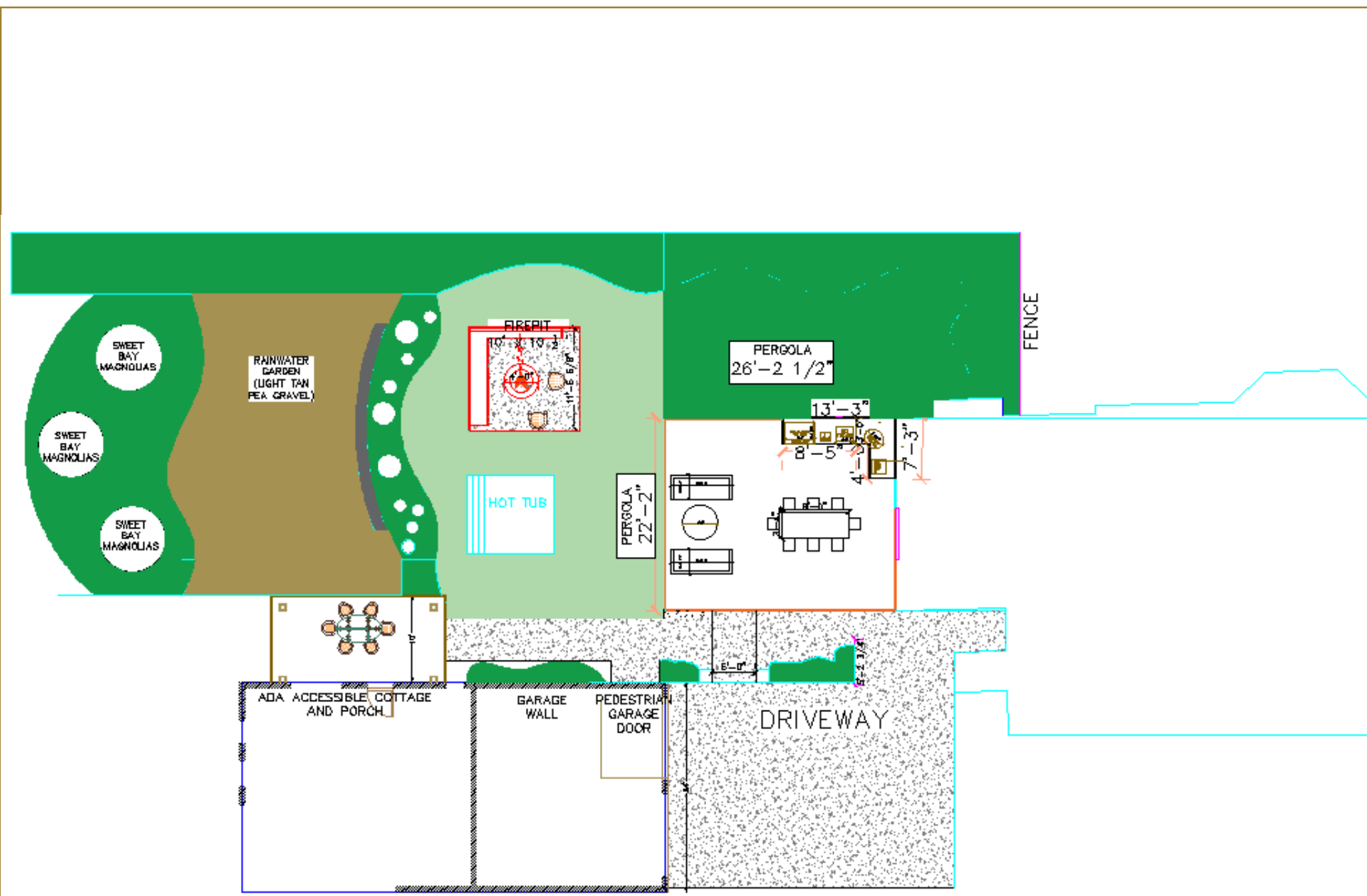
# THOMPSON OUTDOOR

-  CONCRETE
-  TURF
-  LANDSCAPING BEDS
-  RAINWATER GARDEN
-  PERGOLA

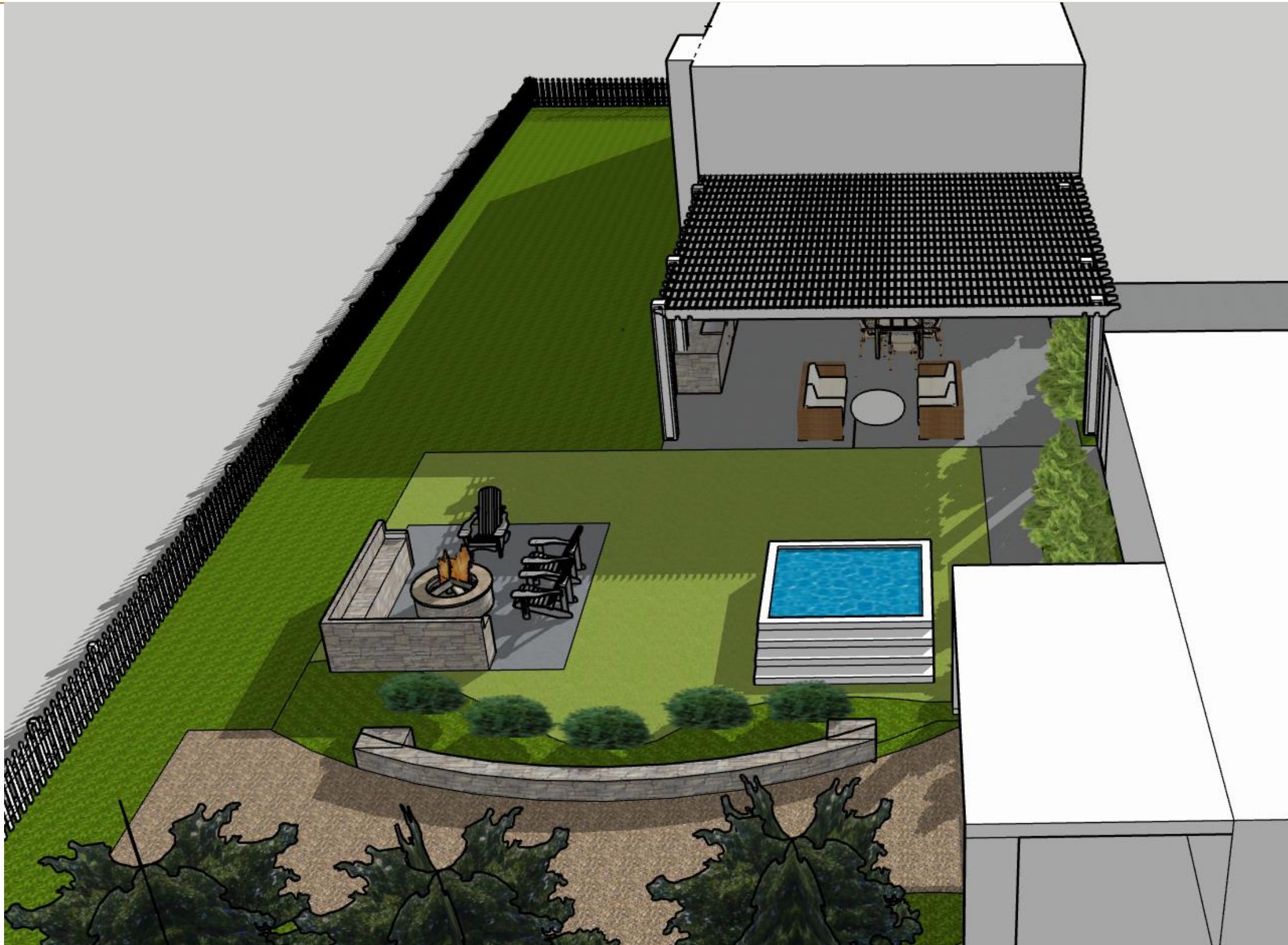
STONE DIMENSIONS  
 CURVED KNEE HIGH STONE WALL:  
 APPROX 24'W X 18"H X 18"D

OUTDOOR KITCHEN  
 APPROX 13'3" X 7'3"

FIREPIT  
 APPROX 10' X 11'



# THOMPSON OUTDOOR 7



# THOMPSON OUTDOOR 8



# THOMPSON OUTDOOR 9



# THOMPSON OUTDOOR 10



# THOMPSON OUTDOOR 11



# THOMPSON OUTDOOR 12



# THOMPSON OUTDOOR 13





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**File #: 21-01066**

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**DATE:** August 27, 2025  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner  
Elizabeth Bulay, Assistant Preservation Planner

**SUBJECT:**  
Consideration Of Fencing At 1850 William Campbell Ct. (Magnolia Hall Subdivision); David Harwath, Applicant.

**PURPOSE:**  
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning fencing proposed within the Magnolia Hall Subdivision at 1850 William Campbell Court.

**APPLICABLE DESIGN GUIDELINES:**  
2016 Historic District Design Guidelines:  
Residential Guidelines: Fences and Walls (p. 58-60)

**PROJECT INFORMATION:**  
COF Project Number: 8870  
Applicant: David Horwath, Magnolia Hall Franklin, LLC.  
Owner: David Horwath, Magnolia Hall Franklin, LLC.

**BACKGROUND:**  
The property located at 1850 William Campbell Court is located in the Boyd Mill Avenue Historic District. The site is part of the Historic Magnolia Hall Subdivision and is the community open space lot for the development. The neighborhood development site features the William Campbell House, locally known as Magnolia Hall, constructed ca. 1840 and is listed on the National Register of Historic Places. This request was part of a larger application package reviewed during the July HZC meeting and this portion of the application was withdrawn by the applicant during the meeting.

The proposal includes a request for the installation of four-board horse fencing for the interior perimeter of the open space lot and for a smaller section of fencing within the development. The fencing will be four feet tall. The proposed fencing is shown in red on the site plan. The fencing will connect to the gate and the existing four-board horse fencing around the perimeter of the development. A section of the fencing will utilize a curving path to go around existing trees. The Guidelines recommend the following:

- Primary yard fencing is fencing located along front yard property lines and areas that are readily visible from the street. Wooden picket fences are the most common fencing material

for the primary yard. Other appropriate fence materials for the primary yard are open-weave brick designs or cast iron.

- Recess wooden plank fences, split rail fences, solid brick fences, chain-link fences, and other metal fences at least 20 feet from the plane of the residence's primary facade.
- Do not use fences higher than three feet on front yards or higher than seven feet on side or rear yards.

While the Guidelines do not recommend 4-board horse fencing in the front/primary yards of residences or fencing that is 4' tall in primary yards, the proposed fencing design and height is seen existing on the site. This site is uniquely designed so that the open space for the infill residential development reads as an expansive front yard for the Magnolia Hall estate, effectively preserving the context of the historic estate front yard, which was considered during the approval process. The new four-board fencing that is proposed within the development, which contains the open green space to the right of the entrance and behind the mansion, is not an appropriate design and does not align with the recommendations of the Guidelines.

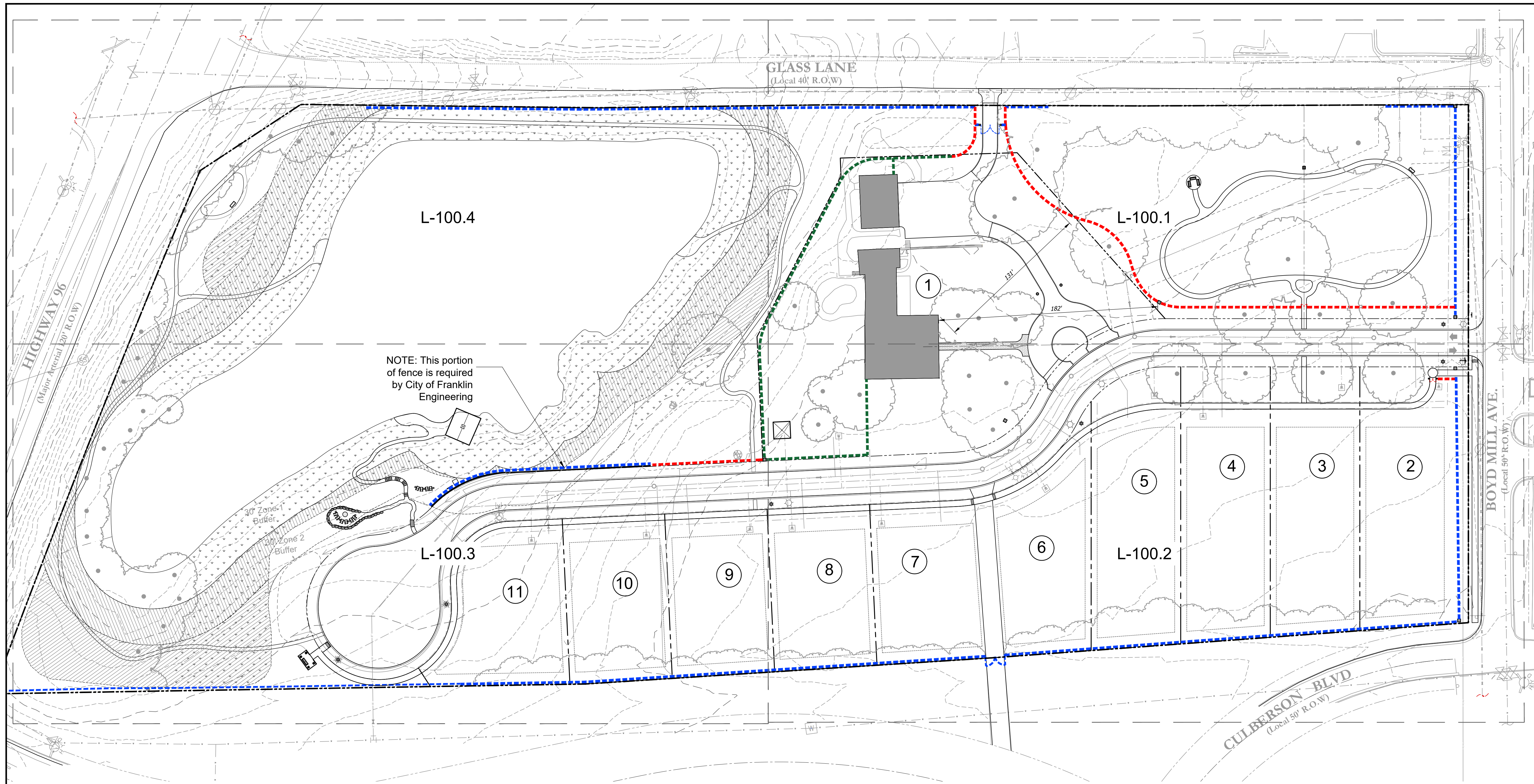
**RECOMMENDATION:**

**Staff recommends denial of the four board horse fencing based on the following Guidelines:**

- Primary yard fencing is fencing located along front yard property lines and areas that are readily visible from the street. Wooden picket fences are the most common fencing material for the primary yard. Other appropriate fence materials for the primary yard are open-weave brick designs or cast iron.
- Recess wooden plank fences, split rail fences, solid brick fences, chain-link fences, and other metal fences at least 20 feet from the plane of the residence's primary facade.
- Do not use fences higher than three feet on front yards or higher than seven feet on side or rear yards.

**If the commission votes to approve the request, the following conditions are recommended:**

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

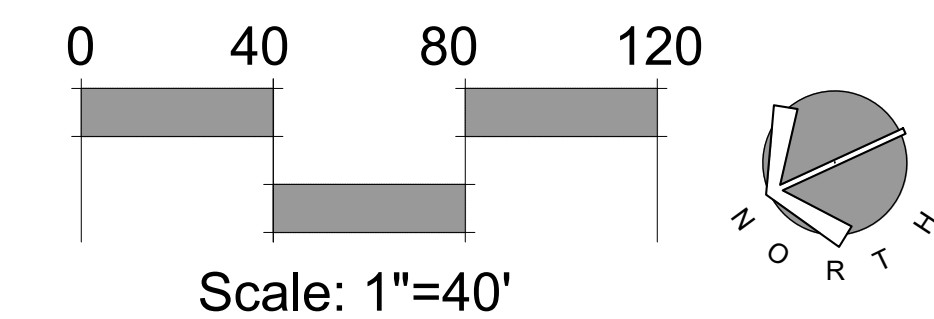


LEGEND

- COMMON AREA 4 RAIL FENCE 4/L-101.0 (+/- 525LF)
- EXISTING OR PREVIOUSLY APPROVED 4 RAIL FENCE
- 4 RAIL FENCE PROPOSED WITH 1840 WILLIAM CAMPBELL COURT



Know what's below.  
Call before you dig.  
Call TN One Call before digging. Dial 811



**Magnolia Hall - PUD Subdivision**  
Enhanced Landscape Plan  
Boyd Mill Avenue, Franklin, Tennessee

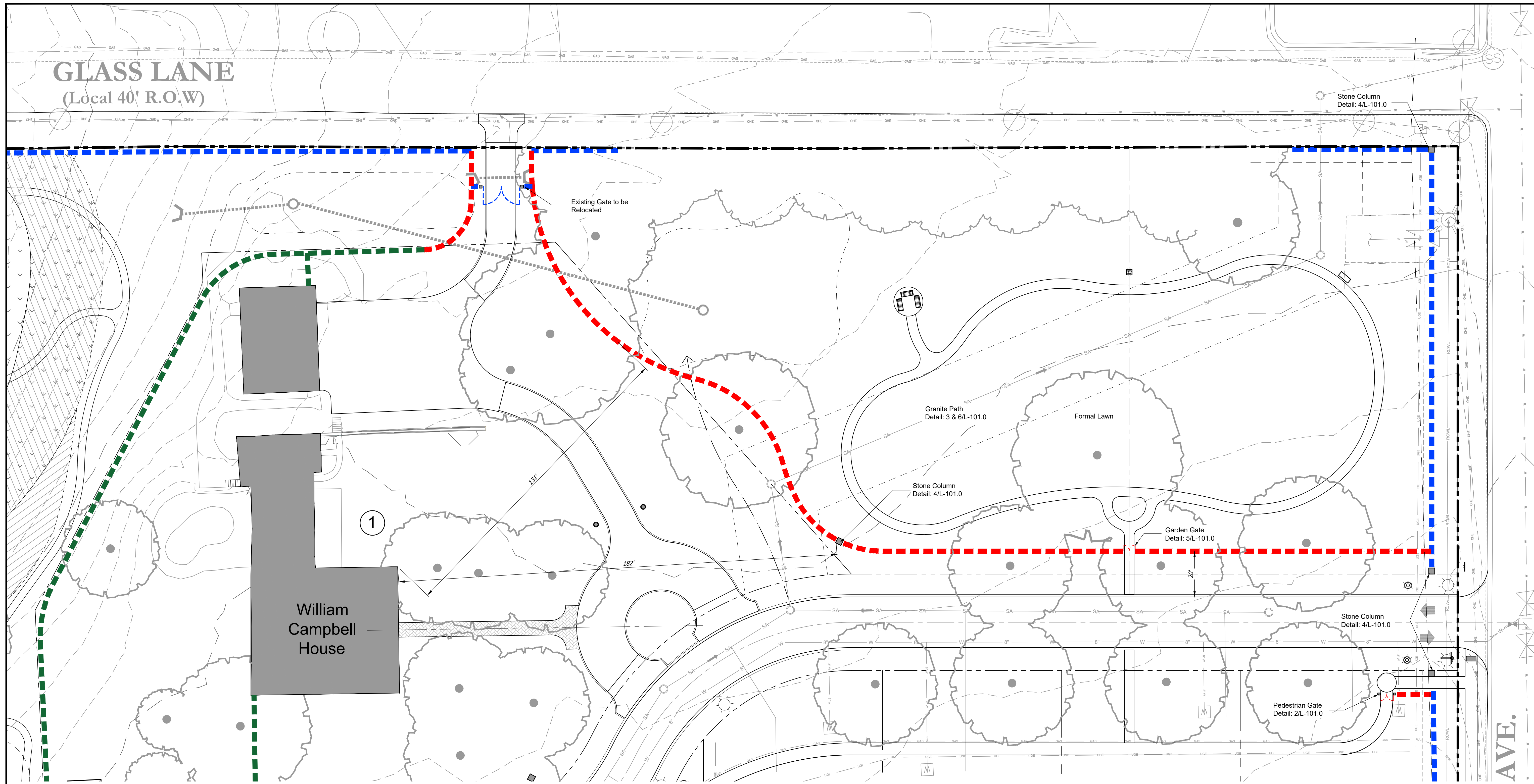


date. June 27, 2025  
revisions. August 8, 2025  
August 21, 2025

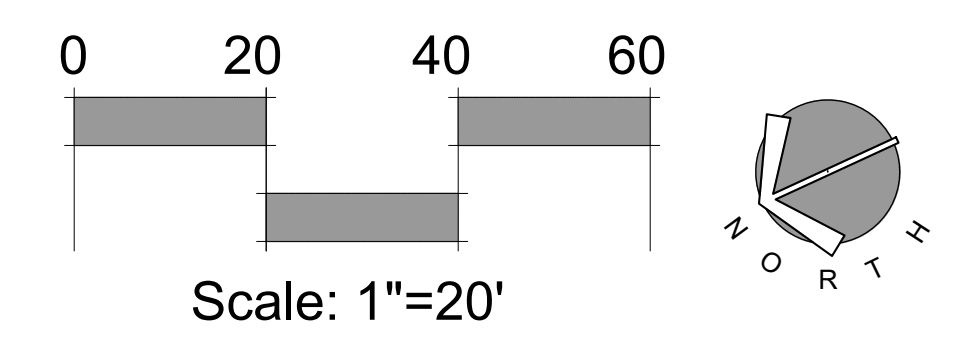
project no. 19068  
scale. shown on plan

**L-100.0**

**GLASS LANE**  
(Local 40' R.O.W)



- LEGEND**
- COMMON AREA 4 RAIL FENCE 4/L-101.0 (+/- 525LF)
  - EXISTING OR PREVIOUSLY APPROVED 4 RAIL FENCE
  - 4 RAIL FENCE PROPOSED WITH 1840 WILLIAM CAMPBELL COURT



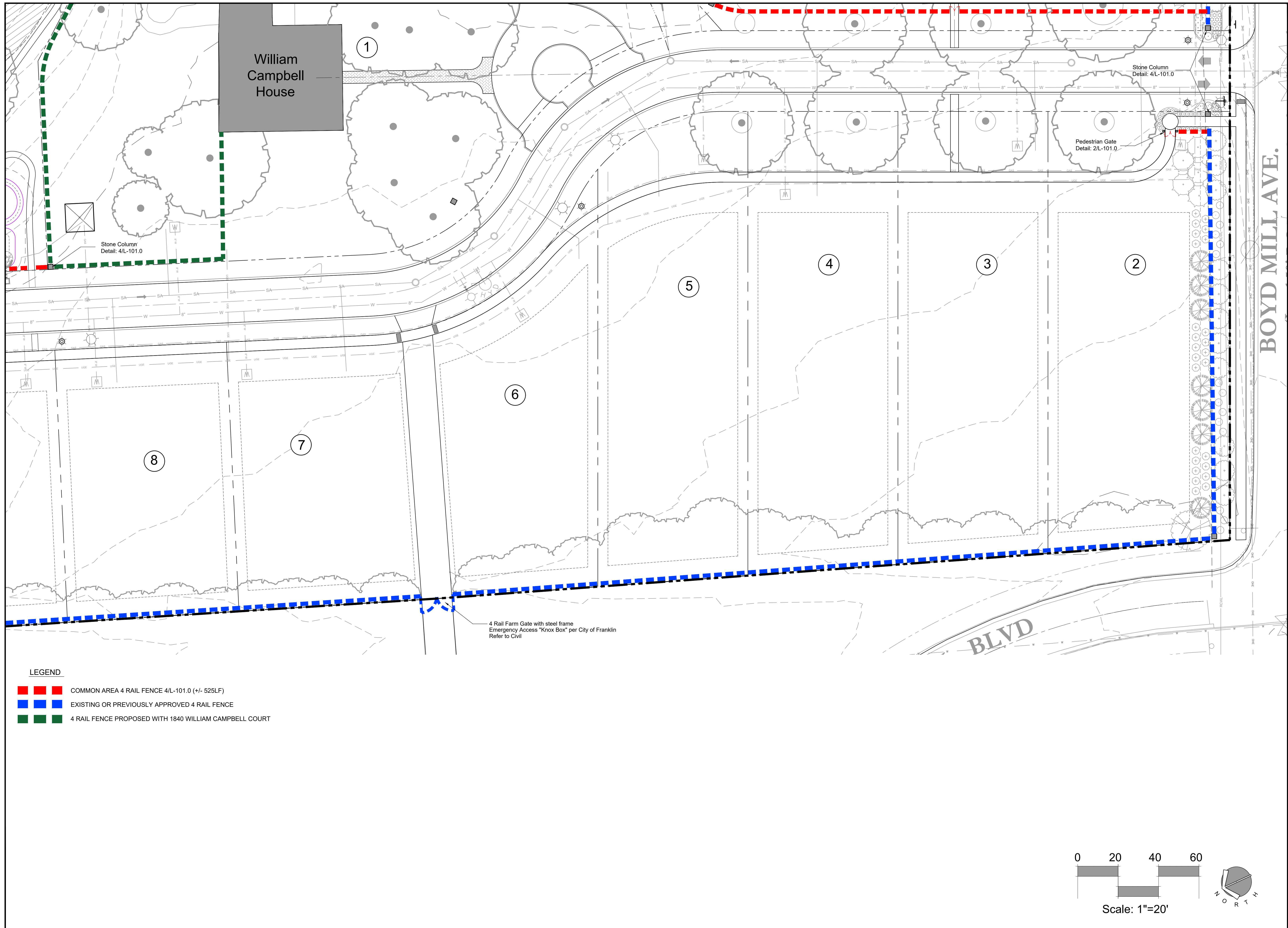
**Magnolia Hall - PUD Subdivision**  
Enhanced Landscape Plan  
Boyd Mill Avenue, Franklin, Tennessee



date. June 27, 2025  
revisions. August 8, 2025  
August 21, 2025

project no. 19068  
scale. shown on plan

**L-100.1**



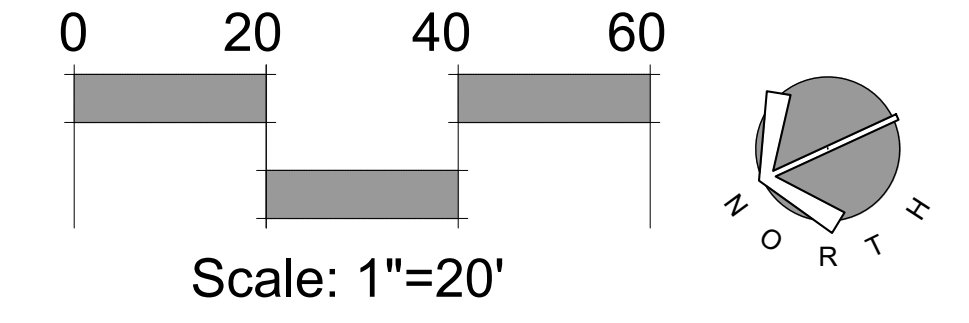
William Campbell House

BOYD MILL AVE.

BLVD

- LEGEND**
- COMMON AREA 4 RAIL FENCE 4/L-101.0 (+/- 525LF)
  - EXISTING OR PREVIOUSLY APPROVED 4 RAIL FENCE
  - 4 RAIL FENCE PROPOSED WITH 1840 WILLIAM CAMPBELL COURT

4 Rail Farm Gate with steel frame  
Emergency Access "Knox Box" per City of Franklin  
Refer to Civil



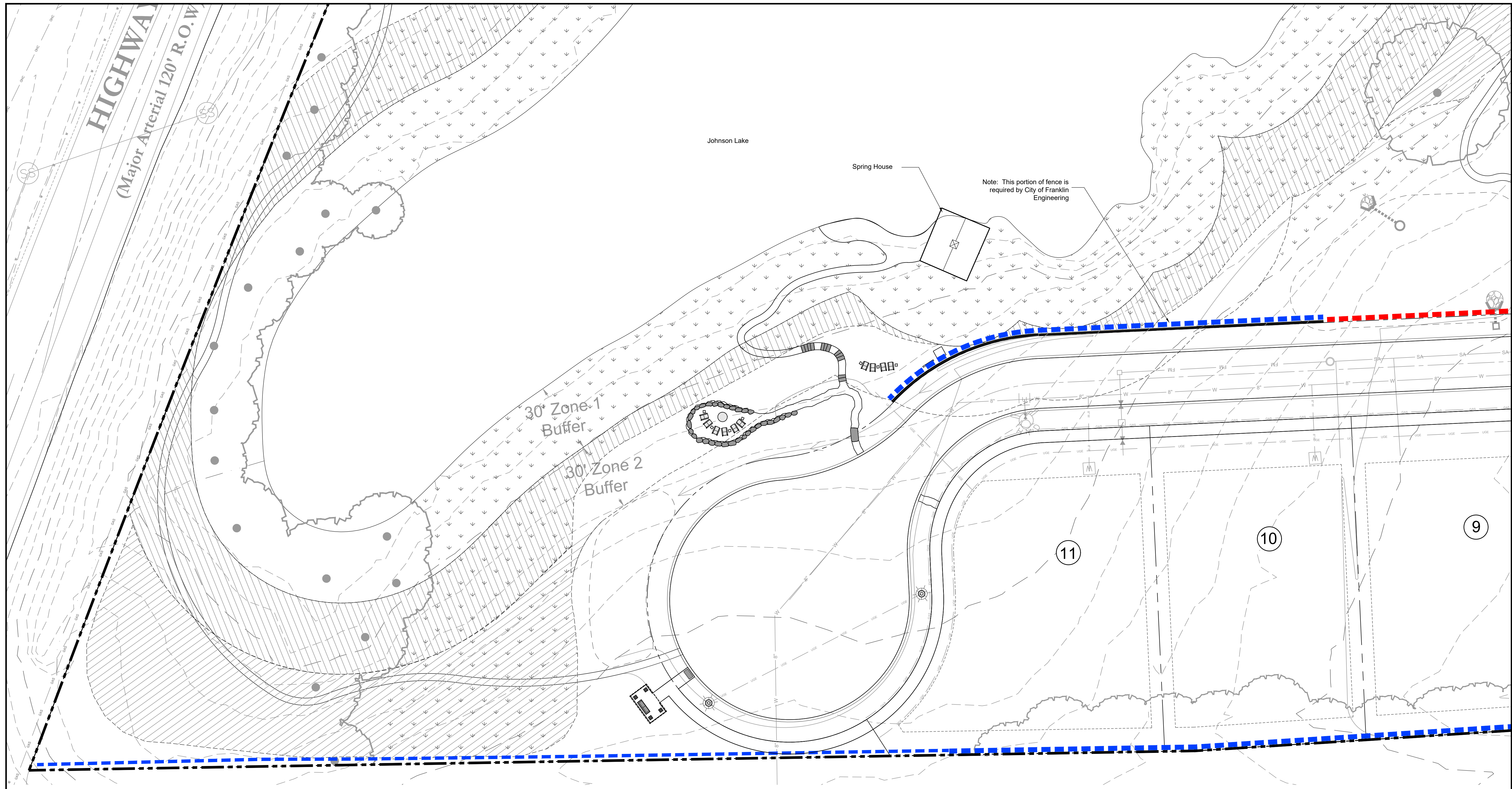
**Magnolia Hall - PUD Subdivision**  
 Enhanced Landscape Plan  
 Boyd Mill Avenue, Franklin, Tennessee



date. June 27, 2025  
 revisions. August 8, 2025  
 August 21, 2025

project no. 19068  
 scale. shown on plan

**L-100.2**



Johnson Lake

Spring House

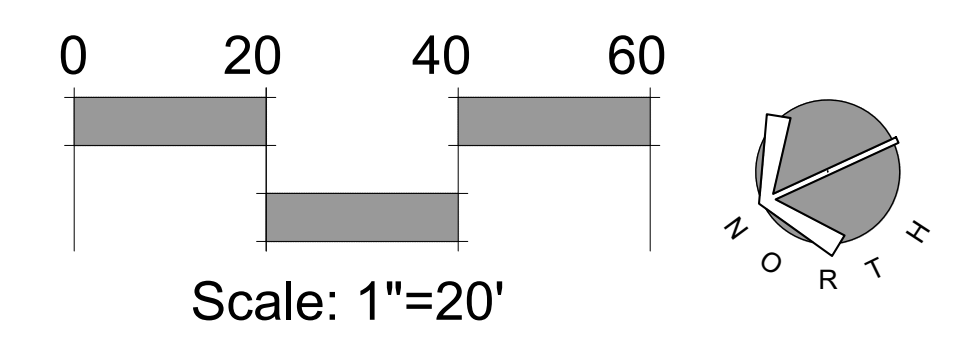
Note: This portion of fence is required by City of Franklin Engineering

30° Zone 1 Buffer

30° Zone 2 Buffer

HIGHWAY  
(Major Arterial 120' R.O.W.)

- LEGEND**
- COMMON AREA 4 RAIL FENCE 4/L-101.0 (+/- 525LF)
  - EXISTING OR PREVIOUSLY APPROVED 4 RAIL FENCE
  - 4 RAIL FENCE PROPOSED WITH 1840 WILLIAM CAMPBELL COURT



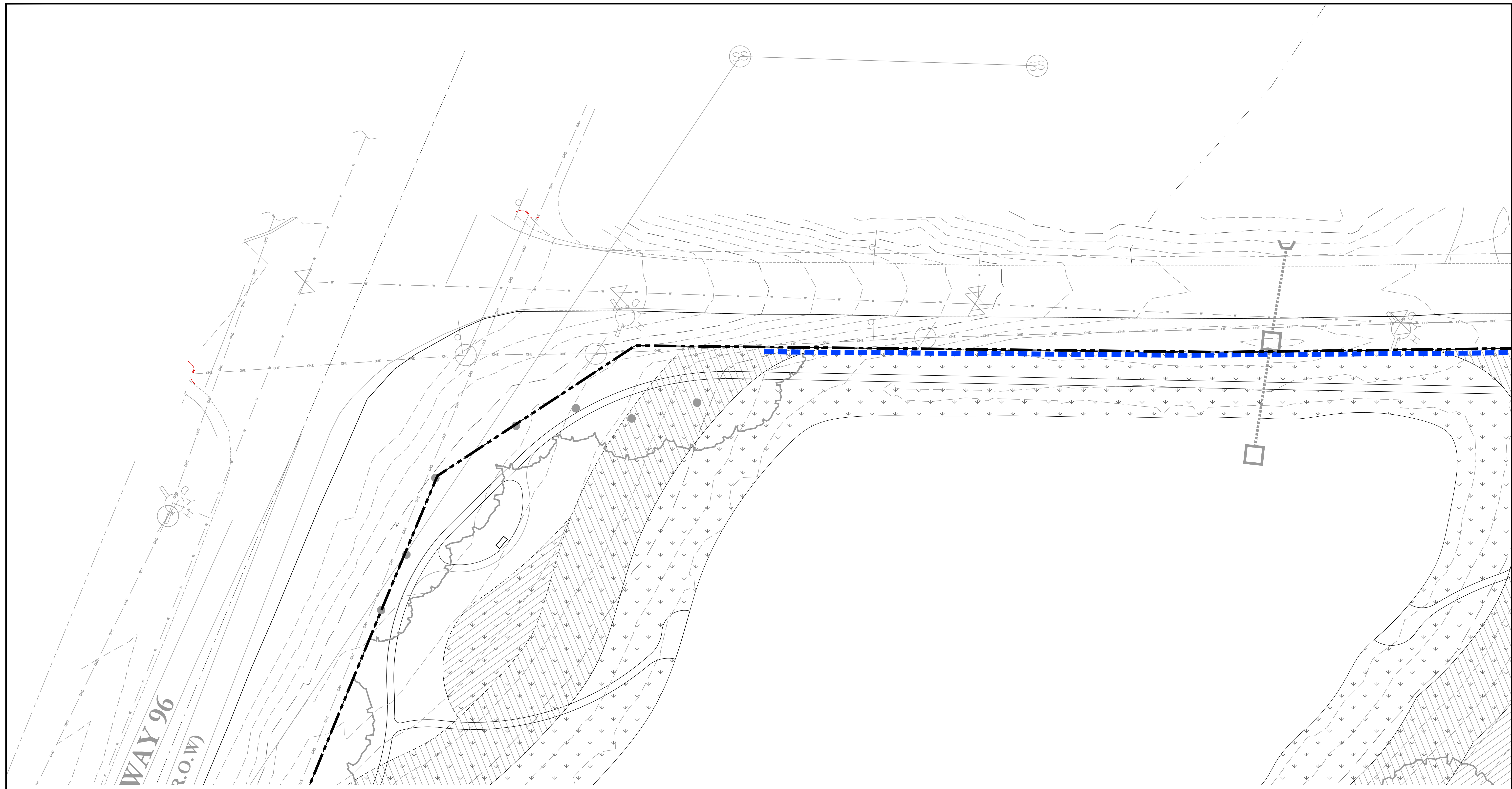
**Magnolia Hall - PUD Subdivision**  
 Enhanced Landscape Plan  
 Boyd Mill Avenue, Franklin, Tennessee



date: June 27, 2025  
 revisions: August 8, 2025  
 August 21, 2025

project no. 19068  
 scale: shown on plan

**L-100.3**

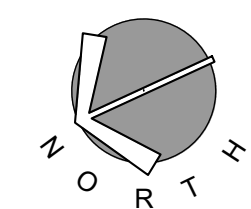


**LEGEND**

- COMMON AREA 4 RAIL FENCE 4/L-101.0 (+/- 525LF)
- EXISTING OR PREVIOUSLY APPROVED 4 RAIL FENCE
- 4 RAIL FENCE PROPOSED WITH 1840 WILLIAM CAMPBELL COURT



Scale: 1"=20'



**Magnolia Hall - PUD Subdivision**  
 Enhanced Landscape Plan  
 Boyd Mill Avenue, Franklin, Tennessee



date. June 27, 2025  
 revisions. August 8, 2025  
 August 21, 2025

project no. 19068  
 scale. shown on plan

**L-100.4**



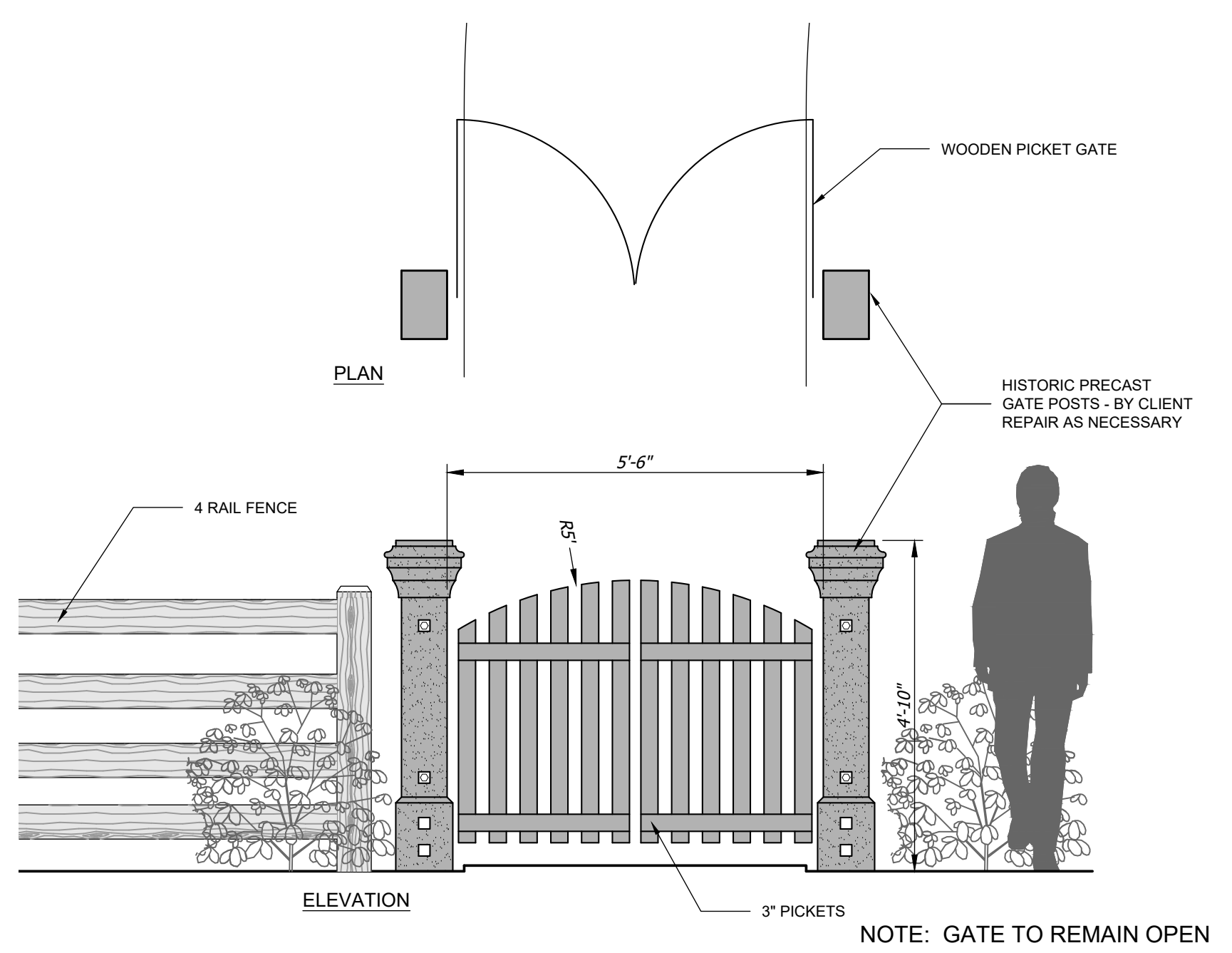
date. June 27, 2025  
 revisions. August 8, 2025  
 August 21, 2025

project no. 19068  
 scale. shown on plan

**L-101.0**



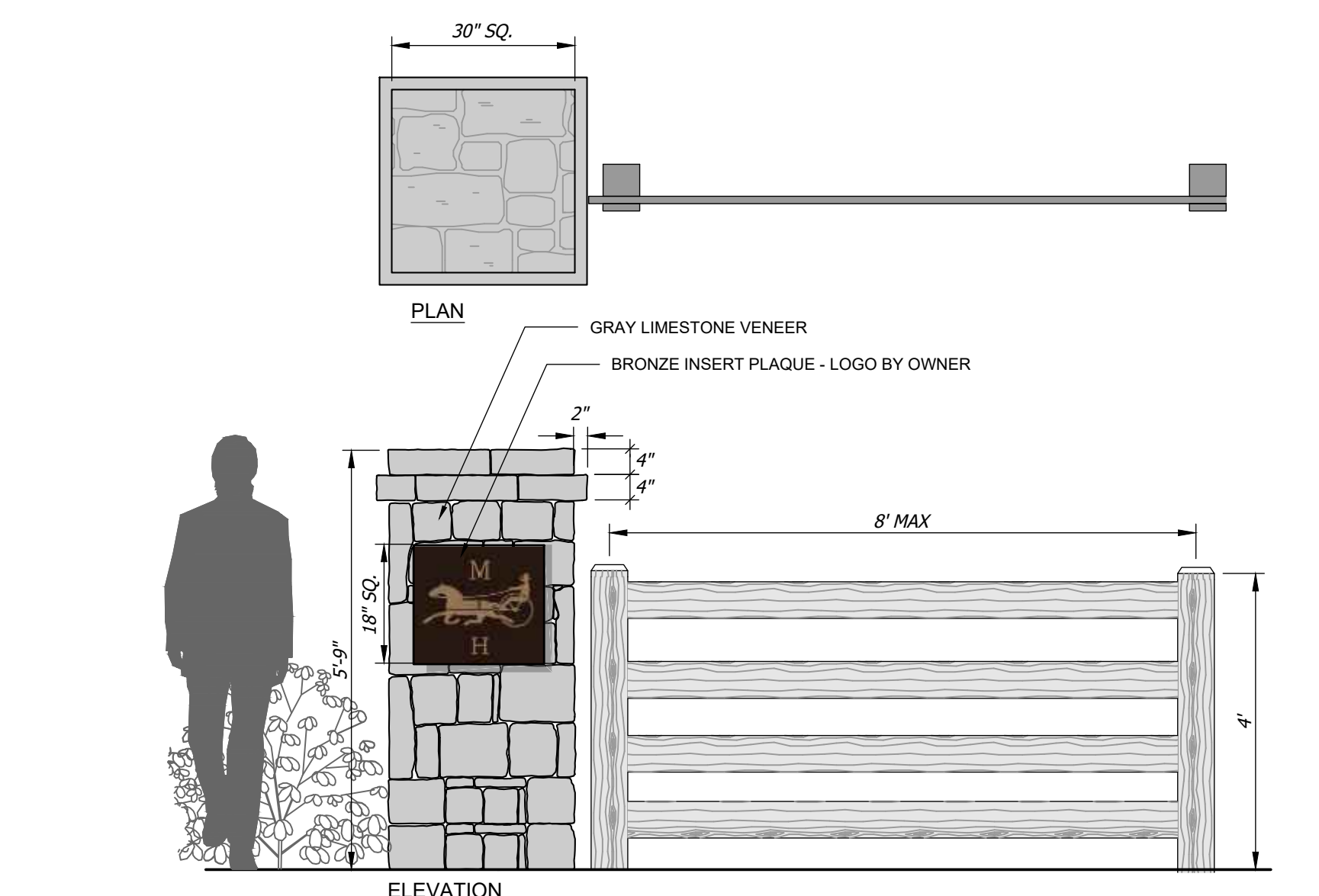
**Fence - Reference Image**  
 Pictorial  
 DETAIL # 1/2" = 1'-0"



**2 Pedestrian Entry Gate**  
 101.0 PLAN/ ELEVATION  
 DETAIL # 1/2" = 1'-0"



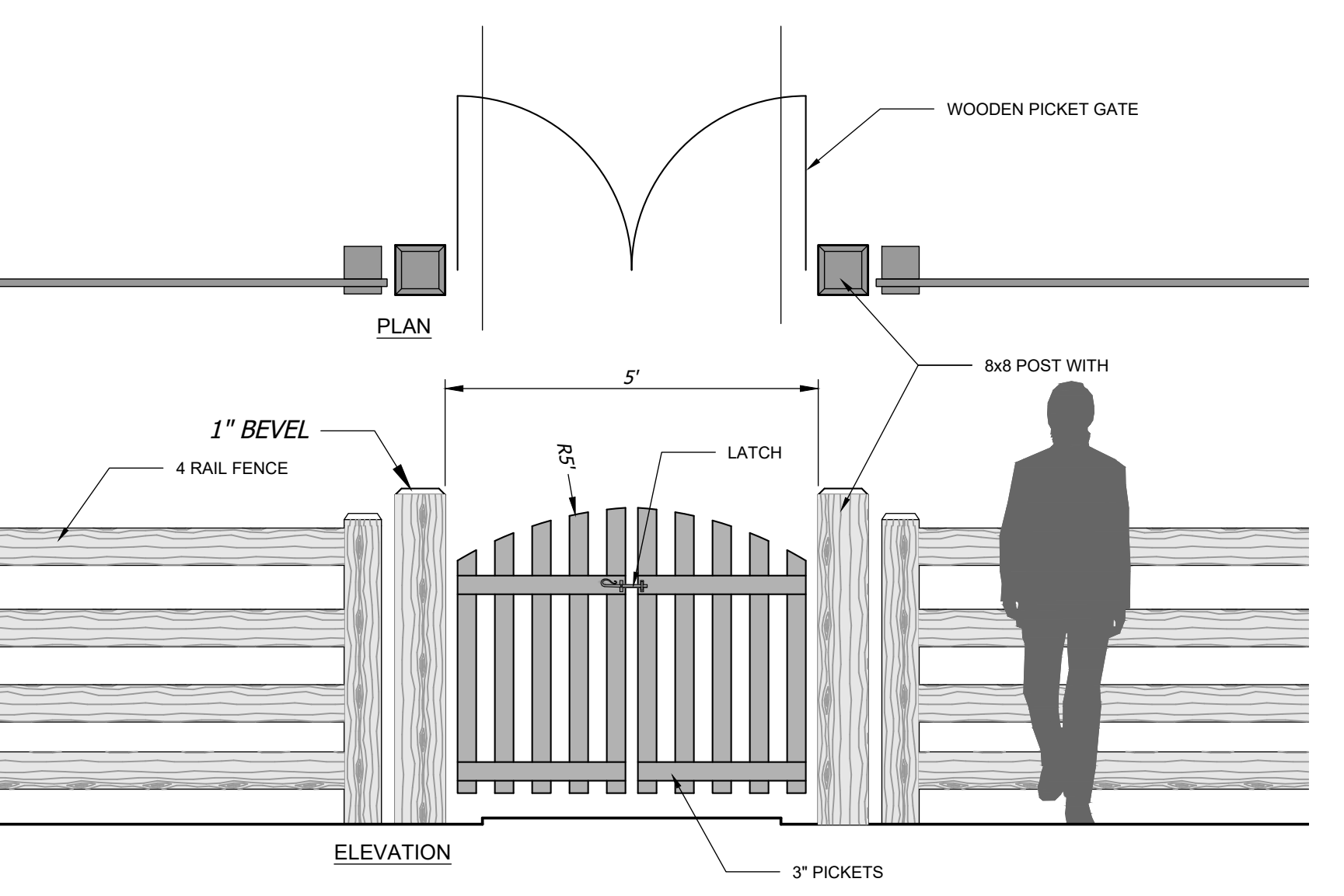
**Curved Horse Fence**  
 Pictorial - DESIGN INTENT  
 DETAIL # 1/2" = 1'-0"



**4 Stone Column/ 4 Rail Horse Fence**  
 101.0 PLAN/ ELEVATION  
 DETAIL # 1/2" = 1'-0"



**Garden Gate**  
 101.0 PLAN/ ELEVATION  
 DETAIL # 1/2" = 1'-0"





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**File #:** 21-01085

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**DATE:** August 28, 2025  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfeler, Asst. Director of Planning  
Emily Huffer, Preservation Planner

**SUBJECT:**  
Consideration Of Lighting, Fencing, And Site Alterations At 1840 William Campbell Ct. (Magnolia Hall Mansion); Jason Goddard, Applicant.

**PURPOSE:**  
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning proposed new lighting, fencing, and site alterations at 1840 William Campbell Ct. (Magnolia Hall Mansion).

**APPLICABLE DESIGN GUIDELINES:**  
2016 Historic District Design Guidelines:  
Residential Guidelines: Fences (p. 58-60)  
Residential Guidelines: Lighting (p. 72)  
Residential Guidelines: Parking and Driveways (p. 77)

**PROJECT INFORMATION:**  
COF Project Number: 8922  
Applicant: Jason Goddard  
Owner: Scott Jones

**BACKGROUND:**  
The property located at 1840 William Campbell Court is located in the Boyd Mill Avenue Historic District. The property is also individually listed within the National Register of Historic Places. The property is also locally known as Magnolia Hall. The applicant and homeowner attended the August Design Review Committee (DRC) meeting and incorporated feedback into the application. The proposal includes the following:

- Installation of new light fixtures,
- Installation of fencing, and
- Installation of hardscaping.

Light Fixtures

Several new light fixtures are proposed on the principal building, its breezeways, and on the

accessory structure. There are a mix of gas lanterns and electric fixtures proposed for the building and structure.

- Fixture "A"- On the left side of the building that will face the clipping garden and the new road in the subdivision, fixture "A" is proposed on either side of the side porch. The fixture appears to be copper, will measure approximately 19" in height, and will utilize electricity.
- Fixture "B"- Above the main entrance, fixture "B" is proposed. This fixture is gas-illuminated, constructed out of copper, and will measure approximately 37' in height.
- Fixture "C"- On the upstairs porch and on the accessory structure, fixture "C" is proposed. The fixture is the same design for both, but on the principal building, it is gas-illuminated, and on the accessory structure, it is electric. This fixture is constructed out of copper, and will be a total of approximately 25" in height for the upstairs porch, and will be 32" for the accessory structure.
- Fixture "D"- On the front porch side doors, fixture "D" is proposed. Exact measurements and material specifications were not provided. The fixture will utilize electricity.
- Fixture "E"- The breezeway connector between the accessory structure and the principal building will utilize fixture "E". This fixture appears to be a milk glass globe with an oil-rubbed bronze base and will be powered by electricity. The breezeway was an addition that was approved by the Historic Zoning Commission within the past few years. Although the size of the fixture is unknown, it is located on the underside of the breezeway.
- Fixture "F"- On the rear of the building, which will be located on the underside of the porch, fixture "F" is proposed. There are three of these fixtures proposed on the underside of the porch. It is unknown what the size of the fixture is, but it appears that it will be composed of copper and will utilize electricity.

The use of gas lanterns on Magnolia Hall is appropriate, as the house was built during the time period when gas lanterns were commonly used to illuminate the exterior of the building. Additionally, there are photos circa 1974 showing a large gas fixture on the front of the building. It is unknown whether that fixture was original. Around the front entrance of the building, it is proposed to have a mix of gas lanterns and electric fixtures. The use of electric fixtures may be appropriate on the rear of the building, where newer connecting pieces are located, or on obscured locations not highly visible from the street. The Guidelines recommend:

- If new lights are needed, use simple fixtures that are appropriate to the scale of the house and constructed of historically prevalent materials, and avoid ornate carriage lights or fixtures reflective of the 18th century.
- Place new fixtures in the porch ceiling or adjacent to main entrances on exterior walls.
- Use concealed exterior lighting or fixtures common to the building's style and period of construction.

The placement, style, and material of the proposed fixtures appear appropriate per the Guidelines.

### Fencing

New fencing and the reinstallation of existing fencing are proposed on the site.

As shown in purple on the site plan, the existing cast iron fencing from the rear yard is proposed to be reused to enclose a portion of the garden to the left of the main entrance and between the connected accessory structure and the building. The reuse of the cast iron fencing is appropriate on the site because it is an existing feature. It is placed in a traditional front yard area, appears lower or at the recommended height, and utilizes an appropriate material and design for the building.

Shown in red on the site plan, a four-board horse fence is proposed. The fencing is proposed to connect to the existing metal gate on Glass Lane, which has been approved by the HZC for relocation and integration into the site. It will then wrap around the rear of the building, connecting to the other fencing near the retaining wall and the rear corner of the building. The use of horse fencing is seen along the perimeter of the entire property, which is on Boyd Mill Ave., Glass Ln., and New Hwy. 96. There is a note that there is an option to construct a new gate or reutilize the existing ornate metal gate. Reusing the metal gate is supported by the Guidelines. The use of horse fencing is not an appropriate style or height for the Mansion per the Guidelines recommendation.

Shown in black at the rear of the building is a 4' tall wood picket fence to serve as the pool enclosure. The use of a picket fence inside another fence is not a typical layout for fencing, but during a DRC meeting, a photo was shown with picket fencing around the front of the house. It is unknown if the same fencing was in the rear yard. However, the Guidelines recommend pools to be screened by fencing, and the picket fence will screen portions of the pool from the street.

The Guidelines recommend the following for fencing:

- Preserve and retain historic fence and retaining wall materials and designs.
- Erect fences along property lines of a residence.
- Primary yard fencing is fencing located along front yard property lines and areas that are readily visible from the street. Wooden picket fences are the most common fencing material for the primary yard. Other appropriate fence materials for the primary yard are open-weave brick designs or cast iron.
- Rear yard fencing begins 20 feet from the plane of the residence's primary façade.
- Fence materials should be compatible with the surface materials of the building. Compatibility is achieved by maintaining the range of materials historically present in the district. Unit size and visual and tactile textures of the materials should correspond to the main structure.
- Do not use fences higher than three feet on front yards or higher than seven feet on side or rear yards.
- Fencing should be utilized to fully screen pools from street view.
- Operable gates should be configured to swing inwardly and not open onto the public sidewalk. Front yard entrances should not have sliding gates. Sliding gates should be avoided.

### Hardscaping

Multiple areas of new hardscaping are proposed. The first is replacing the existing gravel driveway with pea gravel with a concrete ribbon curb. The inspiration image shows a light brown pea gravel and a limestone colored curb. To the left of the main form of the building, the clipping garden will also utilize the same color pea gravel for the path and will utilize a brick edging. The color of the brick has not been provided as a part of the application. To the right of the main form of the mansion, an existing brick patio is shown. Around the accessory structure, topcast concrete is proposed, and a portion of the area that is closest to the historic building will utilize the same gravel and concrete curb as the driveway. Concrete will also be seen behind the building and in a different pattern around the pool. Behind the house, a fire pit and walkway to the smoke house will utilize a stone garden path with pea gravel and stepping stones. The Guidelines recommend:

- Use durable materials that were historically typical for driveways, such as gravel, concrete, bricks, and asphalt.

The proposed materials appear to align with the Guidelines, but the brick edging for the clipping garden should blend with the bricks that are seen on the walkways that are existing on the site.

**RECOMMENDATION:**

Staff recommends denial of the installation of four-board horse fencing based on the following grounds:

1. Do not use fences higher than three feet on front yards or higher than seven feet on side or rear yards.

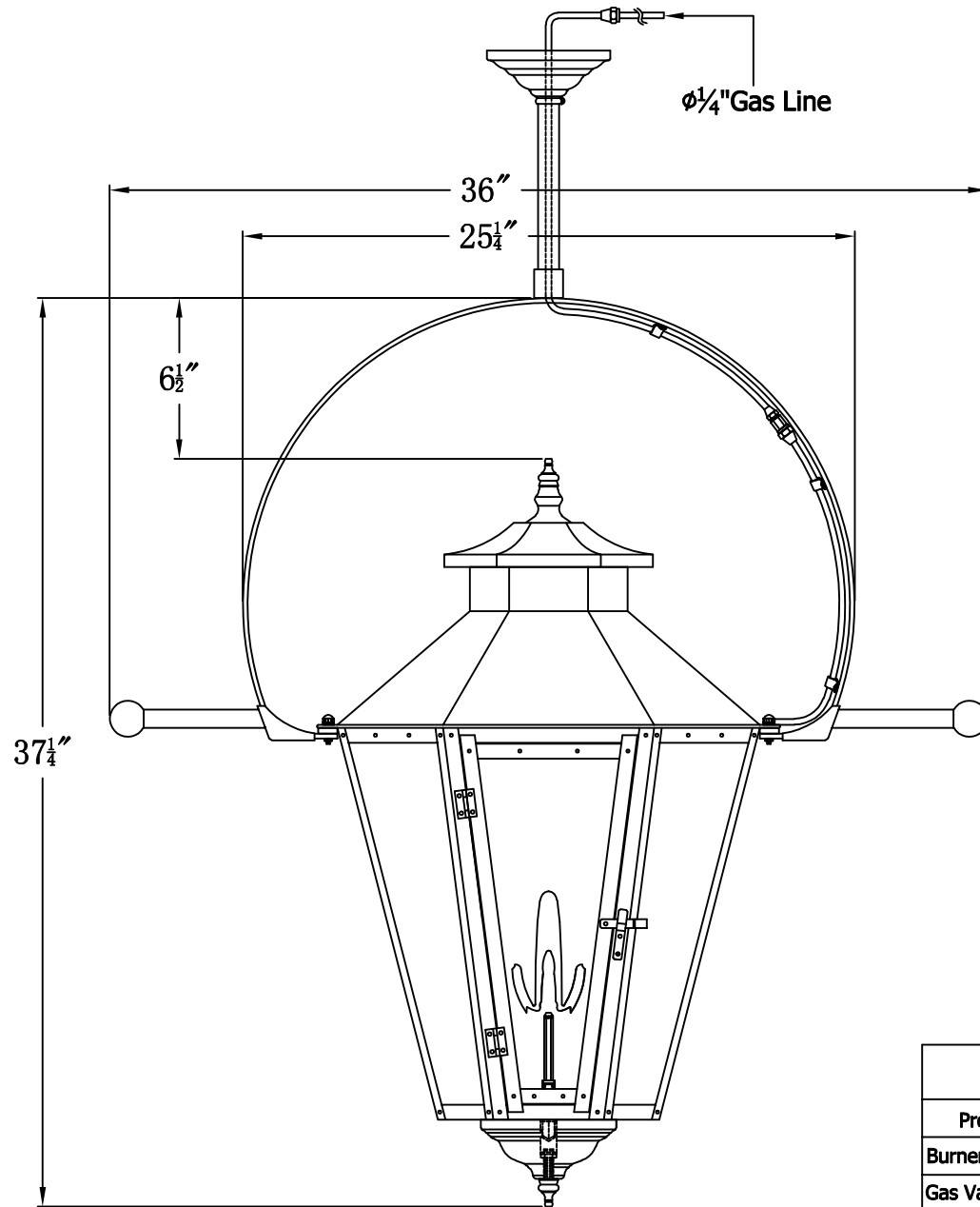
Staff recommends approval of the hardscaping, the lighting, and the installation of the existing cast iron fencing and picket fencing with the following conditions:

1. The existing metal gate shall be utilized on Glass Lane.
2. The brick around the pea gravel in the clipping garden shall blend in color to the existing bricks seen on the site on the walkways.
3. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
4. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

**Project Considerations:**

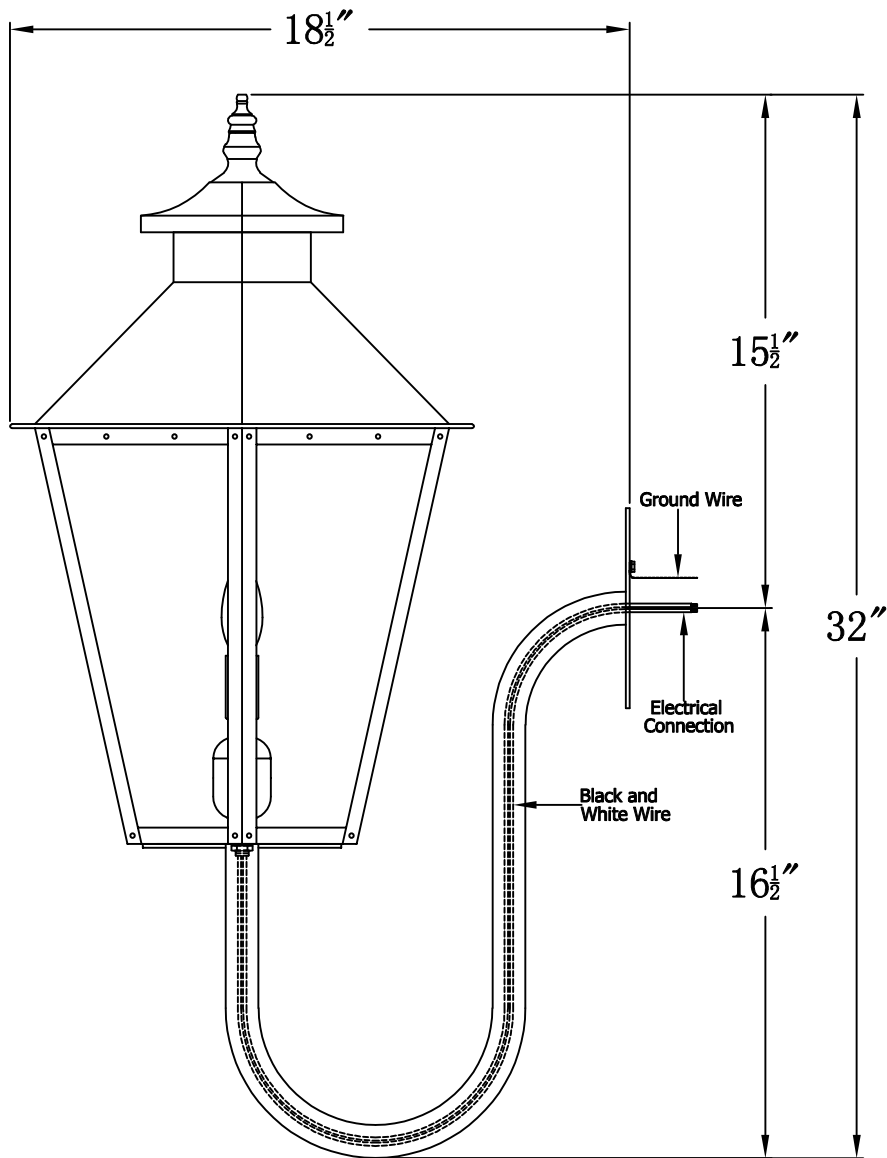
1. Note: 2018 ISPSC 305.2.5  
Where the barrier is composed of horizontal and vertical members and the distance between the tops of the horizontal members is less than 45", the horizontal members shall be located on the pool or spa side of the fence.  
Spacing between vertical members shall not exceed 1 3/4" in width.  
Where there are decorative cutouts within vertical members, spacing within the cutouts shall not exceed 1 3/4" in width.

**BAYOU STREET 63 Gas With Classic Yoke  
And Ladder Rests(BS-63G CY17/LR)**

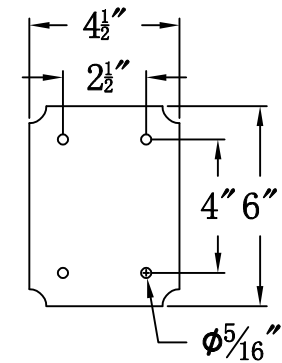


The CopperSmith		
Product Description	Drawing Description	9152 Hard Drive
Burner:Single	REV:A/0	Foley Alabama 36536
Gas Valve Name:VNG(P)70	Date:04/14/2022	SKU Number:BS-63G
	Drawing by:Jason Huang	Product Name:Bayou Street 63 Gas

# BAYOU STREET 62 Electric With Gooseneck(BS-62E GNP4)



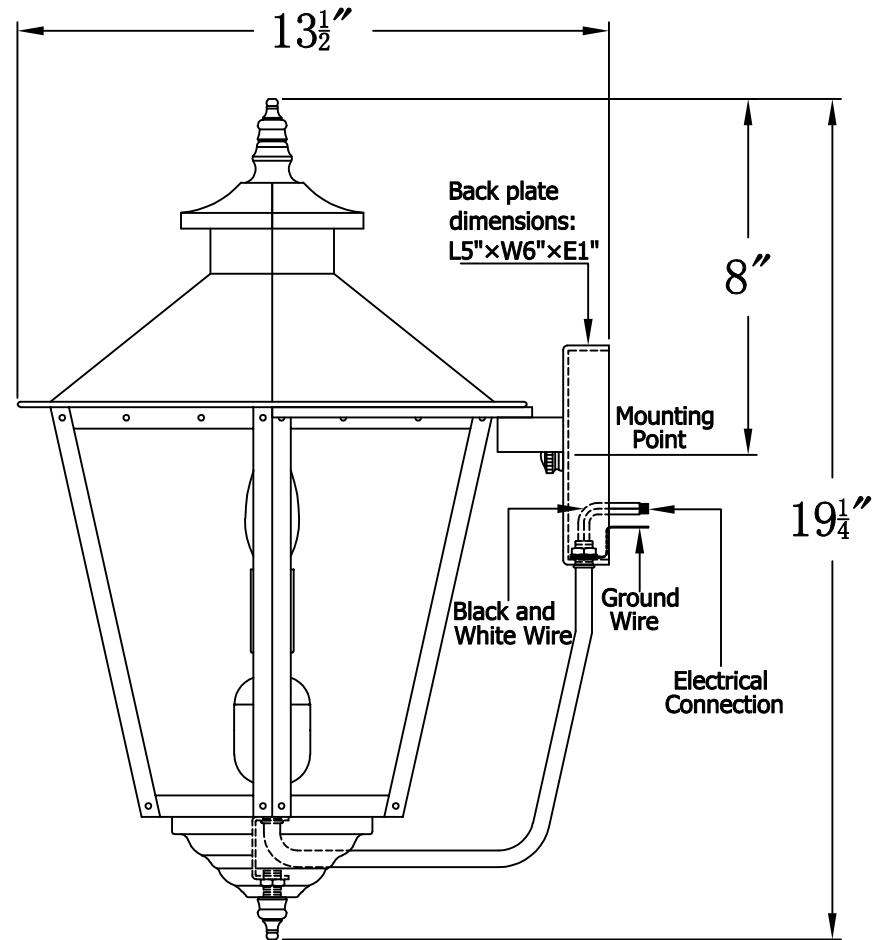
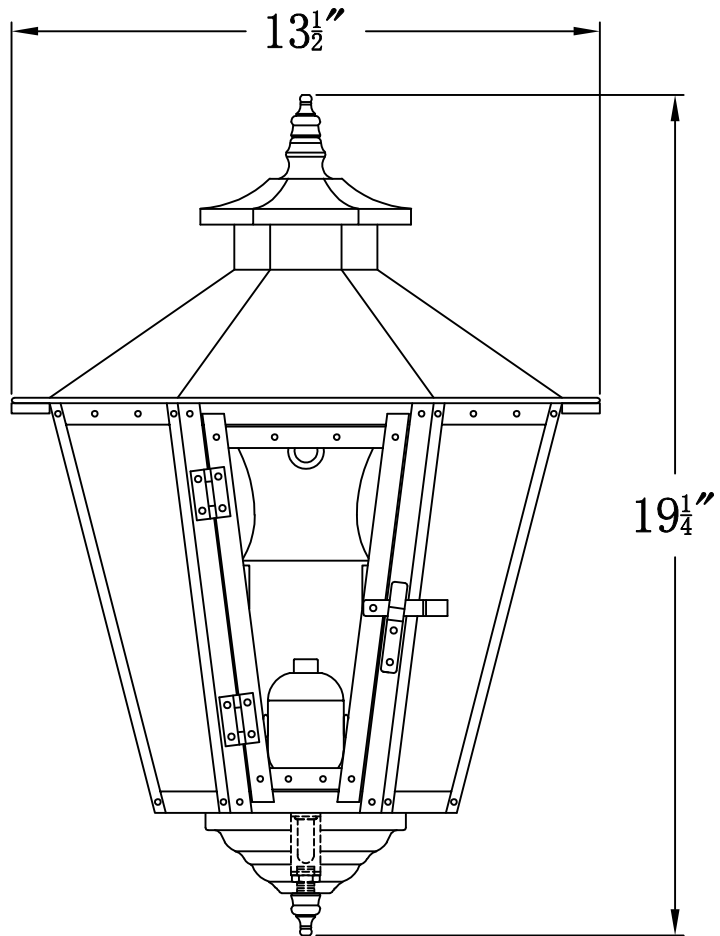
Front View of Mounting Plate



## The CopperSmith

Product Description	Drawing Description	<u>9152 Hard Drive</u> Foley Alabama 36536
Sockets:2-E12 Candelabra	REV:A/0	SKU Number:BS-62E
Watts:2-60W	Date:04/12/2022	Product Name:Bayou Street 62 Electric
	Drawing by:Jason Huang	

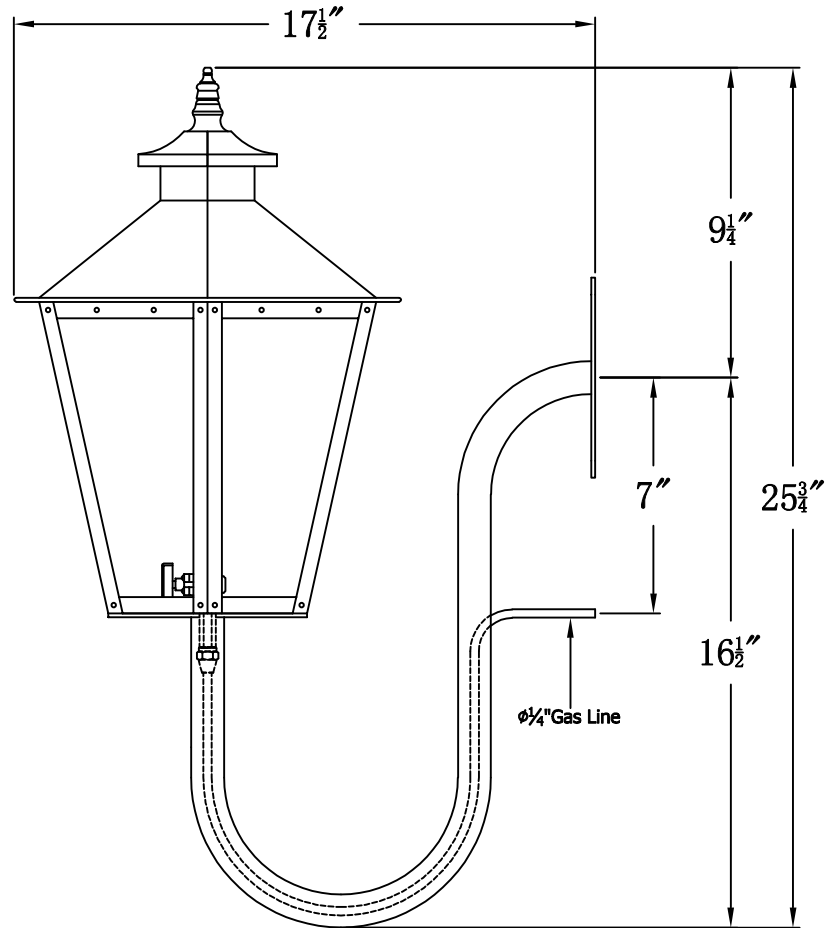
**BAYOU STREET 61 Electric (BS-61E)  
Standard Wall Mount**



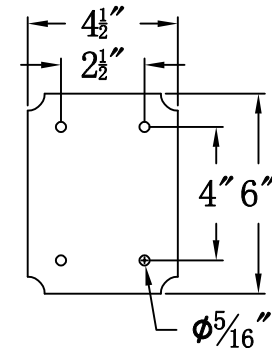
**The CopperSmith**

Product Description	Drawing Description	9152 Hard Drive
Sockets:2-E12 Candelabra	REV:A/0	Foley Alabama 36536
Watts:2-60W	Date:04/07/2022	SKU Number:BS-61E
	Drawing by:Jason Huang	Product Name:Bayou Street 61 Electric

# BAYOU STREET 61 Gas With Gooseneck (BS-61G GNP4)



Front View of Mounting Plate



## The CopperSmith

Product Description	Drawing Description	9152 Hard Drive Foley Alabama 36536
Burner:Single	REV:A/0	
Gas Valve Name:VNG(P)50	Date:04/09/2022	SKU Number:BS-61G
	Drawing by:Jason Huang	Product Name:Bayou Street 61 Gas

# Lot 1 - Jones Res



MAGNOLIA HALL  
EXTERIOR LIGHTING



OIL RUBBED  
BRONZE

FIXTURE FINISH



A

SIDE PORCH  
ELECTRIC SCONCES



B

FRONT PORCH  
GAS LANTERN



C

UPSTAIRS FRONT PORCH  
GAS LANTERN &  
GARAGE ELECTRIC LANTERNS



E

GARAGE WALKWAY  
ELECTRIC FLUSHMOUNTS



D

FRONT PORCH SIDE DOOR  
ELECTRIC SCONCES



F

POOL WALKWAY  
ELECTRIC PENDANTS

**DOWNSPOUT NOTE:**

DOWNSPOUTS NOT SHOWN FOR CLARITY. BUILDER TO PROVIDE DOWNSPOUTS IN COMPLIANCE W/ IRC REQUIREMENTS.



**MAGNOLIA HALL**

**RENOVATION & ADDITION**

SCOTT & JEANNIE JONES

1840 William Campbell Court  
Franklin, TN

2024, 906 STUDIO, PLLC. DRAWINGS AND DESIGN CONCEPTS SHALL NOT BE USED OR REPRODUCED IN WHOLE OR PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF 906 STUDIO, PLLC.

NO.	DESCRIPTION	DATE
CD SET		12/11/23

Project Number  
**22.1076**

**OVERALL ELEVATIONS**

**A300**

**DOWNSPOUT NOTE:**  
DOWNSPOUTS NOT SHOWN FOR CLARITY. BUILDER TO PROVIDE  
DOWNSPOUTS IN COMPLIANCE W/ IRC REQUIREMENTS.



**2 FRONT ELEVATION**  
1/4" = 1'-0"



**1 LEFT ELEVATION**  
1/4" = 1'-0"

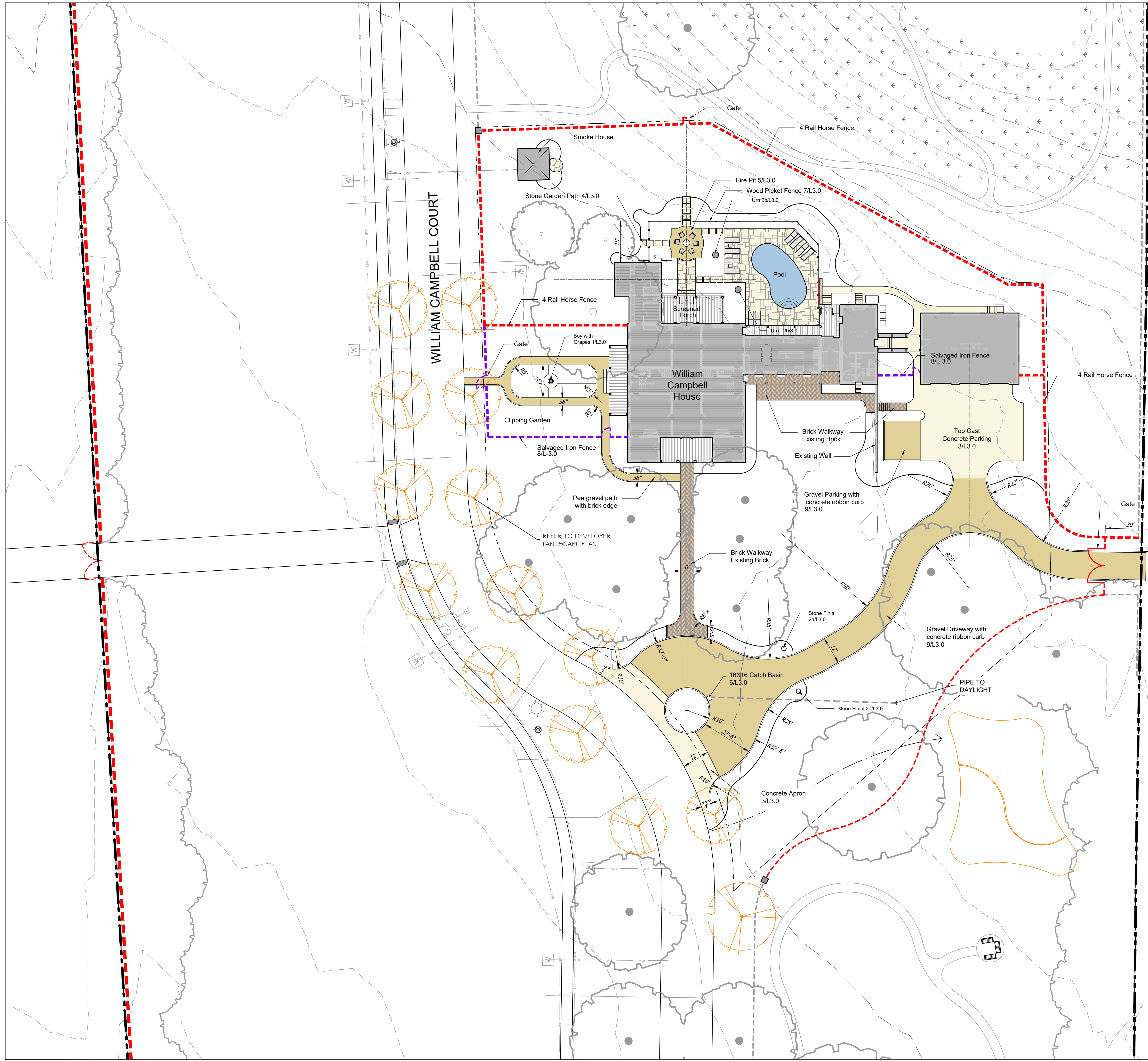
- DARK BRONZE STAND AND SEAM METAL ROOFING
- HALF ROUND GUTTER ON 1X8 WOOD FASCIA
- NEW WOOD BRACKETS TO MATCH (E)
- 1X10 WOOD TRIM
- BRICK VENEER TO MATCH (E)
- ARCHED CAST STONE HEADER TO MATCH (E)
- WOOD ARCHED TOP WINDOW TO MATCH (E)
- WOOD ARCHED TOP SHUTTER TO MATCH (E)
- 6"x12" CRAWLSPACE VENT

**MAGNOLIA HALL**  
**RENOVATION & ADDITION**  
SCOTT & JEANNIE JONES  
1840 William Campbell Court  
Franklin, TN

2024, 906 STUDIO, PLLC. DRAWINGS AND DESIGN CONCEPTS SHALL NOT BE USED OR REPRODUCED IN WHOLE OR PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF 906 STUDIO, PLLC.

NO.	DESCRIPTION	DATE
CD SET		12/11/23
1	PERMIT COMMENTS	03/15/24

Project Number  
**22.1076**  
**ELEVATIONS**



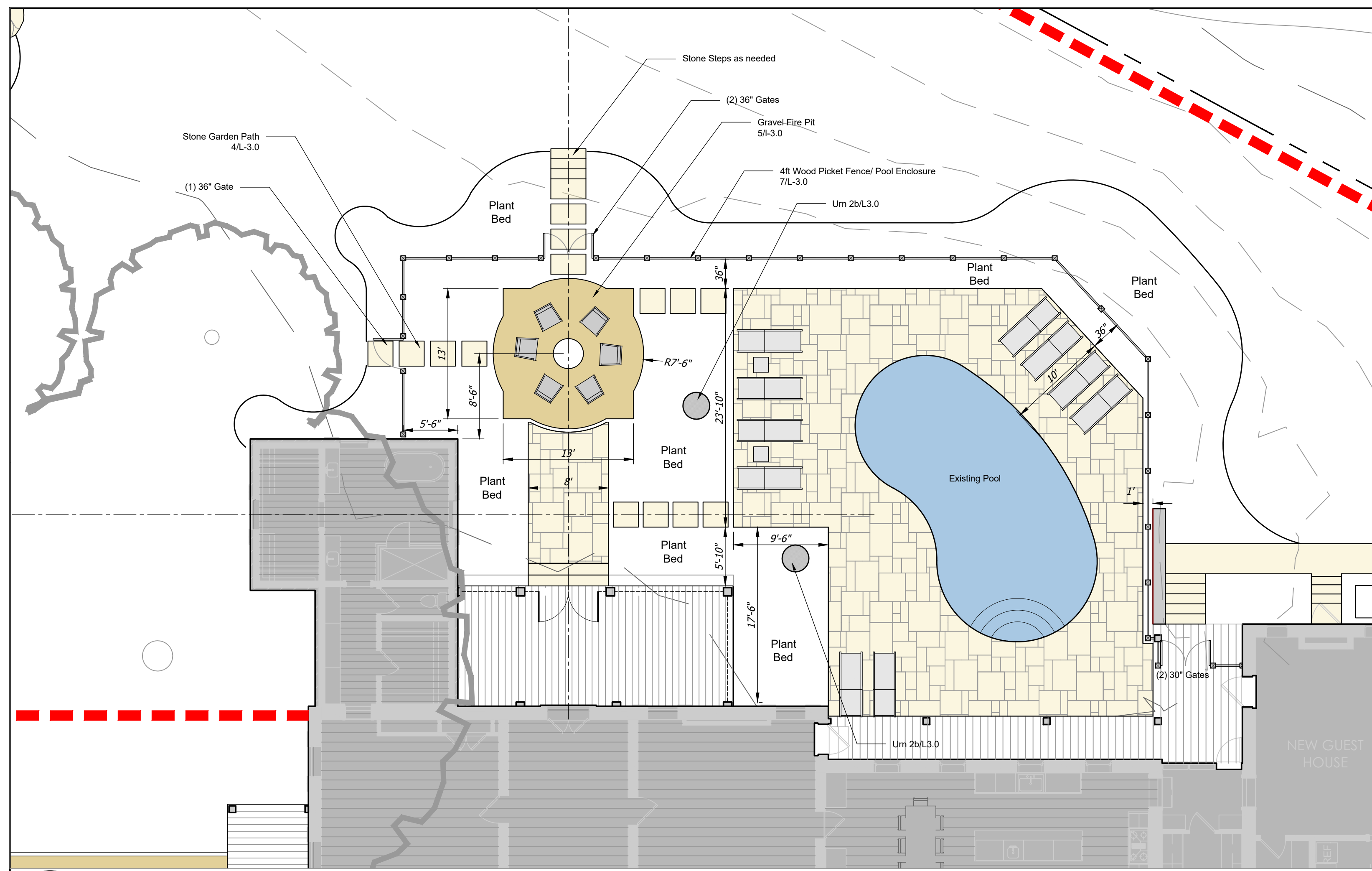
Glass Lane Entry  
 Gate to be moved into the property +/- 10-15 feet to allow 30 feet from edge of pavement.  
 Option 1: Relocate existing iron gate.  
 Option 2: Construct a 4 board "farm gate" to match the horse fence.  
 Owners to decide at a later date.

- LEGEND**
- ▬▬▬ 4 RAIL FENCE
  - ▬▬▬ SALVAGED IRON FENCE 8/L-3.0
  - ▬▬▬ 4 FT WOOD PICKET FENCE/ POOL ENCLOSURE 7/L-3.0

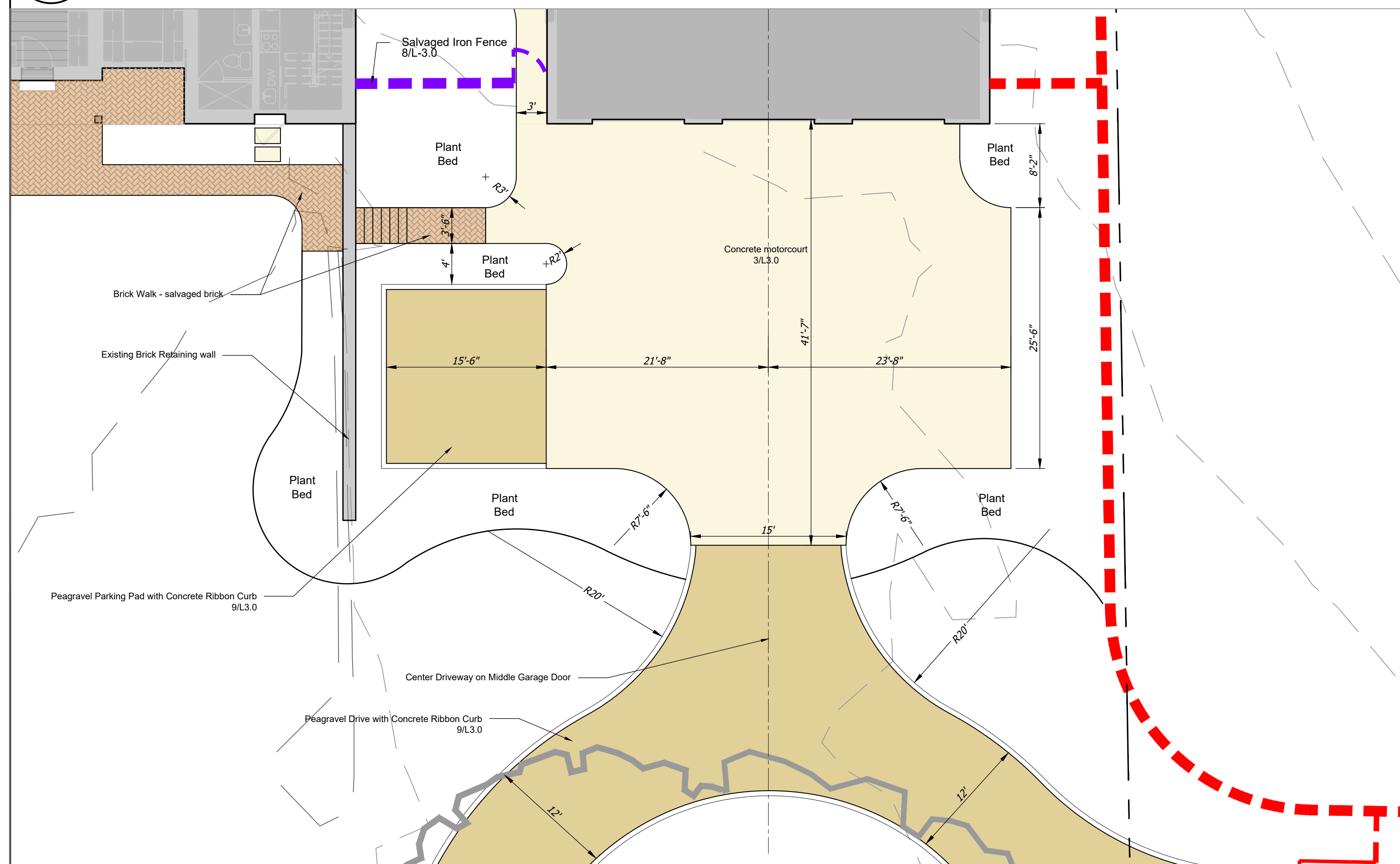
**811**  
 Know what's below.  
 Call before you dig.  
 Call TN One Call before digging. Dial 811

0    20    40    60  
 Scale: 1"=20'

N  
O  
R  
T  
H



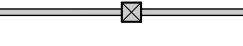


**1** Pool Area Enlargement  
L-1.1 Plan  
1/8"=1'-0"

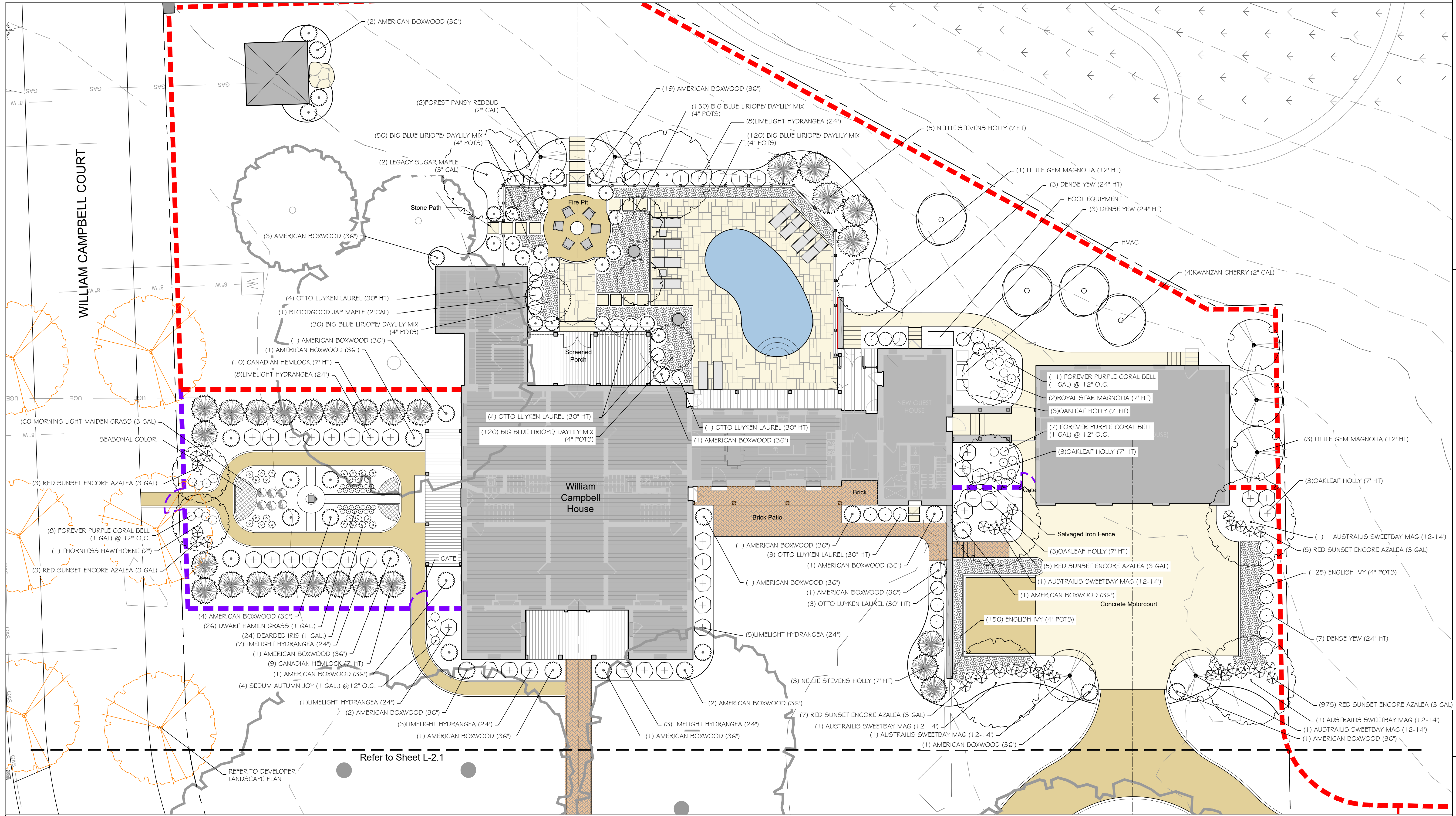


**2** Motorcourt Enlargement  
L-1.1 Plan  
1/8"=1'-0"

**LEGEND**

	4 RAIL FENCE
	SALVAGED IRON FENCE 8/L3.0
	4 FT WOOD PICKET FENCE/ POOL ENCLOSURE 7/L-3.0

**811**  
Know what's below.  
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Refer to Sheet L-2.1

REFER TO DEVELOPER LANDSCAPE PLAN

- LEGEND**
- ▬▬▬▬ 4 RAIL FENCE
  - ▬▬▬▬ SALVAGED IRON FENCE 8/L3.0
  - 4 FT WOOD PICKET FENCE/ POOL ENCLOSURE 7/L-3.0

**811**  
 Know what's below.  
 Call before you dig.  
 Call TN One Call before digging. Dial 811

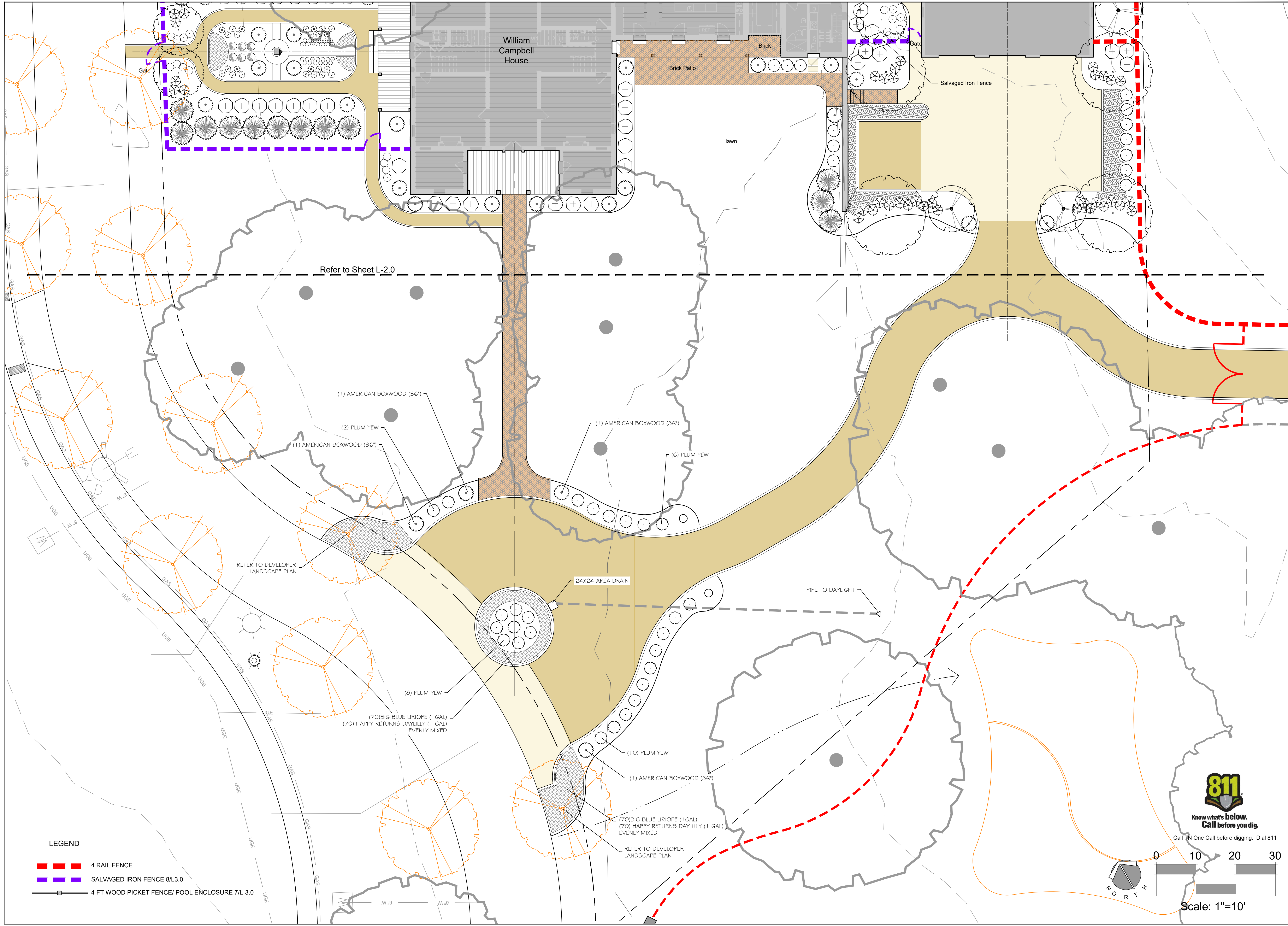
0 10 20 30  
 Scale: 1"=10'

NORTH

date: September 4, 2024  
 revisions: 4/30/25  
 8/8/25  
 8/22/25

project no. 24018  
 scale.

**L-2.0**



Refer to Sheet L-2.0

(1) AMERICAN BOXWOOD (36")

(2) PLUM YEW

(1) AMERICAN BOXWOOD (36")

(1) AMERICAN BOXWOOD (36")

(6) PLUM YEW

24X24 AREA DRAIN

PIPE TO DAYLIGHT

(8) PLUM YEW

(70) BIG BLUE LIRIOPE (1 GAL)  
(70) HAPPY RETURNS DAYLILLY (1 GAL)  
EVENLY MIXED

(10) PLUM YEW

(1) AMERICAN BOXWOOD (36")

(70) BIG BLUE LIRIOPE (1 GAL)  
(70) HAPPY RETURNS DAYLILLY (1 GAL)  
EVENLY MIXED

REFER TO DEVELOPER LANDSCAPE PLAN

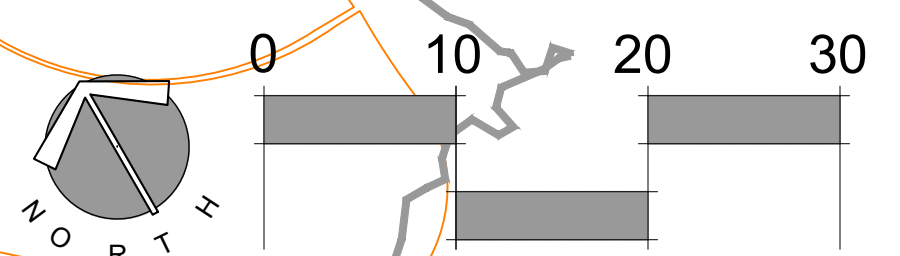
**LEGEND**

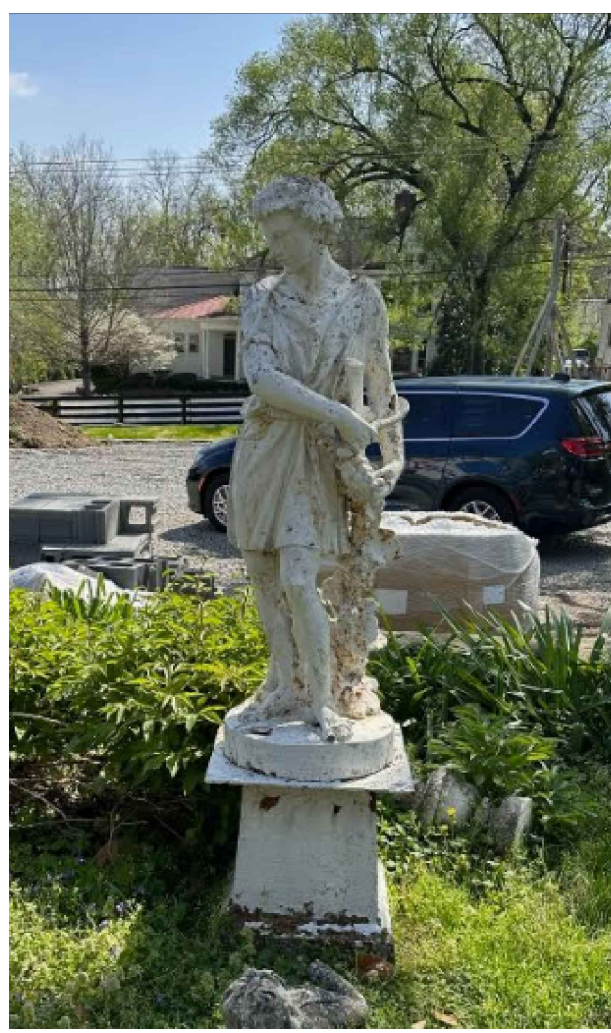
- — — — 4 RAIL FENCE
- — — — SALVAGED IRON FENCE 8/L3.0
- 4 FT WOOD PICKET FENCE/ POOL ENCLOSURE 7/L-3.0



Know what's below.  
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1 "Boy with Grapes" Statue  
L-3.0 Pictorial

NTS



2a Cast Stone Finials  
L-3.0 Pictorial

NTS



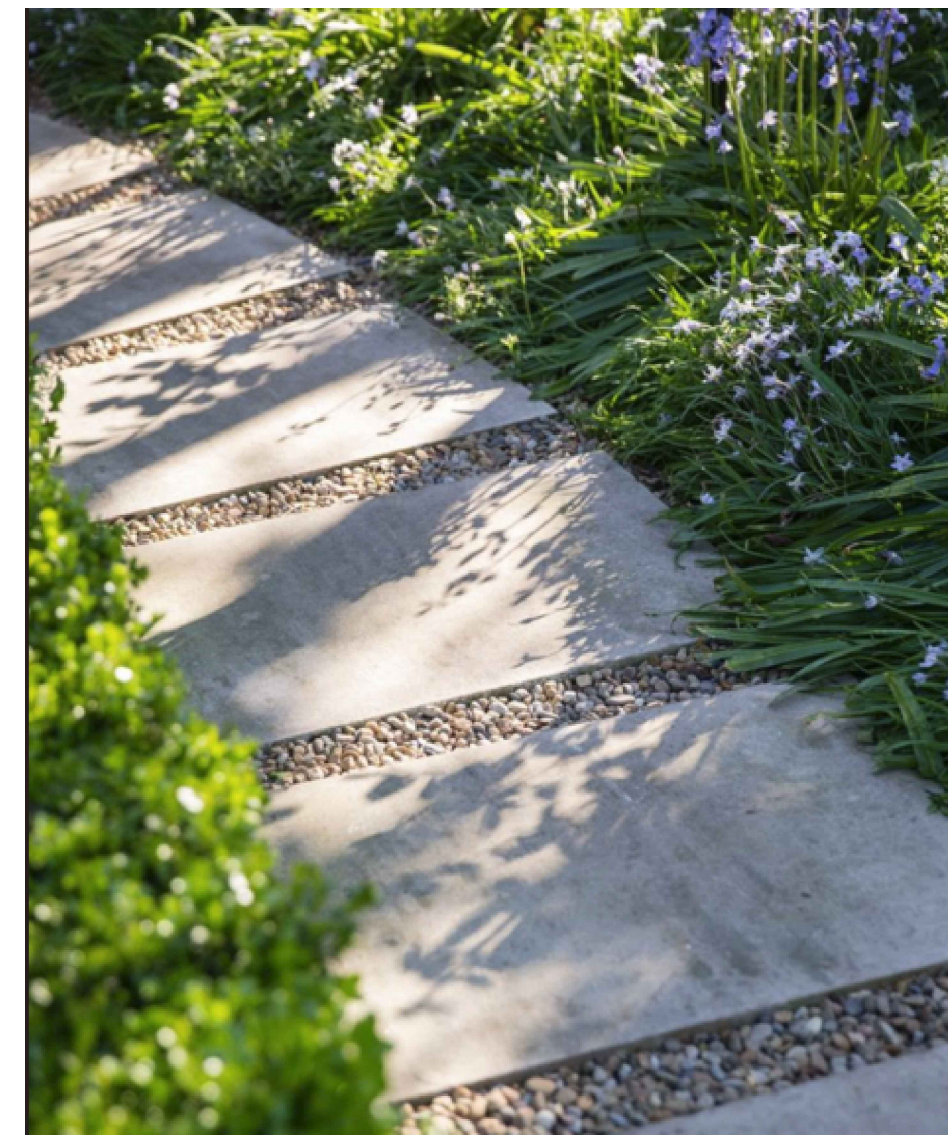
2b Urn  
L-3.0 Pictorial

NTS



3 Top Cast Concrete Motor Court  
L-3.0 Pictorial

NTS



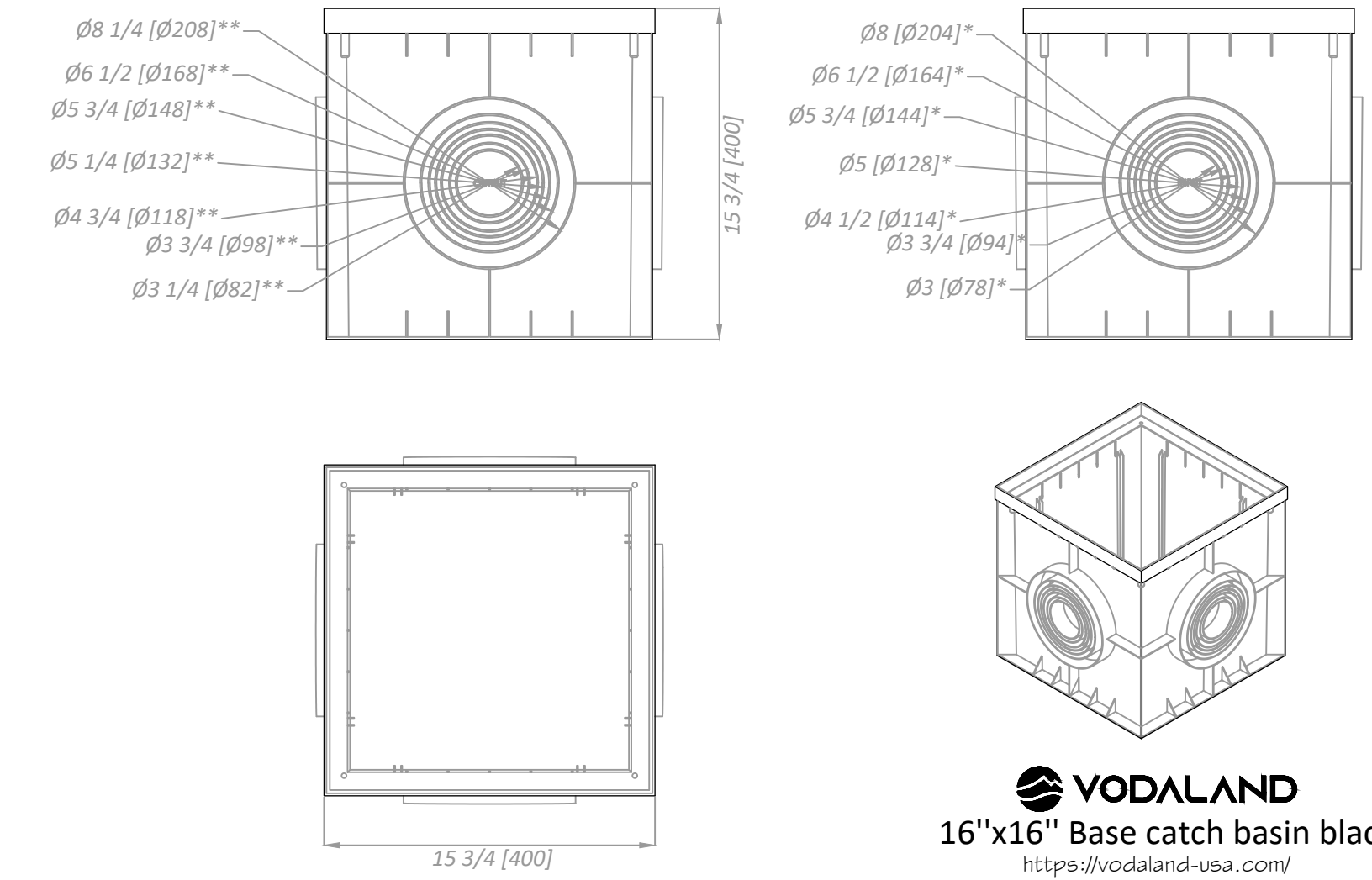
4 Stone Garden Path  
L-3.0 Pictorial

NTS



5 Decorative Gravel Fire Pit  
L-3.0 Pictorial

NTS



6 16x16 Catch Basin with Cast Iron Grate  
L-3.0 Pictorial

NTS



7 Wood Picket Fence/ Pool Enclosure  
L-3.0 Pictorial

NTS



Iron fence no longer meets code for pool enclosure and has been removed.

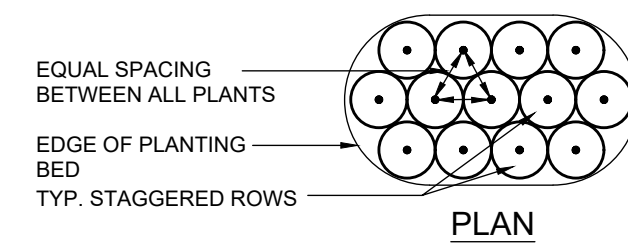
8 Iron Fence - Clipping Garden  
L-3.0 Pictorial

NTS



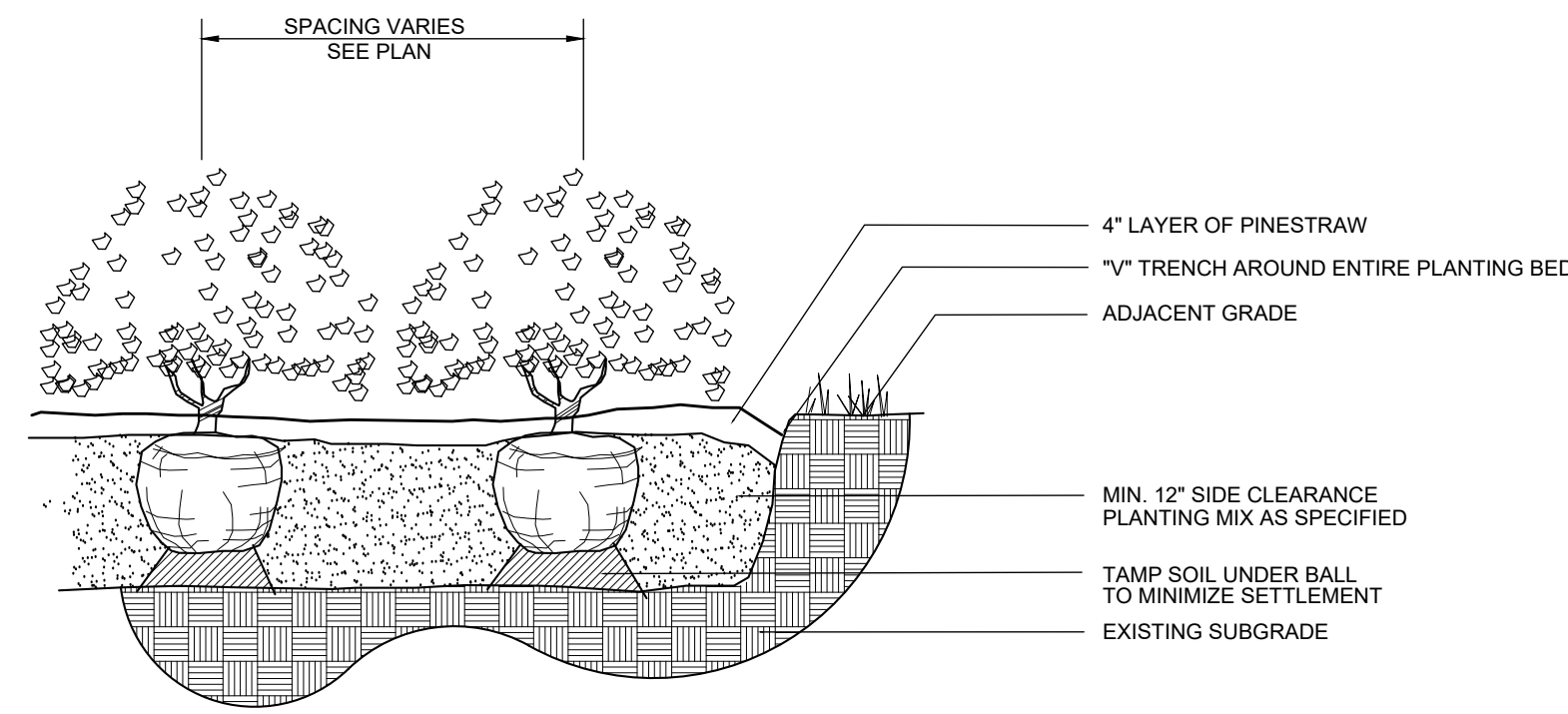
9 Pea Gravel Drive with Concrete Ribbon Curb  
L-3.0 Pictorial

NTS



**GENERAL NOTES:**

1. Install top of plant ball 2" above adjacent grade.
2. Tamp planting mix firmly as pit is filled around each plant ball.
3. Soak each plant ball and pit immediately after installation.



**1 SHRUB PLANTING**  
L3.1 PLAN/ SECTION

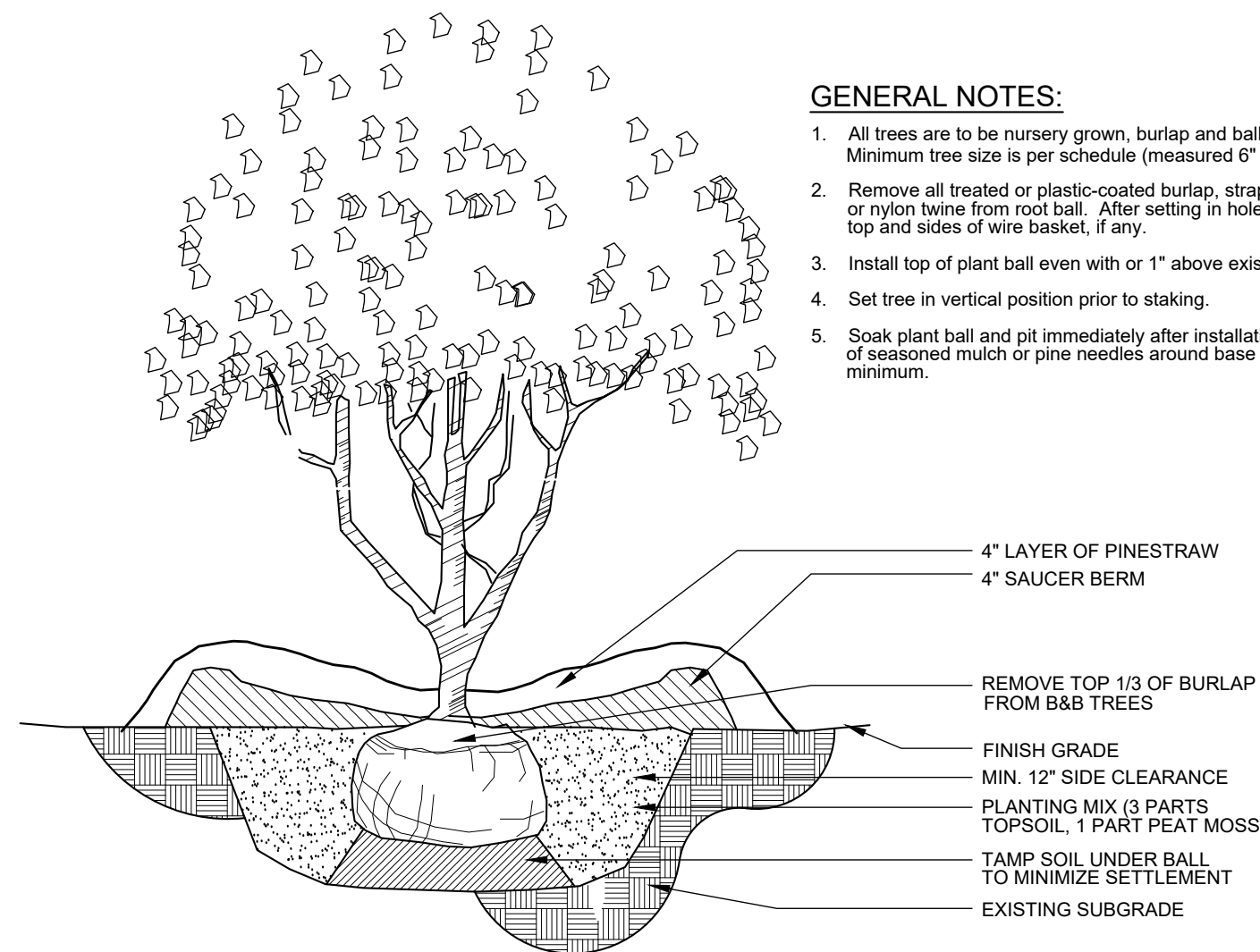
DETAIL #  
NTS

**LANDSCAPE PLANTING GENERAL NOTES**

1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE QUANTITIES OF ALL MATERIALS. THE QUANTITIES ON THE PLAN SHALL TAKE PRECEDENCE OVER THE PLANT LIST.
2. SUBSTITUTIONS OF TYPE, SIZE, OR SPACING OF PLANTS MAY NOT BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S LANDSCAPE ARCHITECT, AND MAY RESULT IN THE RESUBMITTAL OF LANDSCAPE PLANS TO THE CITY OF FRANKLIN FOR APPROVAL PRIOR TO INSTALLATION.
3. ALL CONSTRUCTION ACTIVITY SHALL BE COORDINATED WITH TENNESSEE ONE CALL PRIOR TO DIGGING. ALL DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE PER UTILITY PROVIDER'S STANDARDS.
4. THE PLANT LIST SPECIFICATIONS PROVIDED WITHIN THE PLANT LIST FOR HEIGHT AND SIZE ARE MINIMUMS.
5. ALL PLANT BEDS SHALL BE RAKED AND CLEARED OF LARGE ROCKS. ALL LARGE DIRT CLOUDS SHALL BE PULVERIZED OR REMOVED PRIOR TO PLANTING.
6. ALL LARGE DIRT CLOUDS RESULTING FROM PLANTING SHALL BE PULVERIZED AND REMOVED PRIOR TO MULCHING.
7. PRE-EMERGENT HERBICIDE SHALL BE APPLIED AFTER INSTALLATION AND IMMEDIATELY PRIOR TO MULCHING.
8. ALL PLANT BEDS ARE TO BE MULCHED WITH A MINIMUM OF 4 INCHES OF PINE STRAW MULCH. ALL ANNUAL BEDS SHALL BE MULCHED WITH A MINIMUM OF 2 INCHES OF SOIL CONDITIONER, PINE BARK FINES.
9. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
10. ALL SOD AREAS SHALL BE TILLED AND RAKED SMOOTH, WITH LARGE DIRT CLOUDS AND ROCKS REMOVED, PRIOR TO SOD INSTALLATION.
11. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STAKING AND LAYOUT OF PLANT BEDS.
12. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE DRAINAGE OF ALL TREE AND SHRUB PITS. A PVC OR GRAVEL SUMP AT THE BASE OF THE TREE WELL MAY BE REQUIRED IN AREAS WHERE CLAY SOILS DO NOT ADEQUATELY DRAIN.
13. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AT THE JOB SITE FOR REVIEW PRIOR TO INSTALLATION.

**GENERAL NOTES:**

1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
3. Install top of plant ball even with or 1" above existing grade.
4. Set tree in vertical position prior to staking.
5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree, 3' diameter minimum.

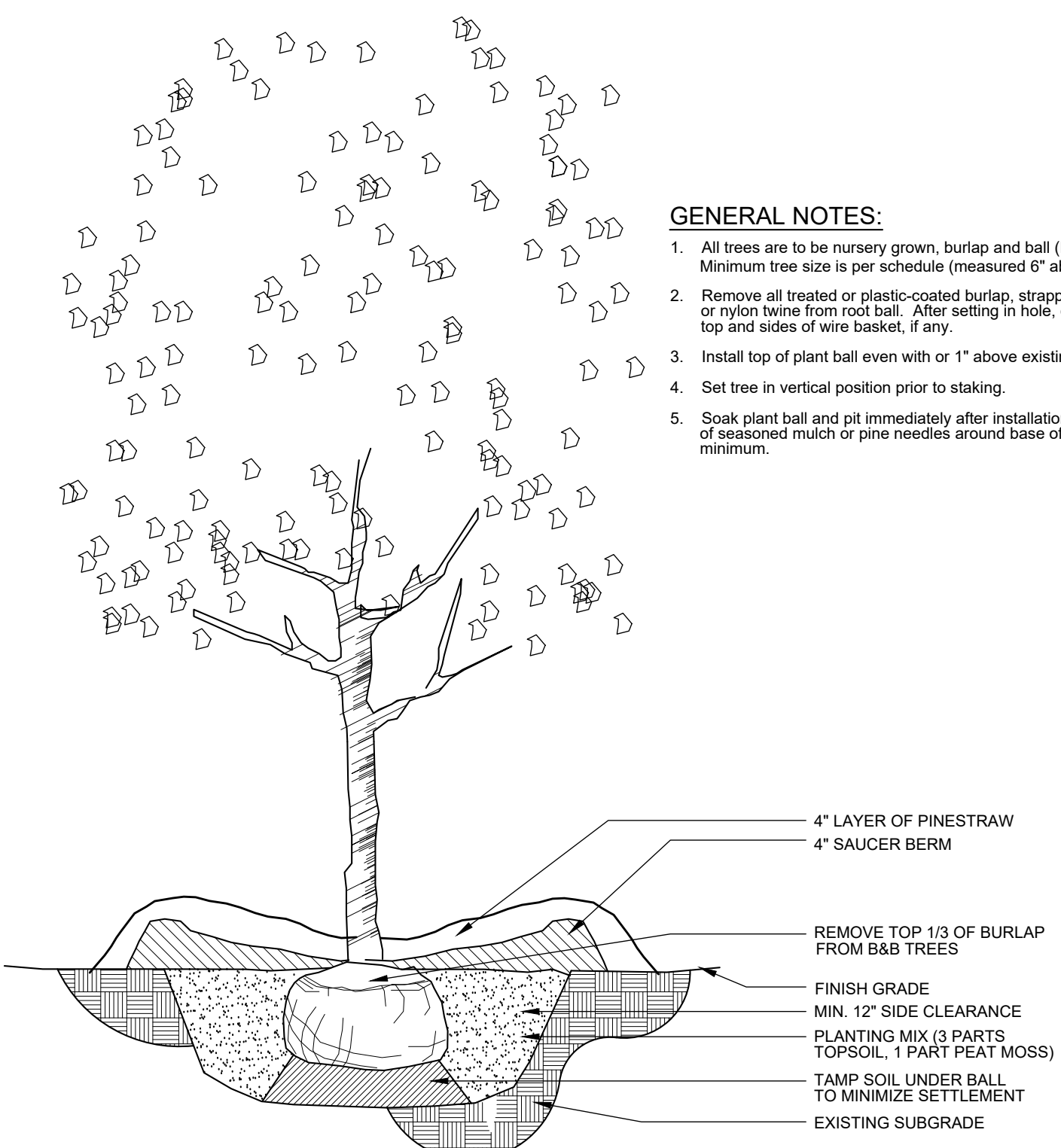


**2 UNDERSTORY TREE**  
L3.1 SECTION

DETAIL #  
NTS

**GENERAL NOTES:**

1. All trees are to be nursery grown, burlap and ball (B&B). Minimum tree size is per schedule (measured 6" above root ball).
2. Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from root ball. After setting in hole, cut away top and sides of wire basket, if any.
3. Install top of plant ball even with or 1" above existing grade.
4. Set tree in vertical position prior to staking.
5. Soak plant ball and pit immediately after installation. Place 4-6" of seasoned mulch or pine needles around base of tree, 3' diameter minimum.



**3 SINGLE TRUNK DECIDUOUS TREE**  
L3.1 SECTION

DETAIL #  
NTS

date. April 28, 2025  
revisions. 8/8/25  
8/22/25

project no. 24018  
scale.



Know what's below.  
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**File #: 21-01065**

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**DATE:** August 27, 2025  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner  
Elizabeth Bulay, Assistant Preservation Planner

**SUBJECT:**

Consideration Of Site Alterations, Fencing, and Gates At 1835, 1837, 1839, 1841, And 1843 William Campbell Ct. (Magnolia Hall Subdivision, Lots 2-6); David Horwath, Applicant.

**PURPOSE:**

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning site alterations and rear yard fencing and gates for Lots 2-6 at the Magnolia Hall Subdivision.

**APPLICABLE DESIGN GUIDELINES:**

2016 Franklin Historic District Design Guidelines:  
Landscaping (p. 70)  
Parking and Driveways (p. 77)

**PROJECT INFORMATION:**

COF Project Number: 8869  
Applicant: David Horwath, Magnolia Hall, LLC.  
Owner: David Horwath, Magnolia Hall, LLC.

**BACKGROUND:**

The properties located at 1835, 1837, 1839, and 1843 William Campbell Court are located in the Boyd Mill Avenue Historic District. The property addresses correlate to Lots 2-6 on the site plan of the Historic Magnolia Hall Subdivision. The neighborhood development site features the William Campbell House, constructed ca. 1840, and is listed on the National Register of Historic Places. This application was withdrawn from the July 2025 HZC meeting by the applicant. The request was reviewed during the August 2025 DRC meeting and feedback has been incorporated into the proposal.

The proposal includes a request for site materials for the driveway, walkway, rear yard fencing, and gates.

**Site Materials:**

The proposal includes a change to the driveway material to include a cobblestone driveway apron,

border, and gate pad for each property. The remainder of the driveway will be top cast concrete. The Guidelines recommend the following for driveway materials:

- Meet the requirements for material stipulated in the Zoning Ordinance. (The surface material for parking and loading areas shall be asphalt, concrete, brick, stone, pavers, or an equivalent material.)
- Use durable materials that were historically typical for driveways, such as gravel, concrete, bricks, and asphalt.

The use of a different material for the border and driveway to provide contrast is seen throughout the historic districts. The primary materials for driveways in the district appear to be concrete or asphalt driveways. The use of a paver or cobblestone is not a historically typical material for driveways. The applicant has incorporated feedback to reduce the visual draw of the driveway with the proposed design.

The proposal includes a change to the walkway material to be stone. This material would be used from the sidewalk to the brick steps to the front porch of the building. The path of the walkway does not appear to be altered. The Guidelines recommend the following:

- New sidewalks and walkways should follow historic patterns of alignment, configuration, width, and materials.

A variety of materials can be seen in the district for the walkway material, including but not limited to brick, stone, and concrete. The age of these materials are not known, but they are seen. The use of stone as walkway material for the properties is appropriate.

#### **Rear Yard Fencing and Gates:**

The proposal includes a request for rear yard fencing and vehicular gates for each property. The locations do vary from lot to lot, but are all located over 20' from the front façade of each building and are all considered rear yard gates. The fencing will all utilize a picket design and be 42" tall. The design of the gates will be varied for each lot. The proposed fencing aligns with the Guidelines and is appropriate.

#### **RECOMMENDATION:**

**Staff recommends denial of the cobblestone driveway accents based on the following Guidelines:**

- Use durable materials that were historically typical for driveways, such as gravel, concrete, bricks, and asphalt.

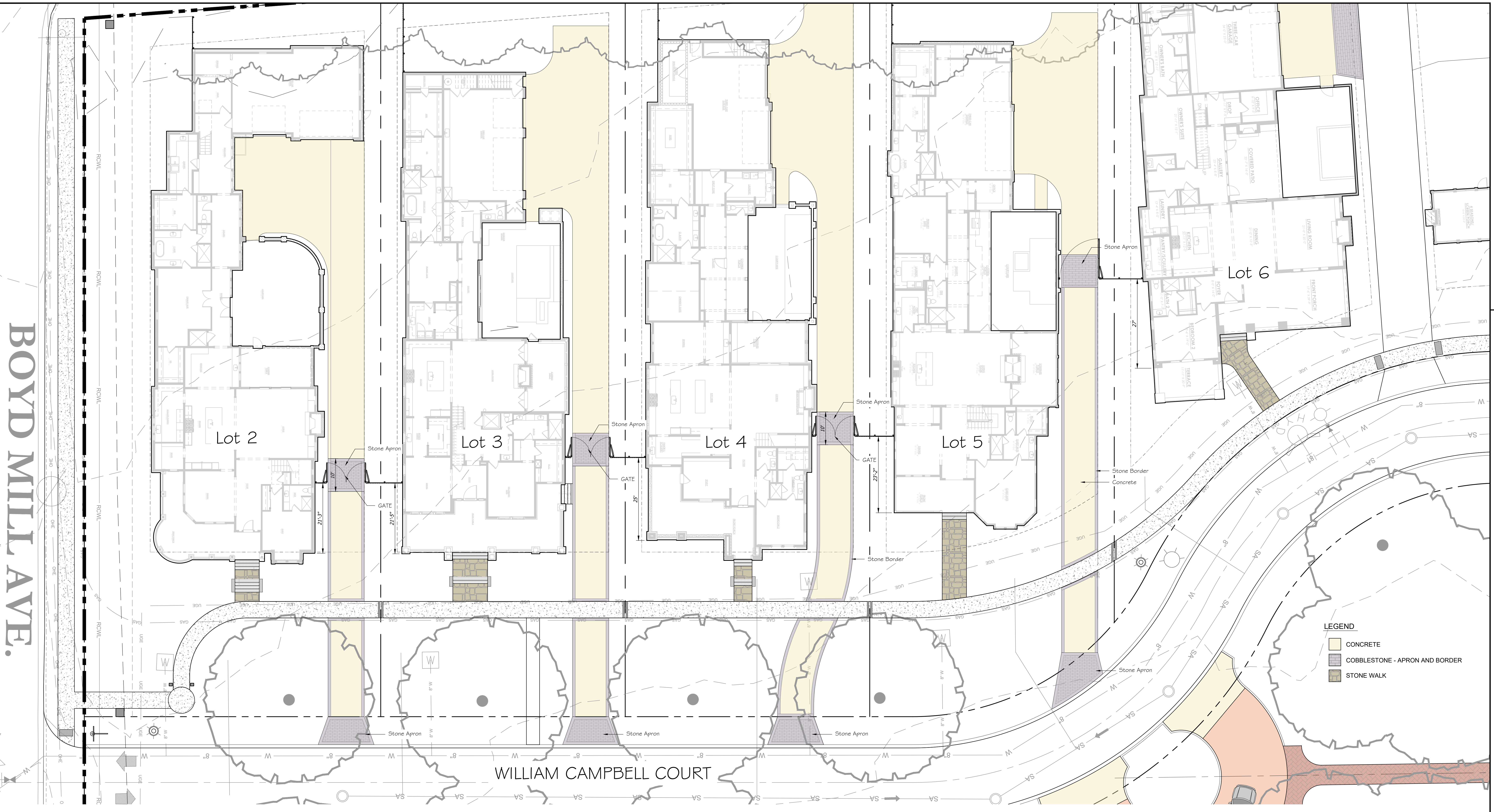
**Staff recommends approval of the walkway material and rear yard fencing, and gates with the following conditions:**

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

## Project Consideration:

- The landscape surface area ratio for the PD zoning district is 0.20, or 20%. Be aware that the landscape surface area ratio requirement must be maintained.

BOYD MILL AVE.



**Magnolia Hall**  
**Lot 2-6 Common Hardscape Elements**

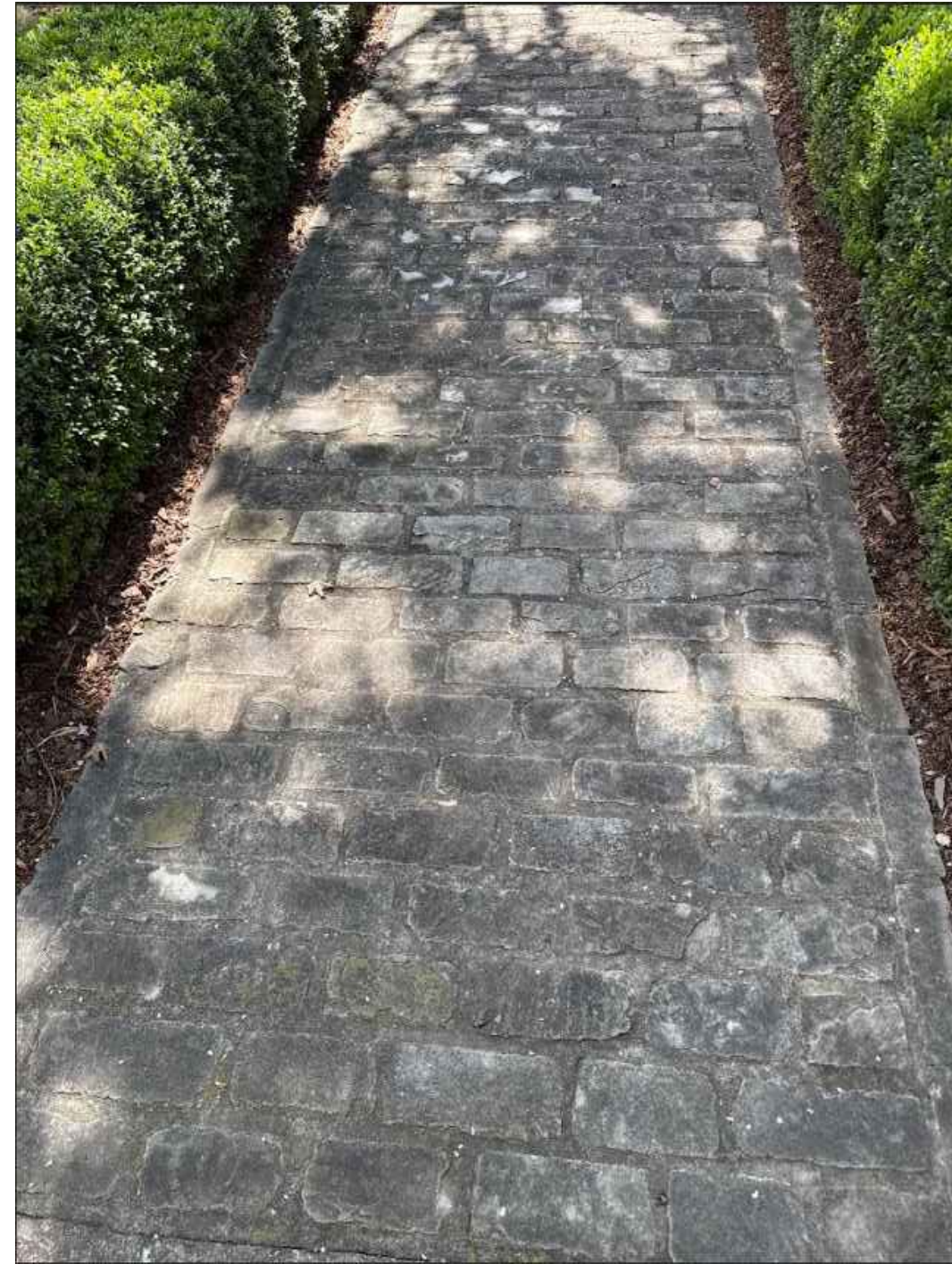
Boyd Mill Avenue, Franklin, Tennessee



date: July 15, 2025  
 revisions: Aug 11, 2025  
 August 21, 2025

project no. 19068  
 scale: shown on plan

**L-1.0**



1 Stone Lead Walks - example found at 234 4th Ave North  
L-1.1 Pictorial - design intent NTS



2 Concrete Driveway with Cobblestone Aprons and Border  
L-1.1 Pictorial - design intent NTS



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**File #: 21-01086**

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**DATE:** August 28, 2025  
**TO:** Historic Zoning Commission  
**FROM:** Kelly Dannenfelser, Asst. Director of Planning  
Emily Huffer, Preservation Planner

**SUBJECT:**  
Consideration Of Partial Demolition, Additions, Alterations, Alterations, And Fencing At 106 Winslow Rd.; Steve Maher, Applicant.

**PURPOSE:**  
The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning partial demolition, additions, alterations, and fencing at 106 Winslow Rd.

**APPLICABLE DESIGN GUIDELINES:**  
2022 Franklin Historic District Design Guidelines:  
Chapter 2: Historic Residential Buildings  
Chapter 5: Historic Accessory Structures  
Chapter 7: Fences and Walls

**PROJECT INFORMATION:**  
COF Project Number: 8920  
Applicant: Stephen Maher  
Owner: Stephen and Nancy Maher Rev Trust

**BACKGROUND:**  
The property at 106 Winslow Road is located in within the Franklin Road Historic District. The building appears to be a cottage-style house with Tudor Revival influences. The building and accessory structure were constructed in the 1930s. A series of alterations are proposed within the application that include:

- Demolition of the non-historic screened-in porch,
- New construction of a screened-in porch,
- Construction of new dormers,
- Garage door replacement,
- New rear door and construction of covered porch,
- Rear yard fencing
- Misc. Items
  - Front porch lighting
  - Bay window roofing material change
  - Chimney pot

- Rear window replacement
- Reconfiguration of exterior basement entrance
- General property maintenance

### Screened-In Porch Demolition and New Construction

It is proposed to demolish the existing screened-in porch that is seen on the left elevation, which received a COA in 2008, and replace it with an updated screened-in porch. The length of the porch is decreasing, but the height and width are increasing as well. The roof pitch does match the existing roof pitch and appears subordinate to the existing building. The Guidelines recommend:

- Place additions in subordinate locations at the rear of the building or on an obscured facade not readily visible from the street in order to minimize their impact.
- Design the massing, scale, and proportions to be subordinate to the historic building.
- If a rear addition is not feasible, an addition on the side facade may be appropriate when it is properly designed to complement the original building without overpowering it. An addition on the side facade should set back from the historic forms and avoid alteration to or distraction from character-defining historic features.
- Design the length of an addition to be subordinate to that of the historic building, where visible from street view. The width of side additions should not exceed one-third of the width of the front facade of the existing building.
- Design new porches and stoops to rear or side facades with minimal visibility.
- Avoid adding porches or stoops to front facades or highly visible facades if they did not exist historically.
- Design screened or glassed porch additions with the minimum number of vertical and horizontal framing members needed to support the screening. Use wooden frames only.

The existing front elevation of the building is approximately 37 feet wide, without including the 2008 porch. The proposed porch will be 10 feet wide. While placement of a new addition in this location is not recommended by the Guidelines, an existing porch is in the same location, and the new screened-in porch is shorter in length than the existing one. At the August Design Review Committee meeting, DRC members agreed that the proposed design was an improvement of the current porch.

### Construction of New Dormers

Two dormers are proposed on the rear portion of the building that was added in 1975. A similar proposal for the installation of the dormers in 2014 approved the left elevation dormer and denied the right elevation due to high visibility from Winslow Road. The scale of the approved dormer, which was never constructed, spanned nearly the entire side of the building. These shed dormers are much smaller in scale than what was proposed previously. The application also includes an alternative hipped option for the dormers but only one rendering shows it rendered. Therefore, staff reviewed the application with the shed dormer, as it was shown on all pages. The Guidelines recommend:

- Place dormers on additions in locations with obscured visibility from the front facade or street.
- Appropriately size and locate dormers on the addition. Dormers should be designed to be similar yet subordinate in detailing, scale, width, and massing to dormers on the historic building.
- Relate the style, scale, and proportion of dormer windows to windows on lower floors.
- Dormer roof pitch should be at least 3:12 and no less than half the main roof pitch.
- Dormers should be located below the main ridge of the addition.
- Dormers should be recessed at least 1 foot from the exterior building wall.

- Dormer sidewalls should be at least 30 inches from the exterior building wall.

The left dormer placement is appropriate, but the right dormer will be highly visible from Winslow Road and does not align with the Guidelines.

### Garage Door Replacement

The existing garage doors are simple in design and utilize two very small window openings near the top of the doors. It is proposed it utilize a similar design of door that uses a combination of a window on the top of the door and a paneled wood design on the lower portion of the door, that is seen on Winslow Road for the doors on the garage. The Guidelines recommend:

- Design doors and doorways to an addition to read as secondary in appearance and detailing to the historic building.
- Use traditional materials with appearances similar to the doors on the historic building.

A 15-lite window on each of the garage doors are not compatible with the window pattern that is seen on the accessory structure and the principal building. A pattern that is seen on the accessory structure or on the principal building should be utilized to align with the Guidelines.

### New Rear Doors, Covered Porch, and Breezeway Construction

A pair of new rear French doors, a covered porch, and breezeway connecting the principal building and accessory structure are proposed on the rear of the building. The previous COA from 2014 did approve of these alterations, but they were never constructed. These proposed alterations are tucked behind the building and will have limited visibility from Winslow Road. The Guidelines recommend:

- Design new porches and stoops to rear or side facades with minimal visibility.
- Design the scale, proportion, and character of porch elements, including columns, corner brackets, and railings and pickets, to be compatible with yet less elaborate than the historic building.
- Use wood materials and simple wood rail designs with square balusters. Brick and metal may be considered if appropriate to the historic building. Avoid contemporary materials and do not use cast concrete steps where visible from the street.

The placement, size, and materials appear to meet the Guidelines. It is recommended that the rear porch roof color blend with the metal roofing that is seen on the roof of the box bay window.

### Rear Yard Fencing

It is proposed to construct new rear yard fencing that will wrap the rear of the building and connect to the accessory structure and then connect to the existing block wall for a vehicular gate. The rear yard fencing is appropriate and qualifies for administrative review and approval.

### Misc. Items

There are several other items that are being proposed, including the installation of an electric lantern at the front entrance. As the building was constructed circa 1936, electric lighting fixtures would have been utilized and are recommended by the Guidelines. It is proposed to replace the metal roof above the box bay window with copper, so it will patina. This is seen on a neighboring building and is a similar in-kind replacement in appearance (once patinaed) and just a change in material, as the existing metal is dark in color. On the rear of the building, it is proposed to remove the 1975 single window and install two new wood windows that match the window profiles on the existing building.

The installation of new windows that match in material and profile as the existing windows are supported by the Guidelines. On the left elevation, there is an exterior entrance to the basement on the 1975 addition. It is proposed to enclose this entrance and utilize siding and a door. This entrance will not be seen from the street and will help with the overall preservation of the building by keeping water and other elements away from the basement. Installation of a chimney pot and cap will blend with the roof color and will appear to be a clay profile, which is recommended by the Guidelines.

### General Property Maintenance

There are a series of alterations that are proposed on the existing building, such as repointing the existing stone stoops, repairing and replacing damaged wood trim around the building as needed, and replacing/repairing the gutters on the building and downspouts, and an in-kind replacement of the existing asphalt shingle roof. All of these items are appropriate and are encouraged to preserve the historic building.

### **RECOMMENDATION:**

Staff recommends denial of the dormer on the right elevation and the garage door replacement, based on the following grounds:

1. Place dormers on additions in locations with obscured visibility from the front facade or street.
2. Design doors and doorways to an addition to read as secondary in appearance and detailing to the historic building.
3. Use traditional materials with appearances similar to the doors on the historic building.

Staff recommends approval of the demolition of the screened-in porch, construction of the screened-in porch, construction of the left elevation dormer, new rear French doors, covered porch, breezeway construction, rear yard fencing, the outlined miscellaneous items, and general property maintenance with the following conditions:

1. The left dormer shall utilize a shed roof design.
2. The rear porch and breezeway roofing material shall utilize a material that blends with the color of existing roofing or with the roofing on the box bay window.
3. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
4. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.

### Project Considerations:

1. The extent of the existing conversion of the detached garage structure to habitable space is unclear, and an alternate habitable room use is not proposed for the garage portion of the detached structure.

Note: A minimum 36" wide side-hinged exterior door that opens directly to a yard or court is required to serve as the egress door, and an emergency escape and rescue opening is required for each sleeping room, as applicable.

Note: Safety glazing/tempered glass in hazardous locations, minimum plumbing fixture dimensions/clearance areas, and general requirements for habitable space in accordance with the 2018 IRC to be verified at building permit submittal and /or inspections, as applicable.

2. Prior to issuance of a building permit, a revised plat will be required. 106 Winslow is comprised of lot 6 & 7 and 25' off the rear of lots 1-5. This was done by deed only, and never revised by plat.
3. Staff is unable to find documentation that the detached garage has been legally converted into an accessory dwelling. If you have a copy of a certificate of occupancy for the garage, please provide. If there is no C.O., an inspection to meet building code for a dwelling will be required.

A new address is required for an accessory dwelling.

Additional water/sewer fees will apply.

# 106 Winslow Road

## Certificate of Appropriateness submittal

8/22/25

---

### Part 1 - Supporting Imagery:

1. Historical Images
2. Images of the Existing House
3. Neighborhood Context and Inspirational Images
4. Perspective Views

### Part 2 - Drawings:

1. SV-01 – Site Survey
2. L-1.1 – Architectural site plan
3. A-1.1 – Proposed 1<sup>st</sup> Floor plan
4. A-1.2 – Proposed 2<sup>nd</sup> Floor plan
5. A-1.3 – Proposed Roof plan
6. D-1.1 – Existing and demolition plan
7. A-2.1 – Proposed Elevations – front and right
8. A-2.2 – Proposed Elevations – Rear and left
9. A-2.3 – Proposed Elevations – Garage
10. Material specifications and details





1950 Aerial of Winslow Road



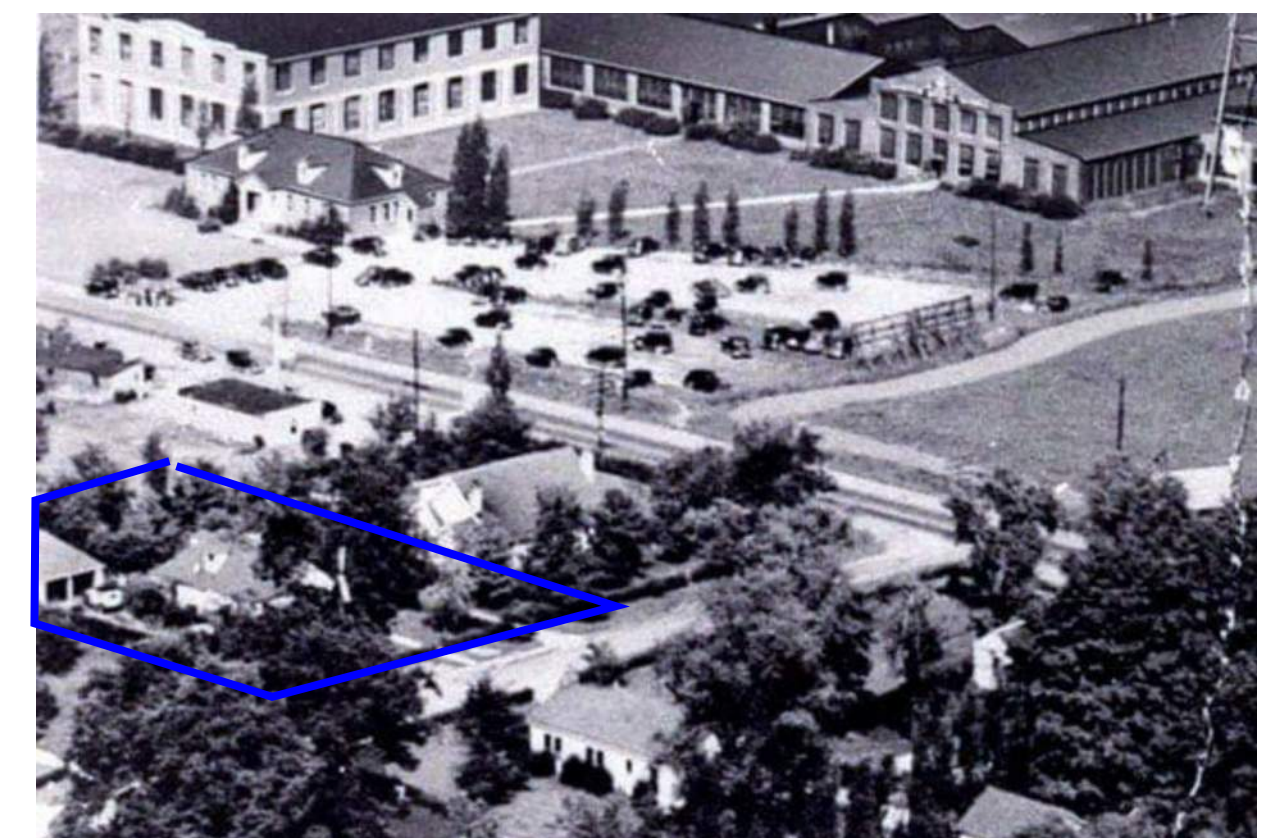
2021 Image of 106 Winslow Road



2008 Image of 106 Winslow Road - Prior to screen porch



106 Winslow mascot  
"Millie"



# Historical images of the property - 106 Winslow Road



View from Winslow Road



Entry detail / cornice and roof condition



View from Winslow Road



Rear elevation of 1970's addition



Entry stoop



Existing garage / accessory dwelling



View from Winslow Road



Screen addition - COA granted 2008



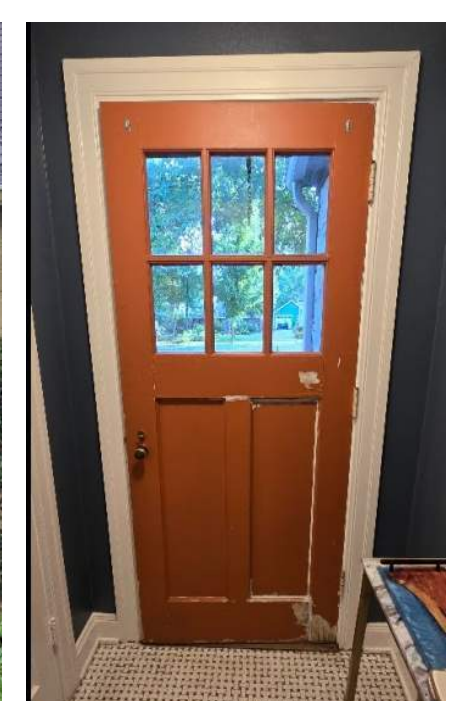
Exterior access to basement



Garage / accessory dwelling



Left side elevation with utilities and open basement access



# Images of the existing house - 106 Winslow Road



110 Winslow - neighbor to the left



102 Winslow - neighbor to the right



106 Winslow Road - subject property



109 Winslow - directly across the street



111 Winslow - diagonally across the street



Historic Carriage house door examples in Myles Manor



Cotswold cottage style



# Neighborhood context images and inspiration - 106 Winslow Road



Existing



Existing



NEW Mock-up of proposed showing and dormer at rear



Mock-up of proposed showing screened porch and dormer at rear



Side elevation at entry  
Discussed - not in current scope

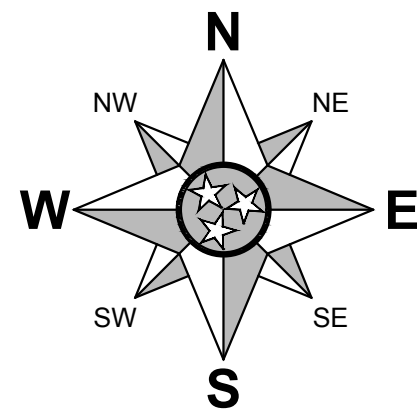
Front elevation at entry



Existing

Discussed - not in current scope

# Perspective views - 106 Winslow Road



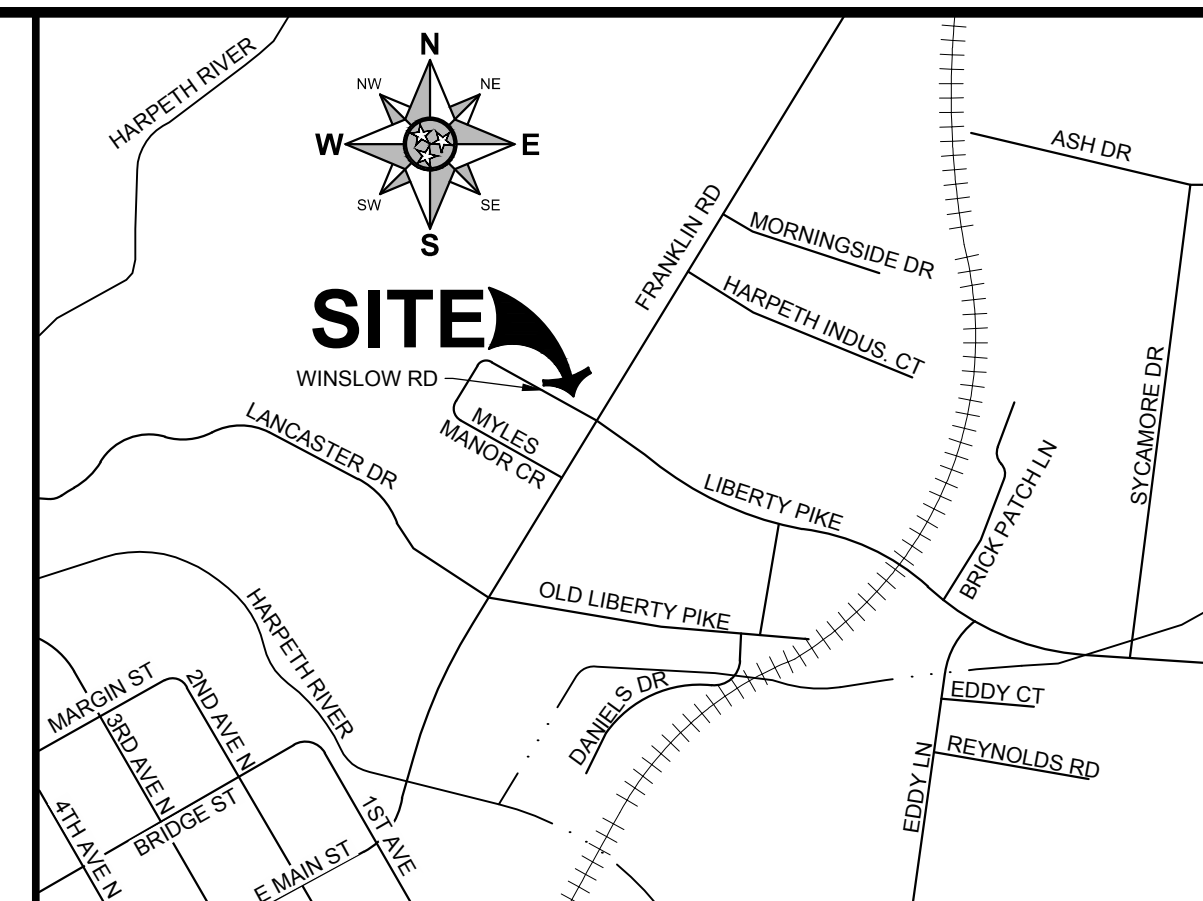
**GPS SURVEY DATA INFORMATION:**

- TYPE OF GPS SURVEY: RTK
- POSITIONAL ACCURACY: 0.07 FEET
- DATUM/EPOCH: NAD83 (2011) EPOCH 2010.00
- PUBLISHED/FIXED CONTROL USED: TGRN
- GEOID MODEL: GEOID 18
- COMBINED GRID SCALE FACTOR: 0.99992238
- UNITS: (US FEET)(GRID)

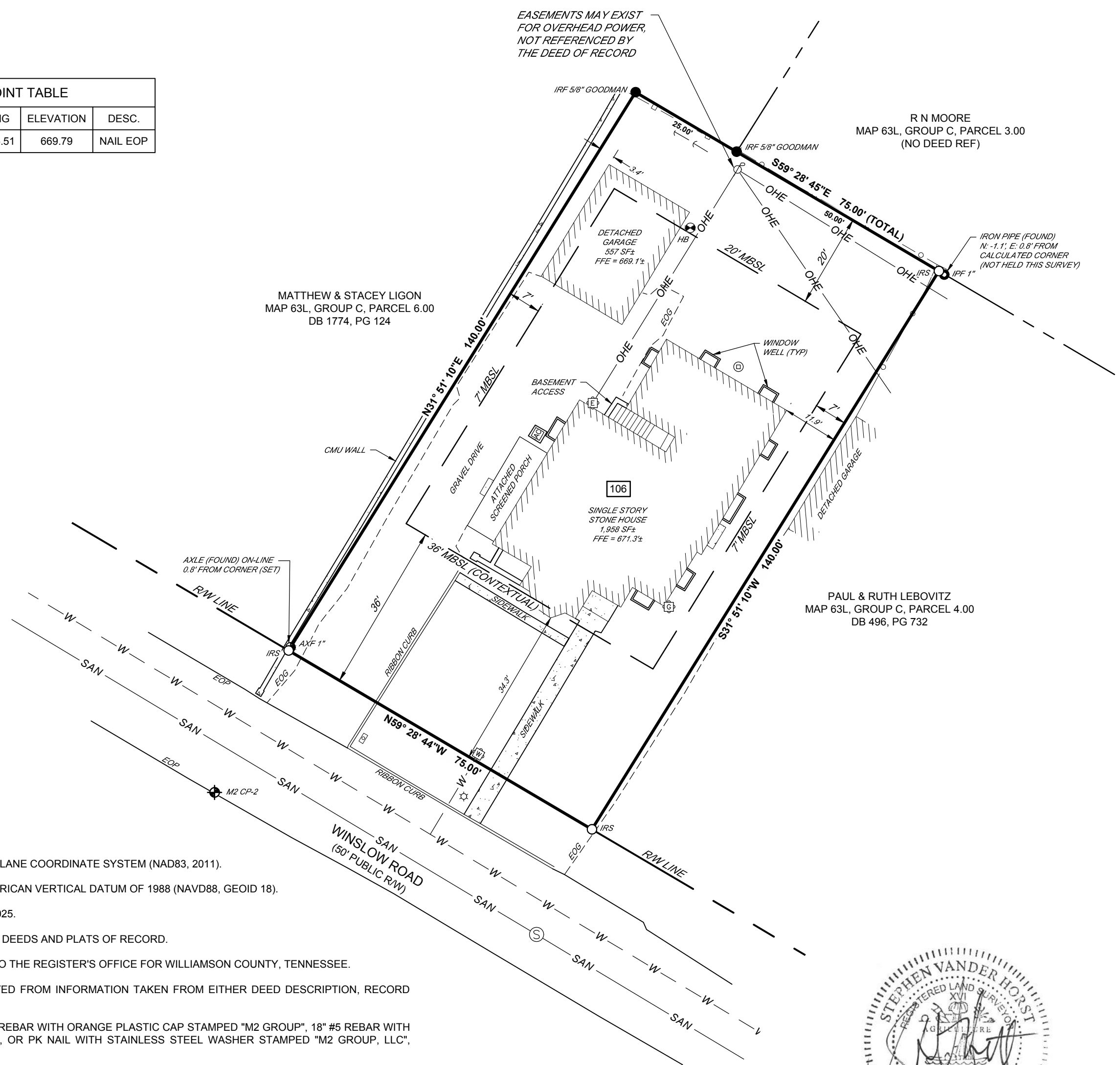
CONTROL POINT TABLE				
POINT #	NORTHING	EASTING	ELEVATION	DESC.
2	583335.50	1712965.51	669.79	NAIL EOP

**SUBJECT PROPERTY INFORMATION:**

- OWNER: STEPHEN & NANCY MAHER REV TRUST
- TAX MAP 63L, GROUP C, PARCEL 5.00
- INSTRUMENT: DB 9264, PG 149
- PLAT INSTRUMENT: PB 1, PG 100
- LOT(S): 6 & 7, P/O LOTS 1-5 BLOCK "C" MYLES PARK SUBDIVISION
- TOTAL AREA = 0.24 AC (10,497 SF) ±



**VICINITY MAP**  
SCALE: 1"=1000'



**LEGEND:**

- EXISTING PROPERTY LINE
- - - EXISTING RIGHT-OF-WAY
- - - EXISTING ADJACENT PROPERTY LINE
- - - MBSL
- - - MINIMUM BUILDING SETBACK LINE
- EXISTING WOOD FENCE
- EXISTING CHAIN-LINK FENCE
- OHE
- IRON REBAR FOUND (IRF)
- IRON PIPE FOUND (IPF)
- AXLE
- IRON REBAR SET W/CAP (IRS)
- ⊕ BENCHMARK / SURVEY CONTROL
- ⊕ WATER METER
- ⊕ H/B HOSE BIB BUILDING
- ⊕ POWER POLE
- GUY WIRE
- ⊕ ELECTRIC METER
- ⊕ AC UNIT
- ⊕ LIGHT STANDARD
- ⊕ GAS METER
- ⊕ SANITARY SEWER MANHOLE
- ⊕ CLEAN OUT
- ⊕ MAILBOX
- EOP EDGE OF PAVEMENT
- EOG EDGE OF GRAVEL
- 106 ADDRESS

**GENERAL NOTES:**

- BEARINGS ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83, 2011).
- ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88, GEOID 18).
- THE FIELD SURVEY WAS COMPLETED ON JULY 31, 2025.
- THIS SURVEY WAS PREPARED USING THE CURRENT DEEDS AND PLATS OF RECORD.
- ALL DEED BOOK AND PLAT REFERENCES PERTAIN TO THE REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.
- ADJOINING PROPERTY LINES SHOWN WERE PLOTTED FROM INFORMATION TAKEN FROM EITHER DEED DESCRIPTION, RECORD PLATS, OR TAX MAPS.
- PROPERTY CORNERS SET THIS SURVEY ARE 18" #4 REBAR WITH ORANGE PLASTIC CAP STAMPED "M2 GROUP", 18" #5 REBAR WITH YELLOW PLASTIC CAP STAMPED "M2 GROUP, LLC", OR PK NAIL WITH STAINLESS STEEL WASHER STAMPED "M2 GROUP, LLC", UNLESS NOTED OTHERWISE.
- UTILITIES SHOWN HEREON WERE COMPILED FROM VISIBLE STRUCTURES AT THE SITE, INFORMATION FROM PLANS, AND PHYSICAL MARKINGS AND COMBINED TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY, AND RELIABLY DEPICTED. IN ADDITION, IN SOME JURISDICTIONS, 811 OR OTHER SIMILAR UTILITY LOCATE REQUESTS FROM SURVEYORS MAY BE IGNORED OR RESULT IN AN INCOMPLETE RESPONSE. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THIS SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. VERIFICATION OF EXISTENCE, LOCATIONS, AND DEPTH SHOULD BE MADE BEFORE CONDUCTING ANY EXCAVATION IN THE VICINITY OF THE UTILITY.
- THE PROPERTY SHOWN HEREON IS LOCATED IN A FLOOD HAZARD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN) ACCORDING TO F.I.R.M. MAP "WILLIAMSON COUNTY, TENNESSEE" PANEL 211 OF 485, MAP NUMBER 47187C0211H, EFFECTIVE 12/20/2024.
- THE SUBJECT PROPERTY IS CURRENTLY ZONED "R4" (RESIDENTIAL DISTRICT), BASED ON THE OFFICIAL ZONING MAP FOR CITY OF FRANKLIN. A CURRENT ZONING REPORT AND/OR ZONING LETTER HAS NOT BEEN PROVIDED TO THE SURVEYOR. THE MINIMUM BUILDING SETBACK REQUIREMENTS FOR "R4" ZONING ARE AS FOLLOWS:
  - FRONT SETBACK = 36' AVERAGE SETBACK OF ADJACENT BUILDINGS
  - REAR SETBACK = 20'
  - SIDE SETBACK = 7'
- MINIMUM BUILDING SETBACKS HAVE BEEN SHOWN AND NOTED HEREON PER CITY OF FRANKLIN ZONING, AS REFERENCED ABOVE.
- NO TITLE REPORT WAS PROVIDED TO THIS SURVEYOR REGARDING THE SUBJECT PROPERTIES, THEREFORE, THIS SURVEY IS SUBJECT TO THE FINDING OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH AND REPORT MY DISCLOSE.

**SURVEYOR'S CERTIFICATE**

I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON IS TRUE AND ACCURATE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF. THE SURVEY SHOWN HEREON REPRESENTS A CATEGORY I SURVEY, HAVING A LINEAR ERROR OF CLOSURE WHICH IS EQUAL TO OR LESS THAN 1 FOOT PER 10,000 FEET OF LAND (1:10,000). THIS SURVEY WAS MADE IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE.



REVISION #	DATE	DESCRIPTION
1	8/6/25	REVISED SQUARE FOOTAGE OF GARAGE

**BOUNDARY SURVEY**  
**TAX MAP 63L, GROUP C, PARCEL 5.00**  
 106 WINSLOW ROAD  
 CITY OF FRANKLIN  
 9TH CIVIL DISTRICT  
 WILLIAMSON COUNTY, TENNESSEE

DATE :	AUGUST 1, 2025	DRAWN BY :	PMK
PROJECT NUMBER :	25-188	CHECKED BY :	SVH

P.O. BOX 2543  
 BRENTWOOD, TN 37024-2543  
 615-656-0257 / M2GROUP.LLC.COM

**SHEET NUMBER: SV-01**

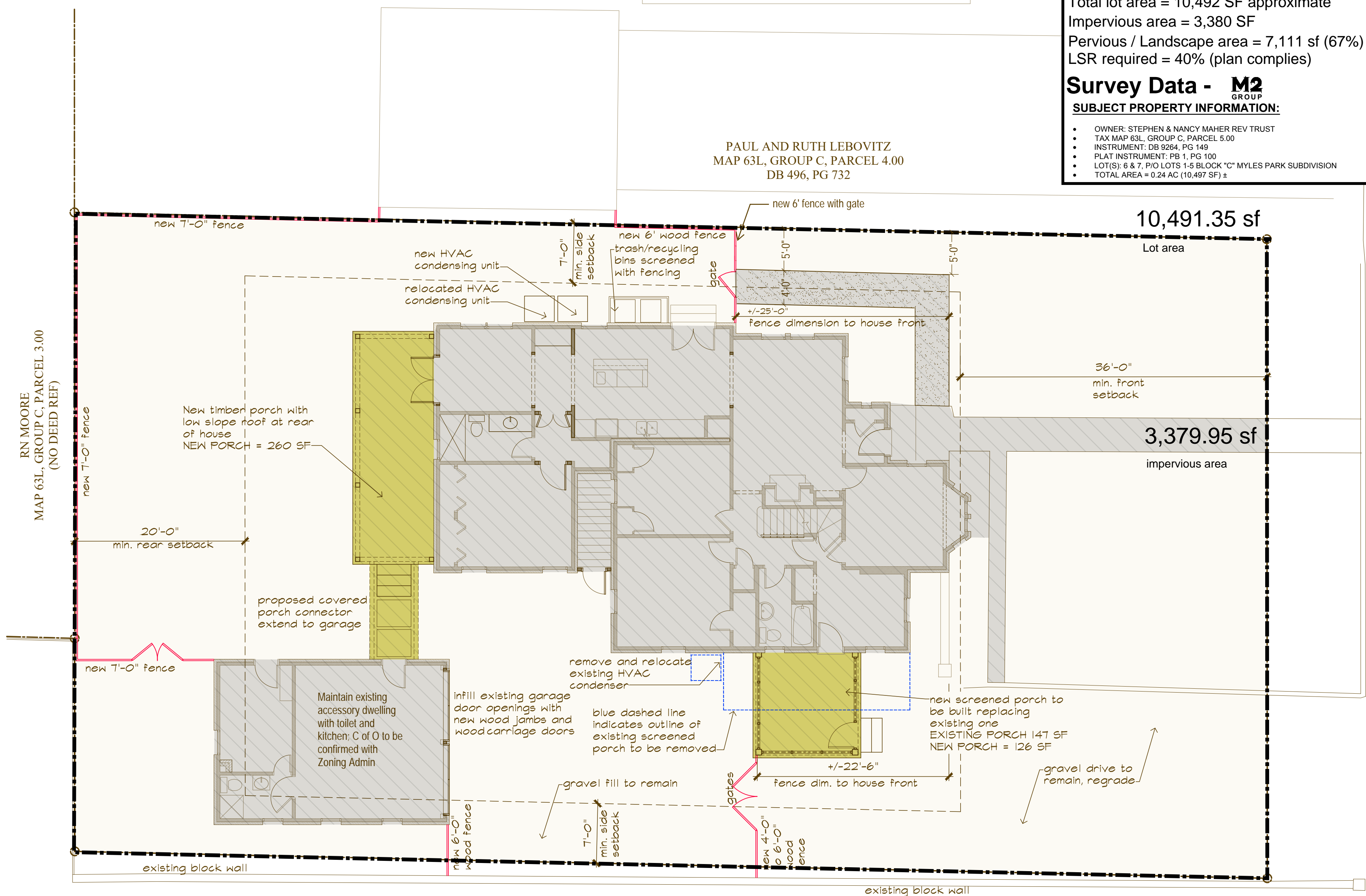
25-188\_106 WINSLOW\_SV.DWG / Wednesday, August 6, 2025 1:01:46 PM

**Site Data -**  
 R-4 Zoning  
 Total lot area = 10,492 SF approximate  
 Impervious area = 3,380 SF  
 Pervious / Landscape area = 7,111 sf (67%)  
 LSR required = 40% (plan complies)

**Survey Data - M2**  
GROUP  
**SUBJECT PROPERTY INFORMATION:**

- OWNER: STEPHEN & NANCY MAHER REV TRUST
- TAX MAP 63L, GROUP C, PARCEL 5.00
- INSTRUMENT: DB 9264, PG 149
- PLAT INSTRUMENT: PB 1, PG 100
- LOT(S): 6 & 7, P/O LOTS 1-5 BLOCK "C" MYLES PARK SUBDIVISION
- TOTAL AREA = 0.24 AC (10,497 SF) ±

PAUL AND RUTH LEBOVITZ  
 MAP 63L, GROUP C, PARCEL 4.00  
 DB 496, PG 732

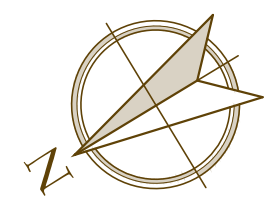


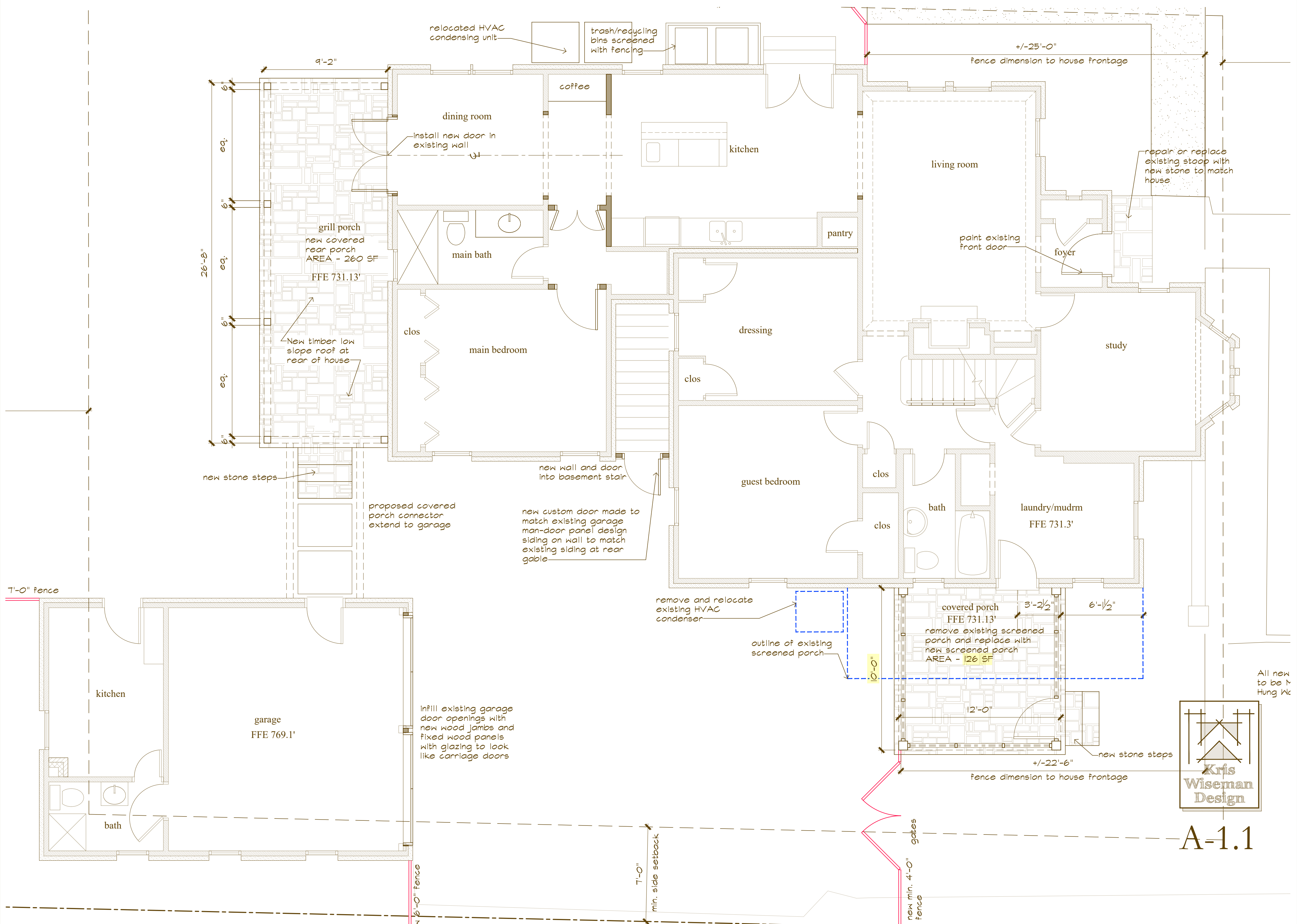
Winslow Road

MATTHEW AND STACEY LIGON  
 MAP 63L, GROUP C, PARCEL 6.00  
 DB 1774, PG 124



L-1.1

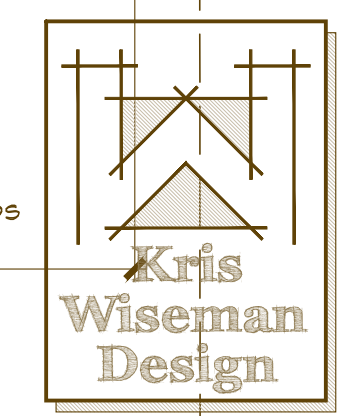




proposed 1st floor plan

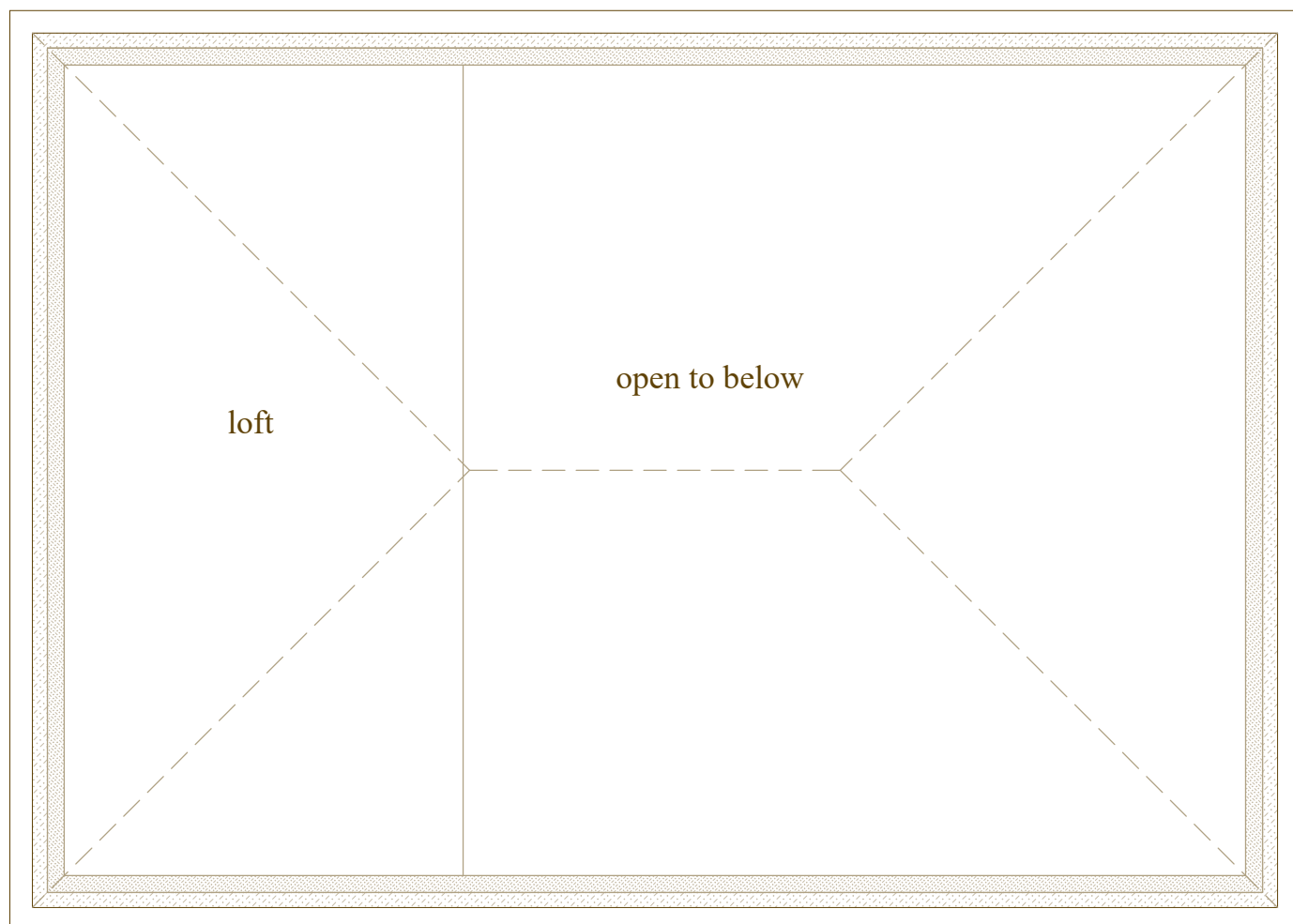
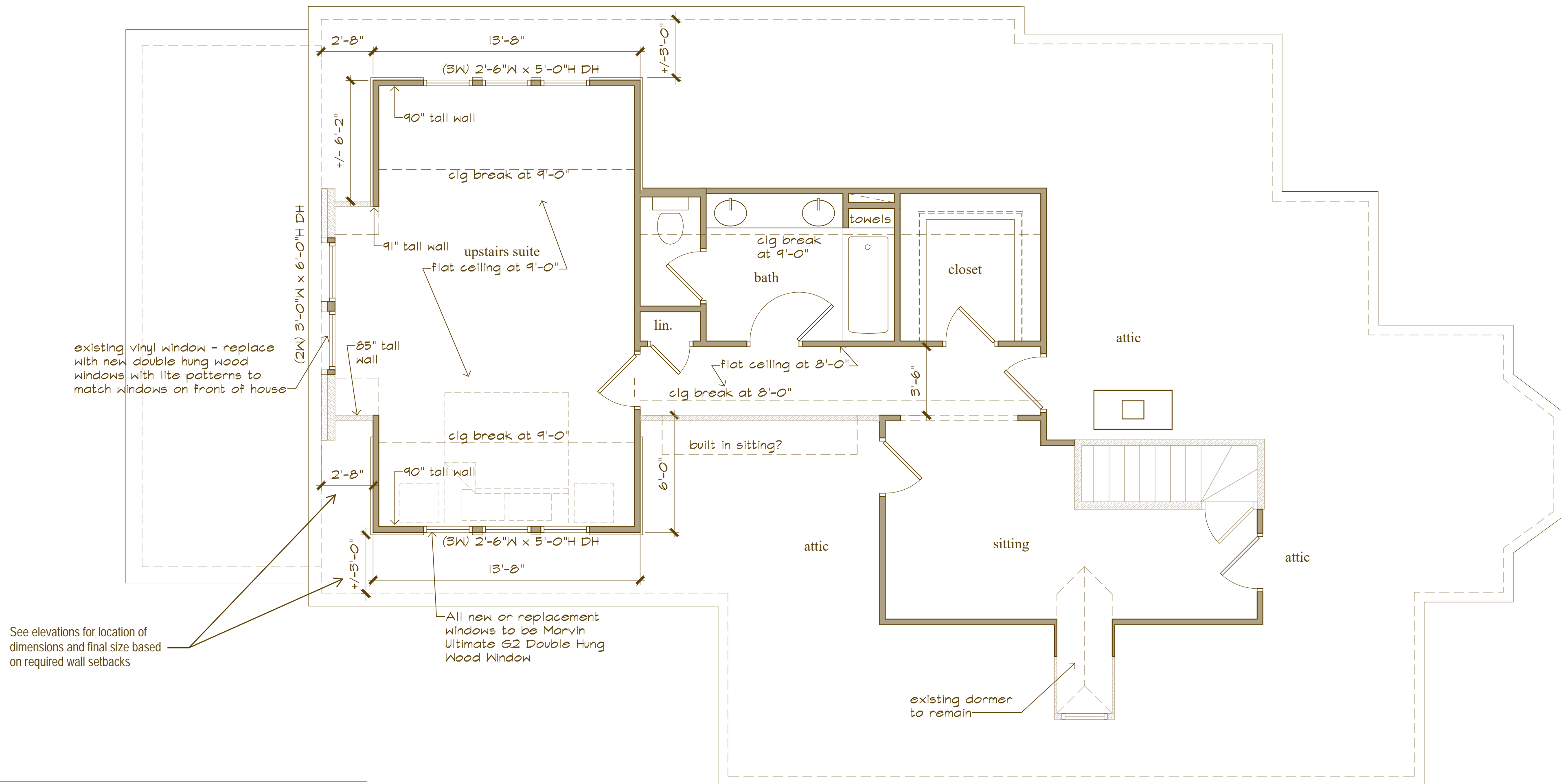
Maher Cottage

scale : 1/4" = 1'-0"

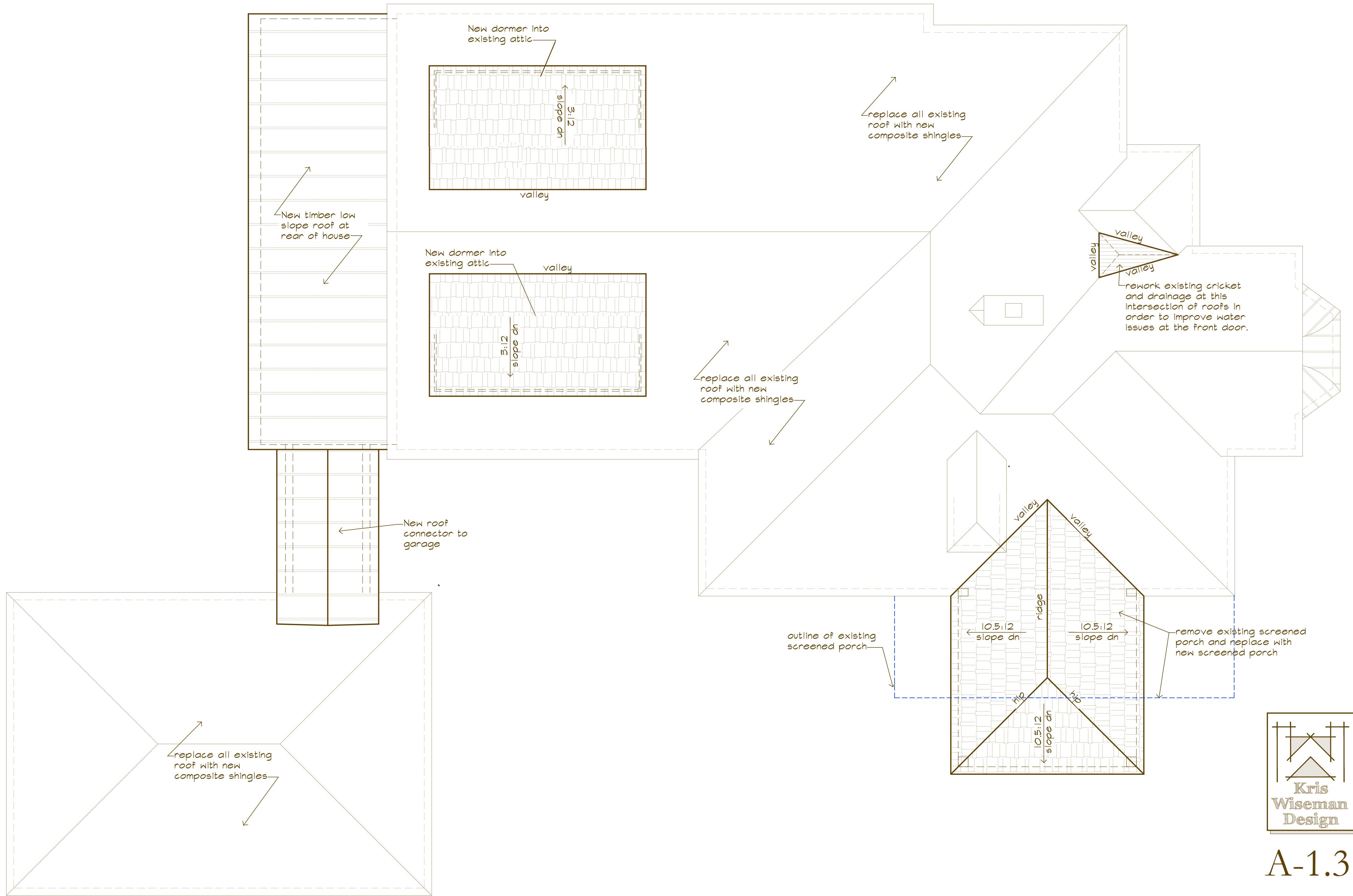


A-1.1

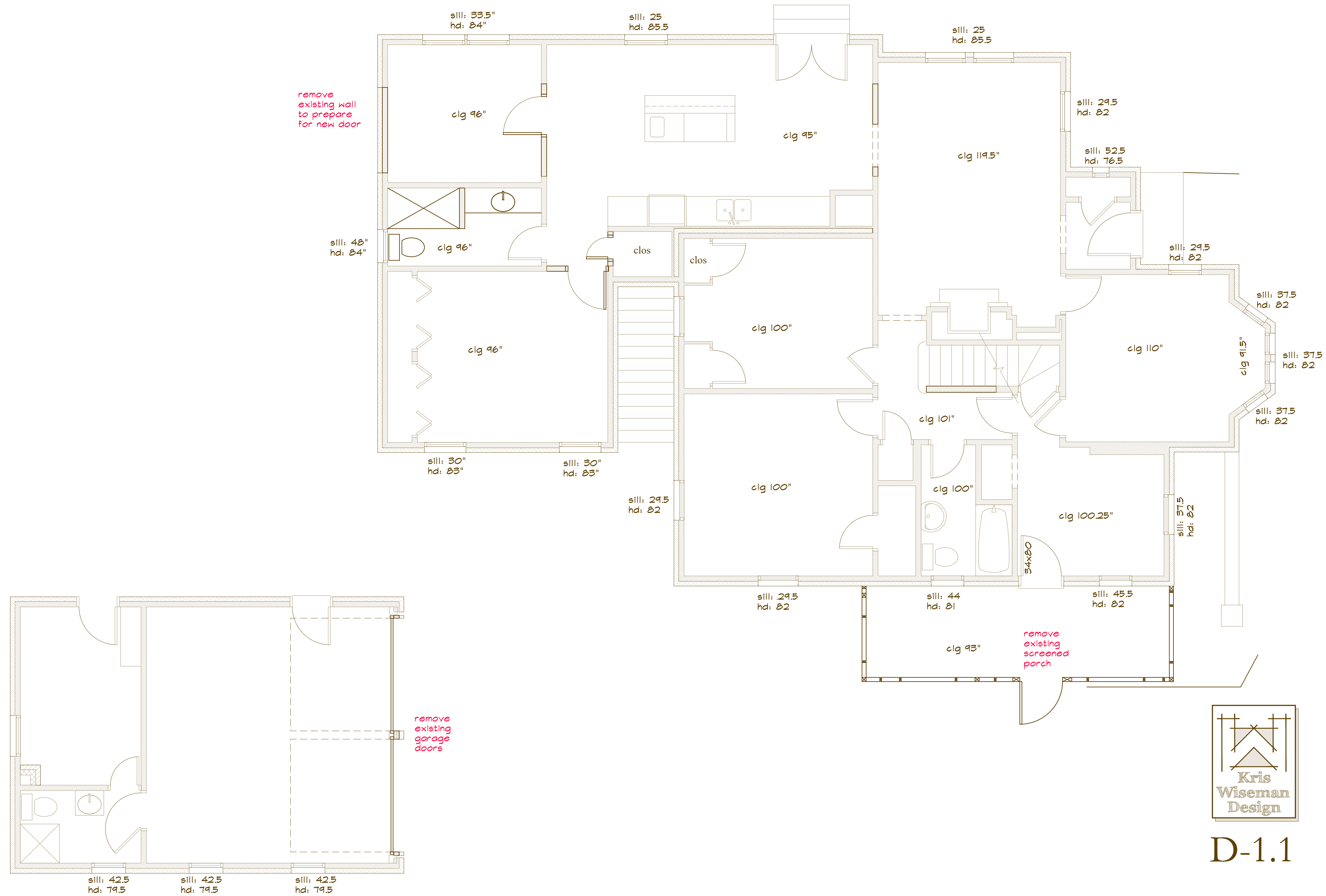
All new to be by Hung Kc



A-1.2



A-1.3



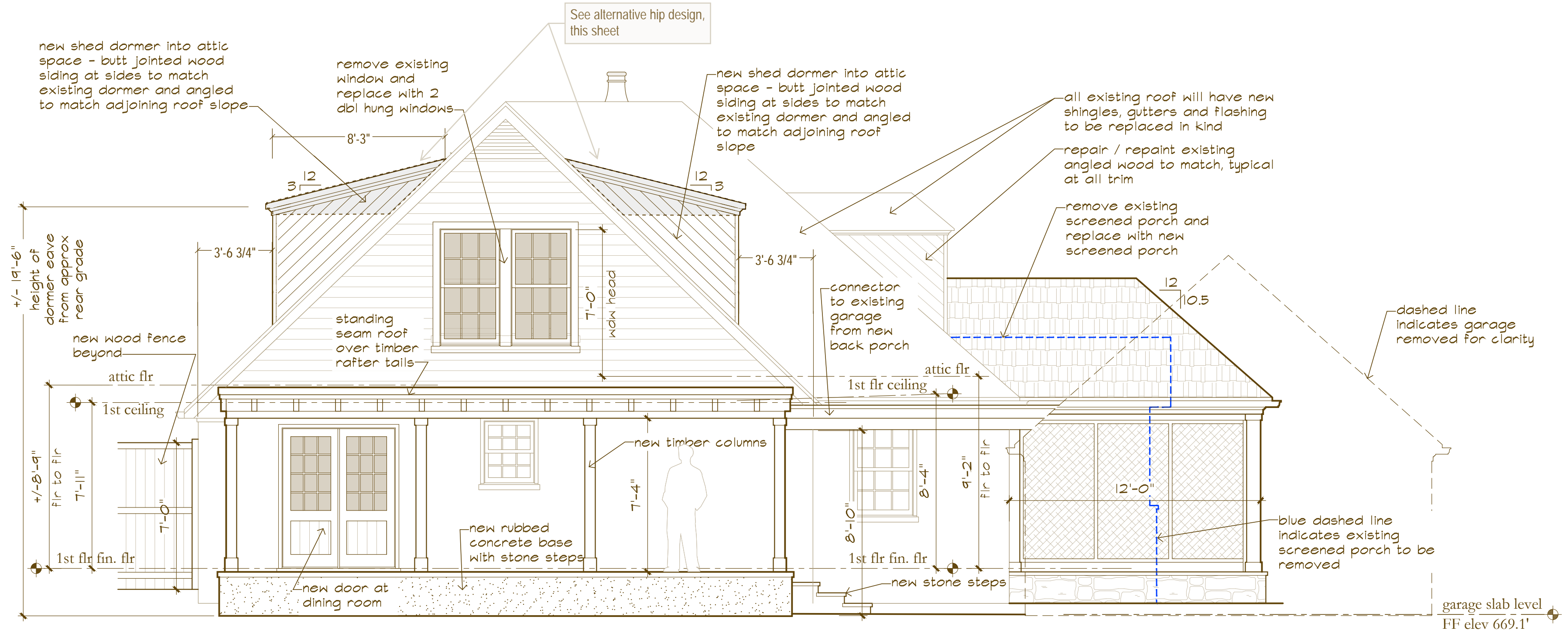
D-1.1

1st floor demolition plan

Maher Cottage

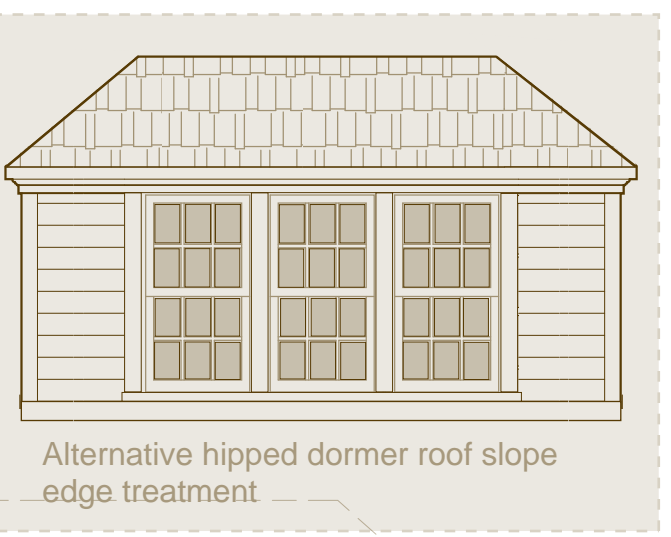
scale : 1/4" = 1'-0"



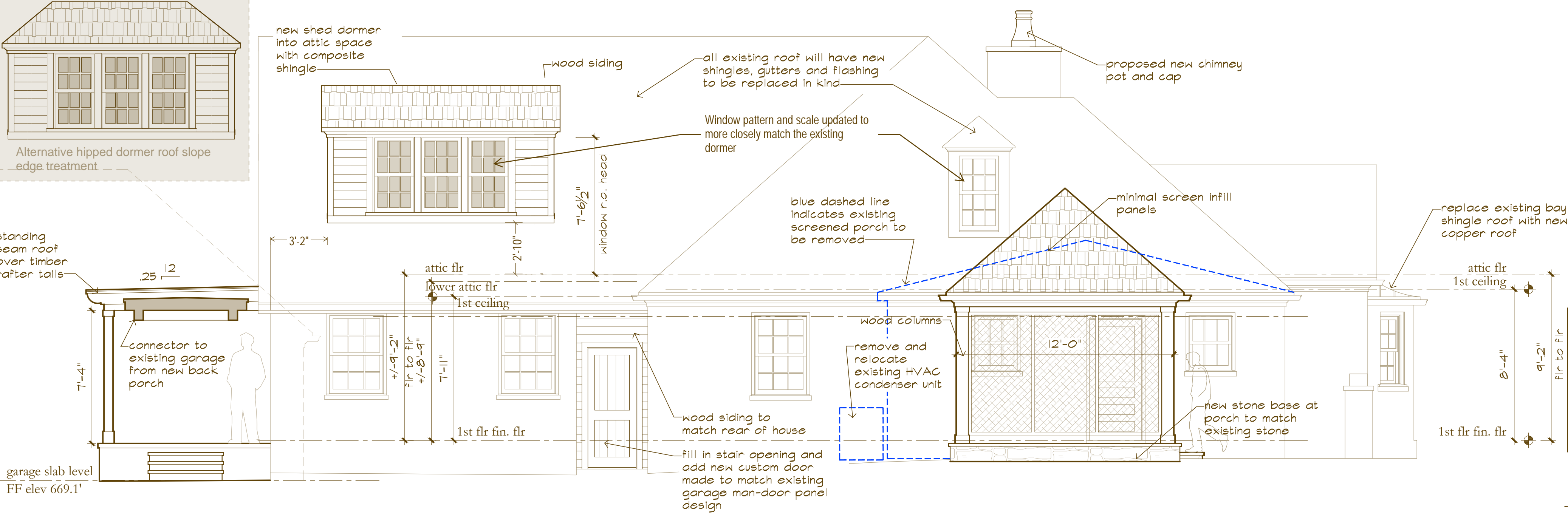


proposed rear elevation

scale: 1/4" = 1'-0"



Alternative hipped dormer roof slope edge treatment



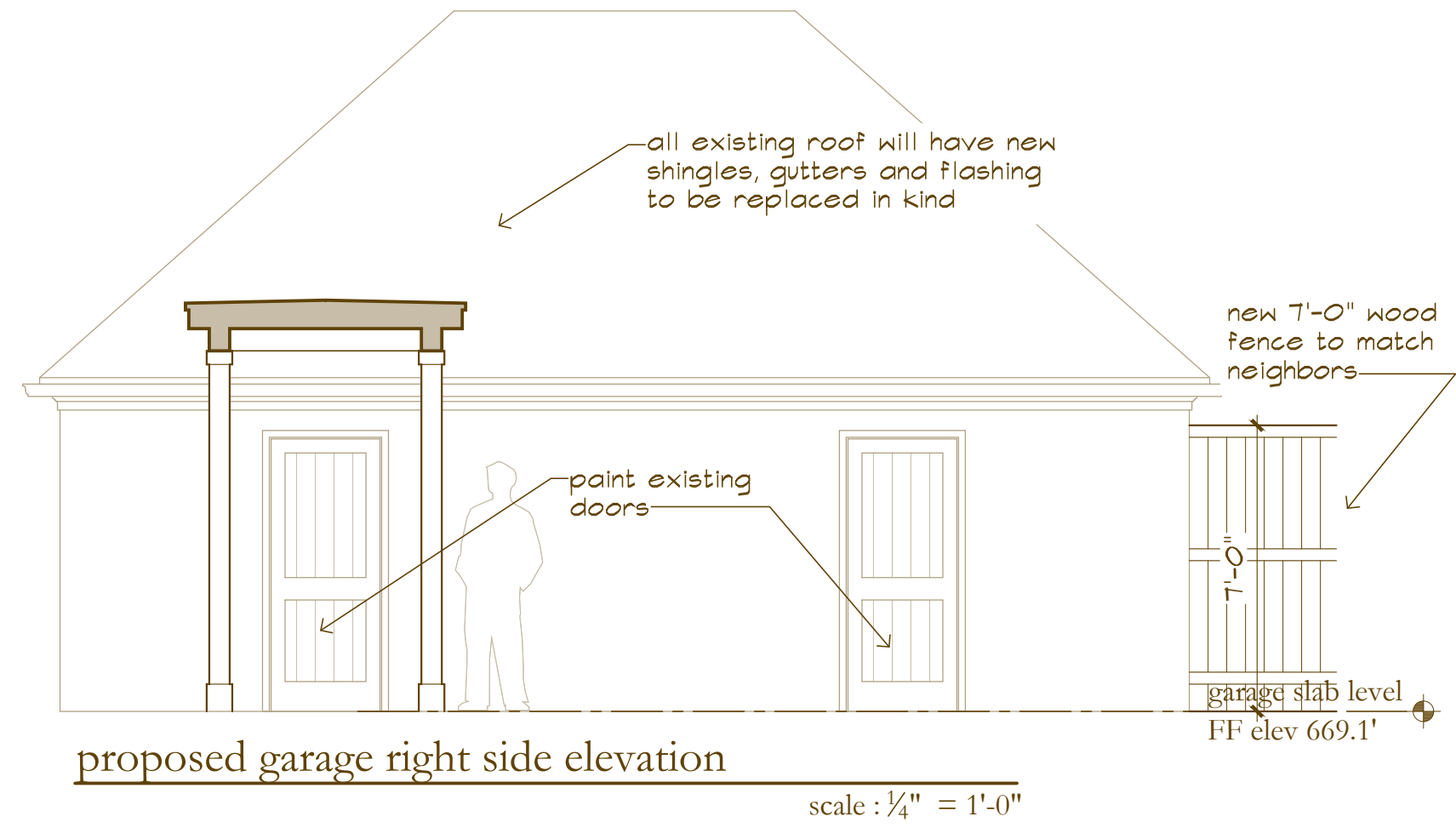
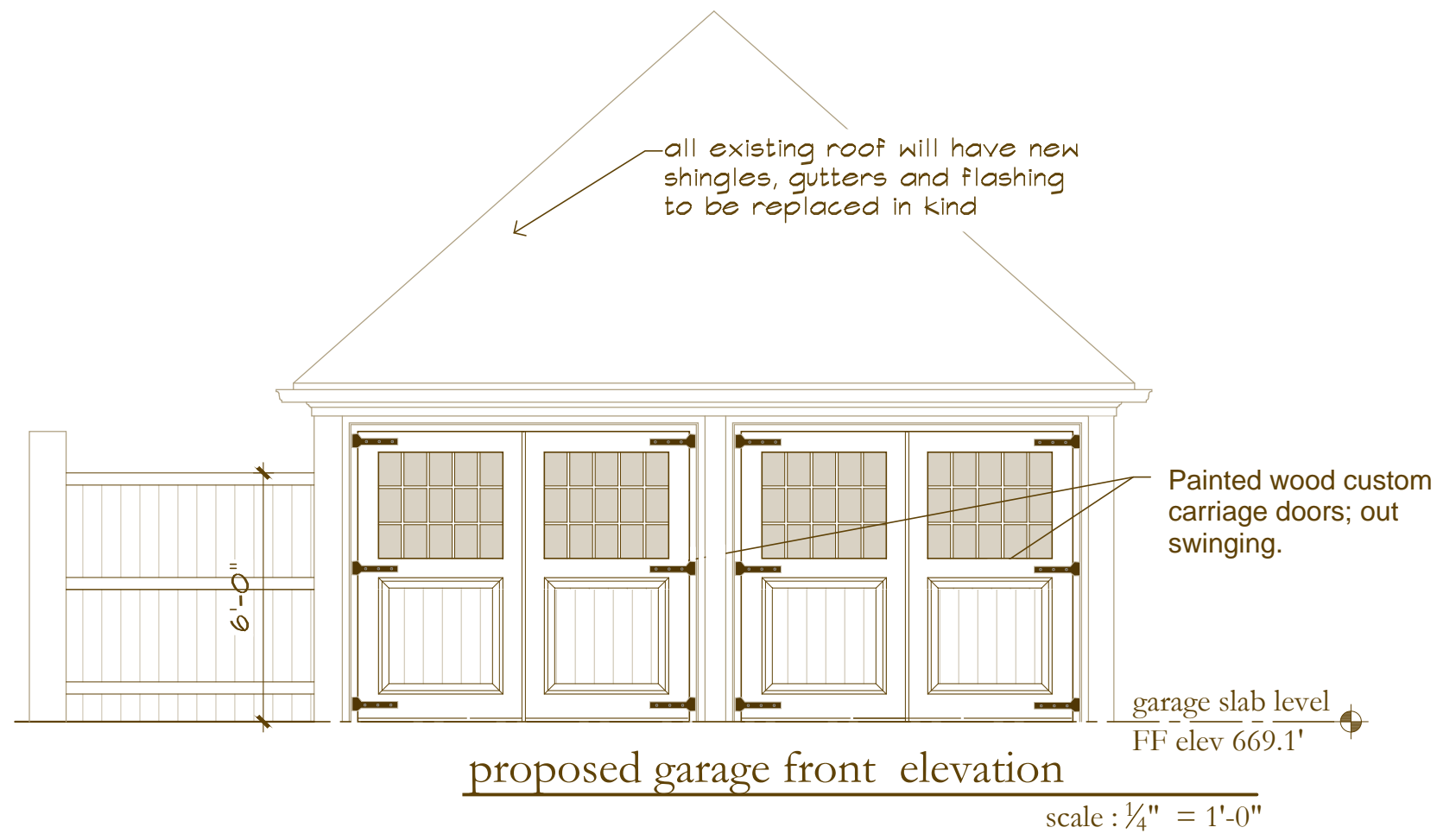
proposed left side elevation

Maher Cottage

scale: 1/4" = 1'-0"



A-2.2



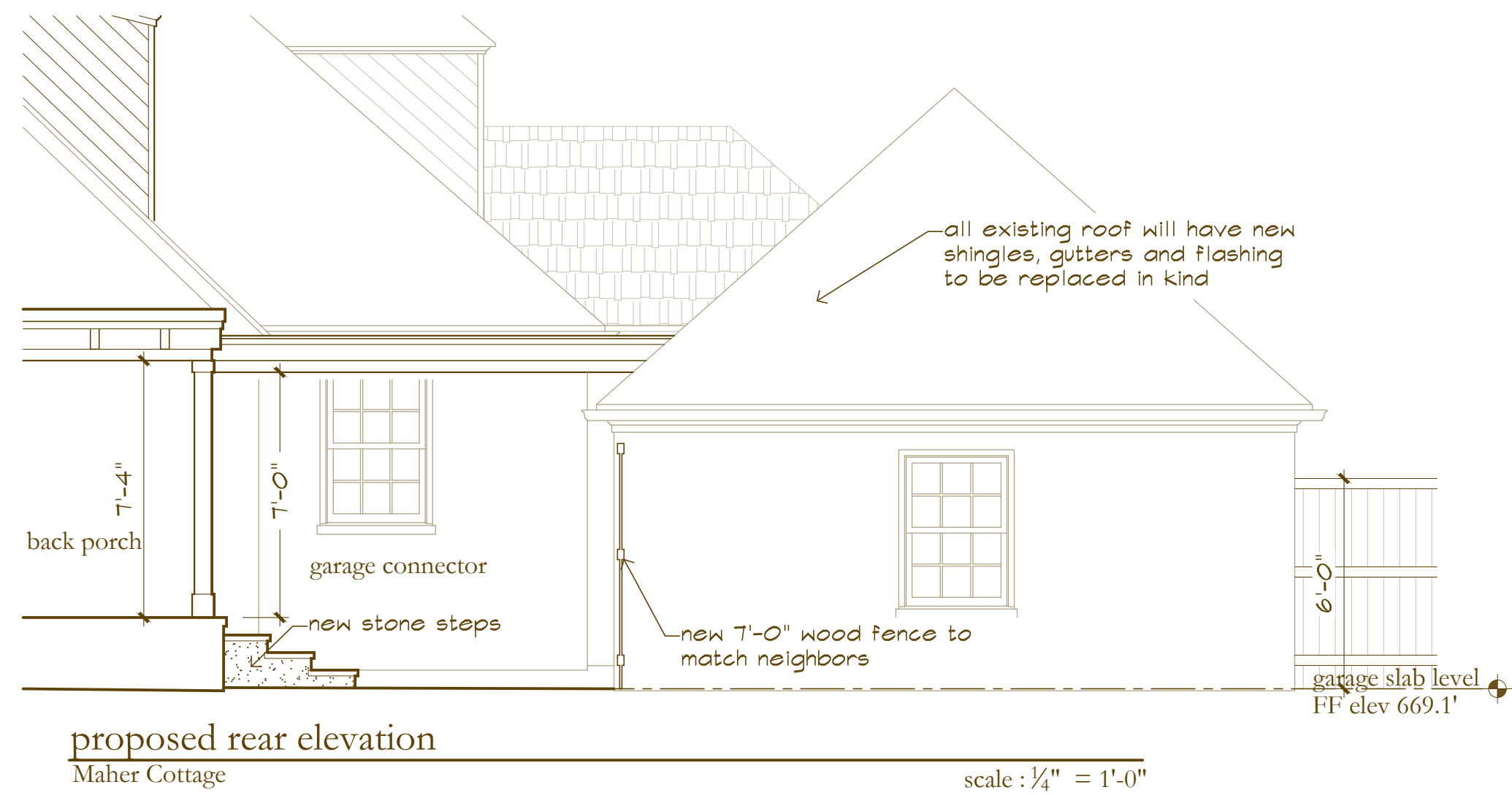
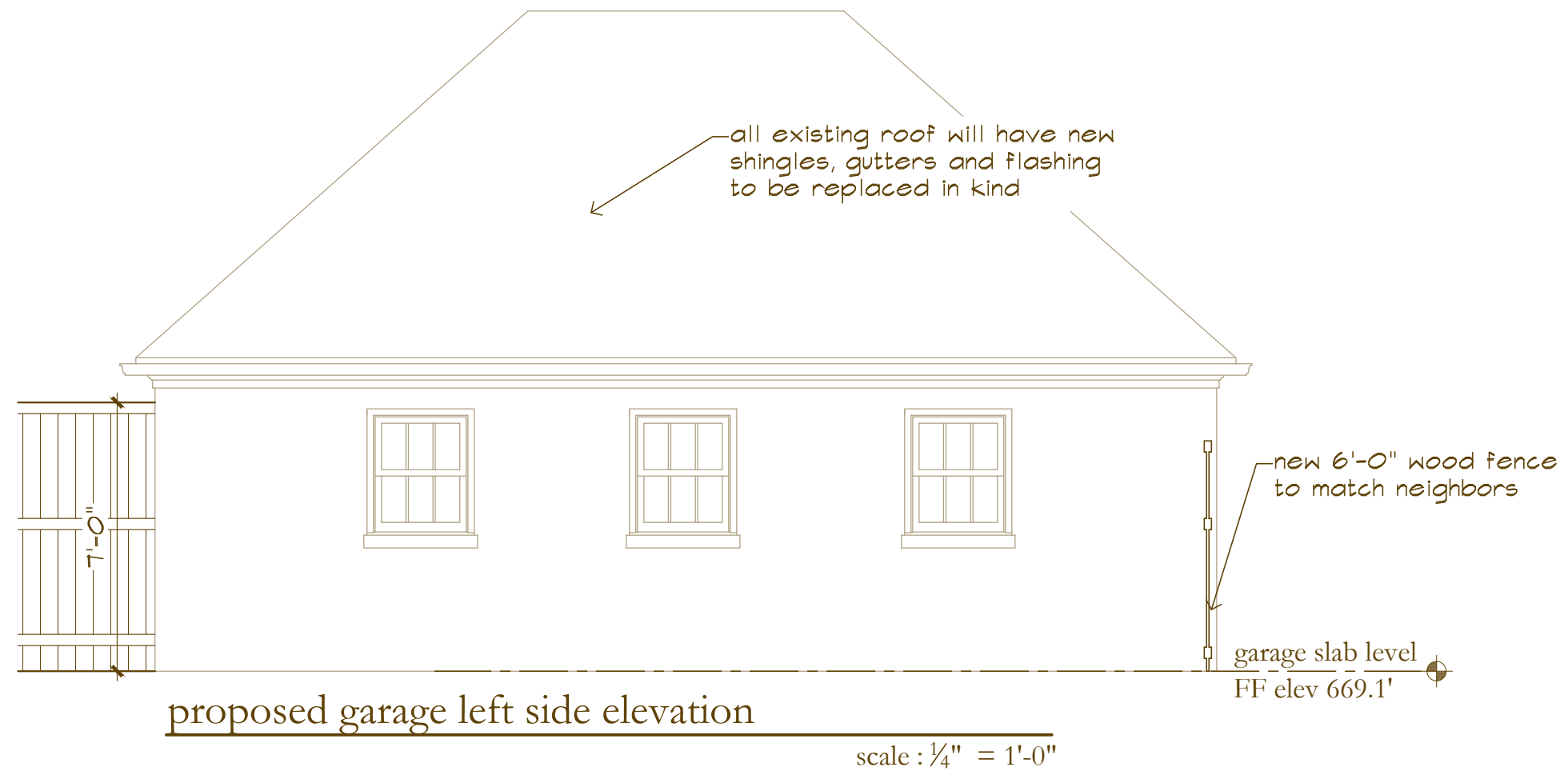
Myles Manor carriage door example



Fair Street carriage door example



Cheekwood carriage door example



A-2.3



Chimney flue extension profile

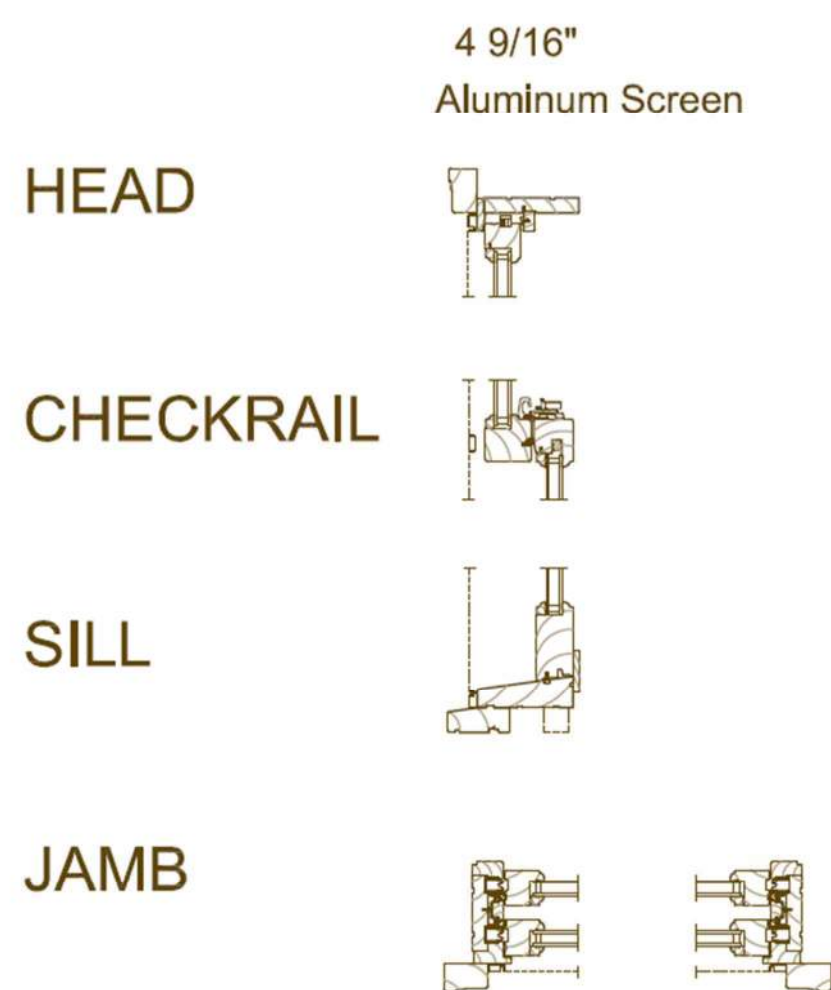


Color - Charcoal Glaze  
Manufacturer - Woodland Direct

# MARVIN ULTIMATE WOOD DOUBLE HUNG

## SECTION DETAILS - OPERATING DOUBLE HUNG

SCALE: 1=1



Simulated Divided Lite with Spacer Bar (SDLs)

## SECTION DETAILS - STANDARD SIMULATED DIVIDED LITES (SDL)

WITH SPACER



18 inch tall as indicated on elevations

Chapman and Myers  
Chapman & Myers Suffork 2  
Light 17.75 inch Natural  
Copper Outdoor Wall Lantern,  
Small



Example of style of proposed shingles:

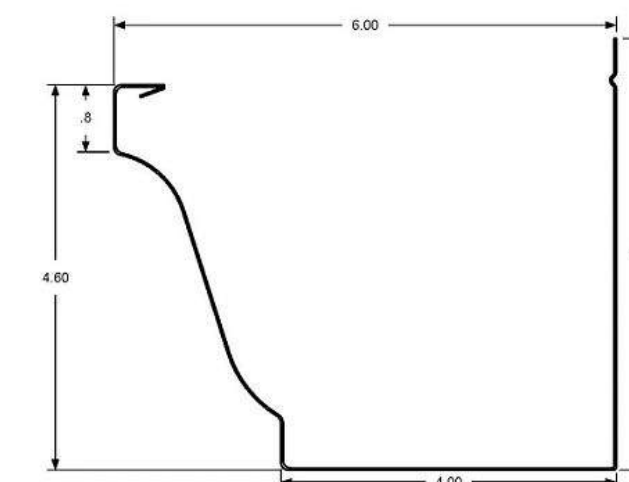
Weathered wood architectural shingle  
Timberline Natural Shadow shown



6 inch Ogee gutter; prefinished to match trim - shown as Bone Linen



Round downspout; prefinished to match light oil rubbed bronze



A-2.3

8/11/25

Emily Huffer, Preservation Planner  
City of Franklin Tennessee  
Historic Zoning Commission  
Planning Department  
Phone: (615) 794-6795  
[emily.huffer@franklintn.gov](mailto:emily.huffer@franklintn.gov)

VIA: Upload to the City of Franklin portal

RE: 106 Winslow Road, Certificate of Appropriateness

Emily,

The following is a project description of the work being proposed for the property at 106 Winslow Road.

**Project Description: Renovation of Historic Residence at 106 Winslow Road, Franklin, TN:**

This project involves the minimal exterior renovation of a historic residence located at 106 Winslow Road in Franklin, Tennessee. The scope of work is planned to enhance the home's functionality and aesthetic character while preserving its architectural historic integrity.

**Key components of the renovation include:**

- **Screen Porch Replacement:** The existing screen porch, previously approved through COA, will be removed and replaced with a new design that is compatible with the historic architectural style of the residence and better responds to the Design Guidelines.
- **Rear Dormer Additions:** New dormers will be added to each side elevation, at the rear of the house, to expand the usable second floor interior space. The dormers are designed as directed by the guidelines and are positioned toward the rear of the house.
- **Garage Door Replacement:** Existing metal overhead garage doors will be replaced with custom built wood carriage-style doors with proportionate glazing to better reflect the home's historic character.

- **New Rear Door and Covered Porch:** A new exterior door will be added at the rear of the house, along with a covered porch to improve access and outdoor usability.
- **Exterior Restoration Work:**
  - Full roof replacement using materials consistent with the home's historic aesthetic.
  - Repointing of existing stone stoops and landings to ensure structural integrity and visual continuity.
  - Repair and repainting of damaged wood trim.
  - Replacement and/or repair of gutters to ensure proper drainage and preservation of the building envelope.

This renovation aims to preserve the home's historic charm while making sensitive updates that improve livability and long-term durability.

Thank you for your attention to this matter.

Regards,

A handwritten signature in blue ink, appearing to read 'S. Maher', with a long horizontal flourish extending to the right.

Stephen Maher

Stephen and Nancy Maher Rev Trust  
Property owners  
1215 S. Harpeth Rd.  
Kingston Springs, TN 37082  
615-504-8946



HISTORIC  
FRANKLIN  
TENNESSEE

## Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

**Address:** 404 Bridge St. (Downtown Franklin Historic District)  
**Applicant:** Anna Ham, YOUR Community Media  
**Owner:** Matt Daniel, YOUR Community Media  
**Project #:** 8899  
**Type of Work:** Consideration of Signage (Reface of a Post-and-Panel)

**Status:** Approval with conditions  
 (See “Approved Work Specifications” and Non-Approved Work Specifications Below)

**Approval Date:** August 1, 2025  
**Expiration Date:** August 1, 2027 (if work has not commenced)  
**Reviewed By:** Elizabeth Bulay

### APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the reface of an existing post-and-panel sign located at 404 Bridge Street.

The Guidelines allow for administrative approval of post-and-arm signs if all recommendations are met.

- **Location:** The Guidelines state that the sign should be in a traditional front yard location and be perpendicular to the public sidewalk. The existing sign is in a traditional front yard location. The application does not propose to relocate the sign. The location is appropriate.
- **Quantity:** The Guidelines state that a maximum of one per building is recommended only if no post-and-arm sign exists. Only one post-and-panel sign exists on the site, and no changes are proposed to the quantity. The quantity is appropriate.
- **Sign Area:** The Guidelines state the recommended sign area maximum is 12 sq. ft. The existing sign is 48” x 36”, or 12 sq. ft. The proposed sign area is 48” by 35.27”, or approximately 12 sq. ft. The proposed sign area for the reface is appropriate.
- **Height:** The Guidelines state that the maximum post height is 7 feet. The posts are existing and are not proposed to change height. The existing post height is appropriate. The Guidelines recommend that the proposed sign height from grade be a maximum of 6 feet. The proposed sign height is 6 feet. The height is appropriate.

- **Material:** The Guidelines state that the sign material should consist of a finished wood or metal, with matte background finishes rather than reflective or shiny background finishes. The proposed material is an aluminum plastic composite material. The proposed material is not appropriate.
- **Color:** The Guidelines state that a maximum of 3 colors, and with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent. The proposed sign utilizes the hex color #055ca8, or an azure blue, with white lettering. The proposed colors are appropriate.
- **Illumination:** No illumination is proposed.

### **APPLICABLE GUIDELINES**

Chapter 8 – Signs

### **NOT APPROVED WORK SPECIFICATIONS**

**The following items are not approved within this application due to insufficient information:**

- The small vertical sign panel is not approved, as it is unclear where the sign is proposed to be installed and what type of sign it is classified as.
- The small horizontal sign panel is not approved, as it is unclear where the sign is proposed to be installed and what type of sign it is classified as.

### **APPROVED WORK SPECIFICATIONS**

The post-and-panel reface is **approved** with the following conditions:

- The sign material must consist of a finished wood or metal to align with the Guidelines.
- The sign must utilize a matte background finish to align with the Guidelines.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

**Emily Huffer | Preservation Planner**  
 Planning & Sustainability Department  
 City of Franklin, Tennessee  
 615.550.6795 | <http://www.franklintn.gov/>

# YOUR COMMUNITY

COMMUNITY



COLLECTIVE

MEDIA

YOUR *Williamson*  
A DISTINCTIVELY SOUTHERN PLACE

SOCIETY  
1799



404

YOUR *Williamson*  
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Custom Publishing & Integrated Marketing  
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**615.465.6046 | [yourwilliamson.com](http://yourwilliamson.com)**

## Elizabeth Bulay

---

**From:** Anna Robertson Ham <anna@yourcommunity.media>  
**Sent:** Wednesday, July 30, 2025 4:56 PM  
**To:** Elizabeth Bulay  
**Cc:** Emily Huffer  
**Subject:** Re: 404 Bridge St. Sign COA Application: Additional Information Needed  
**Attachments:** IMG\_7405.jpeg; IMG\_7406.jpeg

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

***ATTENTION COF staff: This email originated from outside the City of Franklin. Please use discretion when clicking on attachments & links from unknown senders or suspicious emails.***

I am sorry, I didn't realize the timeframe initially and we are at press and have an event this week. It's been crazy! The color swatch dose is #055ca8.

- Location of Signage: Is the location of the existing post-and-panel sign changing? Where are the two small panels shown under the large sign on the proof proposed to be located? Please supplement an image of the existing sign location that is being replaced and any new locations for signage.  
***Image attached of location, which is same location as new sign request. Posts will remain and new sign to slide in.***
- Dimensions of Signage: Please provide the dimensions of all sign panels shown on the proof. This can be included on a separate document or added to the page with the proofs.  
***Larger Sign: 48 x 35.27 inches***  
***Smaller Horizontal Sign: 8 x 27.55 inches***  
***Smaller Vertical Sign: 8 x 6.74 inches***
- Material: What is the sign panel material? ***We currently have aluminum plastic composite. If that is not approved, then Mike Alexander recommends solid aluminum or solid PVC core with aluminum facing.***

Please reach out with any further questions. Thank you!

Anna Robertson Ham  
Head Unicorn Wrangler  
Managing Publisher  
YOUR Community Media | YOUR Williamson  
404 Bridge Street | Franklin, TN 37064  
Office: 615.465.6046  
[yourwilliamson.com](http://yourwilliamson.com)

---

**From:** Elizabeth Bulay <elizabeth.bulay@franklintn.gov>  
**Sent:** Wednesday, July 30, 2025 3:51 PM  
**To:** Anna Robertson Ham <anna@yourcommunity.media>  
**Cc:** Emily Huffer <emily.huffer@franklintn.gov>  
**Subject:** RE: 404 Bridge St. Sign COA Application: Additional Information Needed

Good afternoon Anna,

Just wanted to follow up on my previous email and request for supplemental and clarifying information for the COA application submitted for 404 Bridge St. The information requested is necessary to complete the review of the COA. The standard 10 day review cycle is set to be due this Friday, August 1<sup>st</sup>. Please send all supplemental information as requested, by noon tomorrow, 7/31.

Please let me know if you have any questions or concerns.



Elizabeth Bulay  
Assistant Preservation Planner • 615-550-6737  
City of Franklin • Planning & Sustainability 120 9<sup>th</sup> Ave. S. • Franklin, TN, 37064

---

**From:** Elizabeth Bulay  
**Sent:** Wednesday, July 23, 2025 9:33 AM  
**To:** anna@yourcommunity.media  
**Subject:** 404 Bridge St. Sign COA Application: Additional Information Needed

Good morning Anna!

I am in the process of reviewing your COA application for the sign update at 404 Bridge Street. I believe Emily has reached out already about the sign color. I just have a few questions that I will need clarification/ and or additional information about! Please email any additional images or supplemental information to staff and I will upload it to the application.

- **Location of Signage:** Is the location of the existing post-and-panel sign changing? Where are the two small panels shown under the large sign on the proof proposed to be located? Please supplement an image of the existing sign location that is being replaced and any new locations for signage.
- **Dimensions of Signage:** Please provide the dimensions of all sign panels shown on the proof. This can be included on a separate document or added to the page with the proofs
- **Material:** What is the sign panel material?

If you have any questions or concerns, please let us know. Thank you!



Elizabeth Bulay  
Assistant Preservation Planner • 615-550-6737  
City of Franklin • Planning & Sustainability 120 9<sup>th</sup> Ave. S. • Franklin, TN, 37064

**OWNER AFFIDAVIT**  
**City of Franklin, Tennessee**

When an application is not filed by the owner of the property, the City requires documentation that the owner of the property is aware of an application being filed on their behalf.

I/We 404 Bridge Sr. GP / Matt Daniel  
(please print name(s) as listed on deed; if property owner is a company, provide full company name plus specific name(s) of representative)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

078CA 007.00 000  
(Property Parcel/Tax ID Number)

and located at:  
404 Bridge Sr. Franklin TN 37064  
(Street Address)

I am/We are fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Matt Daniel  
(Please print name(s) in Full - This should be the applicant listed in IDT)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

[Signature]  
Owner Signature

Additional Owner Signature, if applicable

404 Bridge Sr.  
Property Owner Mailing Address

Franklin, TN 37064  
City, State & Zip

Subscribed and sworn to before me this

15<sup>th</sup> day of July, 2025.

Tamara H Ashker  
Notary Public



My Commission Expires: 01-22-2029



**CITY OF  
FRANKLIN, TN**

**404 Bridge Street, Franklin, TN  
37064**

**City of Franklin**  
**Planning & Sustainability Department**  
109 Third Ave So. | Franklin, TN 37064  
P. 615-550-6729 or 615-791-3232  
E. [susan.coleman@franklintn.gov](mailto:susan.coleman@franklintn.gov)

**Project Overview**

**#1802237**

**Project Title:** 404 Bridge Street, Franklin, TN 37064

**Jurisdiction:** Franklin

**Application Type:** 08b) Administrative Certificate of  
Appropriateness (COA)

**State:** TN

**Workflow:** COA Administrative Default

**County:** Williamson

**Required Administrative Review COA Application Supporting Materials**

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

**Signage:**

- Description of project
- Specification information that illustrates how proposed signage will look, including notes on dimensions, height, materials, and colors
- Photographs of project site location
- Signed and notarized owner affidavit

**Rear Yard Fencing:**

- Description of project
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
- Site plan that demonstrates proposed location/perimeter of fencing
- Photographs of project site location
- Signed and notarized owner affidavit
- **Note: Primary yard fencing does not qualify for administrative review**

**Awnings:**

- Description of project
- Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
- Specification information for proposed awning materials
- Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
- Signed and notarized owner affidavit

**HVAC Equipment and/or Related Screening:**

- Description of project
- Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
- Site plan demonstrating proposed location of equipment and/or screening
- Photographs of project site location
- Signed and notarized owner affidavit

**Note:** The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

**Owner Affidavit**

**This application requires a signed and notarized owner affidavit form.**

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

**Contact Information - Project Contact**

**Project Contact**

Anna Ham  
YOUR Community Media  
404 Bridge Street  
Franklin, TN 37064  
P:615-465-6046  
[anna@yourcommunity.media](mailto:anna@yourcommunity.media)

**Property Owner**

**Property Owner**

Matt Daniel  
YOUR Community Media  
404 Bridge Street  
Franklin, TN 37064  
P:6154656046  
[Matt@Daniel-Christian.com](mailto:Matt@Daniel-Christian.com)

**Address or Parcel**

**Project Address or Parcel:** 404 BRIDGE ST (078C-A00200)

**Calculated Acreage: Parcel**

- 404 BRIDGE ST: 0.14994462

**Scenic Corridor Overlay:**

**Hillside/Hillcrest Overlay:**

**Flood Fringe Overlay:**

**500ft Buffer of Hillside Overlay:** <500BHO>

**Type of Work Proposed :** Signage

**Height of Overall Sign:** 6

**Indicate shape/dimensions of window or door over which proposed awning will be affixed.:**

**Columbia Avenue Overlay:**

**Zoning District: Zoning Districts**

- 404 BRIDGE ST: OR

**Central Franklin Overlay:**

**Historic Preservation Overlay: Historic Preservation Overlay**

- 404 BRIDGE ST: Historic Preservation Overlay

**Floodway Overlay:**

**COF Number of Site Plan:** N/A

**Type of Signage Proposed:** Post & Panel

**Height of Sign Face or Sign Area:** 4

**HVAC Type:**

**Narrative**

**Project Description:**

Changing the current sign to our new branding. Color and logos are different.



---

**File #: 21-01070**

---

**DATE:** August 27, 2025

**TO:** Historic Zoning Commission

**FROM:**

**SUBJECT:**

Administrative COA For Rear Yard Fencing At 340 4th Ave. S.; Allyson Williams, Applicant.

**PURPOSE:**

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning

**APPLICABLE DESIGN GUIDELINES:**

**PROJECT INFORMATION:**

COF Project Number:

Applicant:

Owner:

**BACKGROUND:**

**RECOMMENDATION:**

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



HISTORIC  
FRANKLIN  
TENNESSEE

## Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

**Address:** 340 4<sup>th</sup> Avenue South (Downtown Franklin Historic District)  
**Applicant:** Allyson Williams  
**Owner:** Allyson Williams

**Project #:** 8906  
**Type of Work:** Consideration of Rear Yard Fencing  
**Reviewer:** Elizabeth Bulay

**Status:** Approval with conditions  
(See “**Approved Work Specifications**” Below)

**Approval Date:** August 13, 2025  
**Expiration Date:** August 13, 2027 (if work has not commenced)

### APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the installation of rear yard fencing at 340 4<sup>th</sup> Avenue South.

The Guidelines allow for administrative approval of rear yard fencing if all recommendations are met. Rear yard fencing is defined as fencing recessed at least 20’ from the front facade of the building.

- **Location:** The Guidelines state that fences and walls are to be erected in typical locations along property lines. The proposed fence appears to meet the Guidelines for location, as it is being proposed along the property lines around the rear yard. The fencing will begin 20’ behind the front façade of the building. The proposed location is appropriate.
- **Height:** The Guidelines state that walls and fences in the rear yard cannot exceed 7’ in height. The proposed maximum height of the fencing is 7’. The height will vary between 6’-7’ in height as needed to create a straight fence line due to changing grade. The height of the proposed new fence is appropriate.
- **Material:** The Guidelines state that fences and walls are to be designed so that they support the historic character of the district. The use of wood picket, vertical wood plank, split rail, horse fencing, brick, cast iron, or similar metal fencing, as appropriate, based on the site and setting for rear yards. The proposed wood post privacy fence with caps is appropriate.

- **Design:** The Guidelines state that fences and walls should be compatible with the principal building. The design of the proposed fence is a 7' wood privacy fence. The proposed design of the wood fence is appropriate

### **APPLICABLE GUIDELINES**

Chapter 7 – Fences, Gates, and Walls

### **APPROVED WORK SPECIFICATIONS**

The rear yard wood privacy fence is **approved** with the following conditions:

- The fencing may be installed as shown in light of the Historic District Design Guidelines.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

**Emily Huffer | Preservation Planner**

Planning & Sustainability Department

City of Franklin, Tennessee

615.550.6795

<http://www.franklintn.gov/>

X

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**OWNER AFFIDAVIT  
City of Franklin, Tennessee**

We/I Allyson K. Williams  
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

078F F 02300 00009078F  
(Property Parcel/Tax ID Number)

and located at:  
340 4th Ave. S.  
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

\_\_\_\_\_  
(Please print Name/Names in Full)  
to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

Allyson K Williams  
Signature

340 4th Ave. S.  
Property Owner Mailing Address

Franklin TN 37064  
City, State & Zip

Subscribed and sworn to before me this

23<sup>rd</sup> day of July, 2025.

Amanda Jackson  
Notary Public

My Commission Expires: Feb. 28, 2026





**Project Overview**

**#1809125**

**Project Title:** 340 4th Ave. S.

**Jurisdiction:** Franklin

**Application Type:** 08b) Administrative Certificate of  
Appropriateness (COA)

**State:** TN

**Workflow:** COA Administrative Default

**County:** Williamson

**Required Administrative Review COA Application Supporting Materials**

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

**Signage:**

- Description of project
- Specification information that illustrates how proposed signage will look, including notes on dimensions, height, materials, and colors
- Photographs of project site location
- Signed and notarized owner affidavit

**Rear Yard Fencing:**

- Description of project
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
- Site plan that demonstrates proposed location/perimeter of fencing
- Photographs of project site location
- Signed and notarized owner affidavit
- **Note: Primary yard fencing does not qualify for administrative review**

**Awnings:**

- Description of project
- Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
- Specification information for proposed awning materials
- Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
- Signed and notarized owner affidavit

**HVAC Equipment and/or Related Screening:**

- Description of project
- Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
- Site plan demonstrating proposed location of equipment and/or screening
- Photographs of project site location
- Signed and notarized owner affidavit

**Note:** The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

**Owner Affidavit**

**This application requires a signed and notarized owner affidavit form.**

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

**Contact Information - Project Contact**

**Project Contact**

Allyson Williams

340 4th Ave. S.  
Franklin, TN 37064  
P:7039678623  
[ally@thewilliamspost.com](mailto:ally@thewilliamspost.com)

**Property Owner**

**Property Owner**

Allyson Williams

340 4th Ave. S.  
Franklin, TN 37064  
P:7039678623  
[ally@thewilliamspost.com](mailto:ally@thewilliamspost.com)

**Address or Parcel**

**Project Address or Parcel:** 340 4TH AVE S (078F-F02300)

**Calculated Acreage: Parcel**

- 340 4TH AVE S: 0.47808294

**Scenic Corridor Overlay:**

**Hillside/Hillcrest Overlay:**

**Flood Fringe Overlay:**

**500ft Buffer of Hillside Overlay:** <500BHO>

**Type of Work Proposed:** Rear Yard Fencing

**Height of Overall Sign:**

**Indicate shape/dimensions of window or door over which proposed awning will be affixed.:**

**HVAC Type:** Mechanical Screening

**Columbia Avenue Overlay:**

**Zoning District: Zoning Districts**

- 340 4TH AVE S: R4

**Central Franklin Overlay:**

**Historic Preservation Overlay: Historic Preservation Overlay**

- 340 4TH AVE S: Historic Preservation Overlay

**Floodway Overlay:**

**COF Number of Site Plan:** 1809125

**Type of Signage Proposed:**

**Height of Sign Face or Sign Area:**

**Fence Material:** Pressure Treated Pine

**Narrative**

**Project Description:**

I would like to tear down the existing fence and install a traditional cap and post privacy fence, ranging from 6' to 7' according to what is needed to adjust for the slopes in the property lines. The fence will begin 20' behind the front facade of the house per the HZC guidelines and will be constructed of pressure - treated pine. The posts will be 6" to give longer life to the fence, as the area along the back has a 2-3' elevation directly behind the fence line.



---

**File #: 21-01071**

---

**DATE:** August 27, 2025

**TO:** Historic Zoning Commission

**FROM:**

**SUBJECT:**

Administrative COA For Signage At 420 Main St.; Mary Menge, Applicant.

**PURPOSE:**

The purpose of this memorandum is to provide information to the Historic Zoning Commission concerning

**APPLICABLE DESIGN GUIDELINES:**

**PROJECT INFORMATION:**

COF Project Number:

Applicant:

Owner:

**BACKGROUND:**

**RECOMMENDATION:**

1. The application must meet all the requirements of the City of Franklin prior to issuance of a building permit.
2. Any additional changes to the approved plans must be returned to the Preservation Planner or the Historic Zoning Commission for review and approval.



HISTORIC  
FRANKLIN  
TENNESSEE

## Franklin Historic Zoning Commission Administrative Review Certificate of Appropriateness (COA)

**Address:** 420 Main St. (Downtown Franklin Historic District)  
**Applicant:** Mary Menge  
**Owner:** Steve Bacon  
**Project #:** 8918  
**Type of Work:** Consideration of Signage (Reface Awning, Hanging Sign, and New Window Sign)

**Status:** Approval with conditions  
 (See “**Approved Work Specifications**” Below)

**Approval Date:** August 21, 2025  
**Expiration Date:** August 21, 2027 (if work has not commenced)  
**Reviewed By:** Elizabeth Bulay

### APPLICATION REQUEST

The applicant is seeking an Administrative Certificate of Appropriateness (COA) for the three signs for the tenant Tom Beckbe at 420 Main Street. The awning and small hanging/projecting sign are being refaced as part of the application.

The Guidelines allow for administrative approval of signs if all recommendations of the Historic District Design Guidelines are met.

### Awning:

The Guidelines allow for administrative approval of small awning signs if all recommendations are met.

- **Location:** The Guidelines state that awning signs shall be placed either on the awning valance or on the awning face, but not both. Awnings should fit over only the opening that they cover and should not extend across the entire façade. The awning exists and will be refaced. The location of the awning structure will not be changed. The signage location on the awning is proposed to be on the valance. The location is appropriate.
- **Quantity:** The Guidelines state that a maximum of one per main entrance per retail storefront/tenant space on the ground floor is recommended. One awning sign exists, and it is proposed to be refaced. The quantity is appropriate.

- **Sign Area:** The Guidelines state the recommended sign area maximum is either a maximum of 60 percent of the awning valance or 25 percent of the awning face. On both valance sides, a .17 sq ft. sign is proposed, and the valance area on the sides is 3 sq. ft. The signage on the sides of the awning valance is approximately 5% of the valance. The signage on the front of the awning valance is 2.57 sq. ft., 7” x 53”, and the valance front is 13 sq. ft., 9” x 211”. The sign area is approximately 19% of the valance front. In total, the sign area is approximately 15% of the entire valance. The sign area is appropriate.
- **Height:** The Guidelines state that an awning sign may have a maximum height of 16 feet. The existing awning sign is 9’6” and is not proposed to change. The height is appropriate.
- **Material:** The Guidelines state that the material should be opaque canvas, cotton duck, or similar natural materials with lettering painted, screen printed, or applied. The material is a sunbrella awning/marine material. The material is not appropriate.
- **Color:** The Guidelines state that a maximum of 3 colors, and with a darker background color than the lettering color, is recommended for the colorway. The Guidelines recommend using muted colors that complement the façade, although vibrant colors may be considered as an accent.
- **Illumination:** The Guidelines state to use only external illumination and downlights, no spotlights. Use concealed lighting or limited visible light fixtures, such as gooseneck fixtures, in a dark bronze or black color or a color that matches the facade color. No illumination is proposed within the application.

#### **Small Hanging/Projecting Sign:**

The Guidelines allow for administrative approval of small hanging/projecting signs if all recommendations are met.

- **Quantity:** The Guidelines state that a maximum of 1 sign is allowed per main entrance to a retail storefront/tenant space on the ground floor. One Small Hanging/Projecting sign is proposed for a tenant space on the ground floor and meets the intent of the Guidelines. The small hanging/projecting sign will account for the second of the three signs that are recommended per storefront.
- **Sign Area:** The Guidelines state that the sign may have up to 2 sides and a sign area of 4.5 square feet per side. This application proposes a 20” x 42, or 5.8 sq. ft. sign per side. The hanging/projecting sign was existing and refaced, and did not change the sign size. The proposed sign area is appropriate.
- **Height:** The Guidelines state that the top of the sign area should be no higher than the ground floor window/transom headers but shall be hung to maintain an 8-foot minimum clearance from the grade surface (generally defined as the sidewalk or porch floor). The proposed sign is in line with the top of the storefront transom and headers and will have a clearance of 96” from the grade surface. The proposed sign aligns with the placement of the existing signage on the surrounding buildings. The sign height is appropriate.

- **Material:** The Guidelines state that the material should consist of finished wood or metal with matte background finishes rather than reflective or shiny background finishes. The proposed sign will be made of a MaxMetal material with vinyl applications. The proposed material is appropriate.
- **Color:** The Guidelines state that a maximum of 3 colors, with a darker background color than the lettering color. Additionally, use muted colors that complement the facade, although vibrant colors may be considered as an accent. The proposed sign utilizes a black background and gold lettering and accents. The proposed colorway is appropriate.
- **Illumination:** No illumination is proposed within this application.

### Window Sign:

The Guidelines allow for administrative approval of window signs if all recommendations are met.

- **Quantity:** The Guidelines recommend a total of 3 signs for a retail/tenant space. The proposed window signs are the third and final sign type proposed. The quantity of signs is appropriate.
- **Sign Area:** The Guidelines state that a maximum of 15 percent of an individual window area, or in cases where windows are grouped, the sign area shall not exceed 15 percent of the window grouping area. One window sign is proposed on the front door. The sign area is 25" x 8.75", 1.5 sq. ft., and the window area is 25" x 58.5", 10.15 sq. ft., which is 14.77% of the window area and is appropriate.
- **Placement:** The Guidelines state that window signage must be fully within the interior of the building and attached directly to or mounted within 12 inches of the inside of the business. The proposed signage is noted to be applied directly to the interior face of the glazing. The placement of the signage was not indicated but should be fully within the interior to meet the Guidelines and Zoning Ordinance.
- **Material:** The Guidelines state that when using decals, use individual letters and graphics with a transparent background. The proposed background is transparent, and the lettering appears as individual letters. The proposed material is appropriate.
- **Color:** The Guidelines state that a maximum of 2 colors, using only light tones or only dark tones, but not a combination of the two. Use muted colors that complement the facade, although vibrant colors may be considered as an accent. The proposed window sign will utilize a gold color for the lettering. The proposed colors are dark-toned and appropriate.

### APPLICABLE GUIDELINES

Chapter 8 – Signs

### **APPROVED WORK SPECIFICATIONS**

The awning sign, Small/hanging projecting sign, and window signage are **approved** with the following conditions:

- Window Signage must be placed fully within the interior of the building and may not be applied to the exterior.
- The application must meet all the requirements of the Building & Neighborhood Services Department prior to work commencing.
- Any changes to the approved plans must be returned to the Preservation Planner for review and approval.

**Emily Huffer | Preservation Planner**  
Planning & Sustainability Department  
City of Franklin, Tennessee  
615.550.6795 | <http://www.franklintn.gov/>



# Tom Beckbe

**420 W MAIN ST  
FRANKLIN, TN**

---

## **Sign Proposal**

2. Door Sign
3. Awning Sign
4. Awning Mock up
5. Hanging Sign

Contact: Radcliff Menge · [tom@tombeckbe.com](mailto:tom@tombeckbe.com)

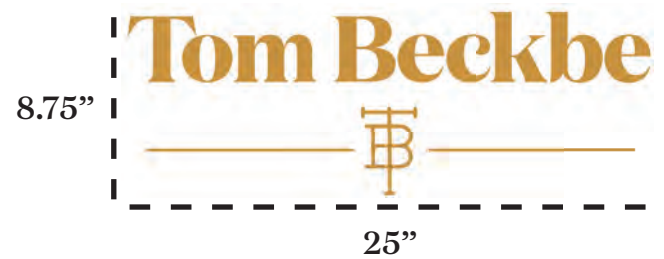
Date: July 16, 2025



## Door Sign

Window size 25" x 58.5" = 10.15 sq ft  
 15% of the window = 1.5 sq ft

Sign size = 25" x 8.75" = 1.5 sq ft





## Awning Sign

Size: 211" x 64" (93.8 sq ft)

Center logo: 7" x 53"

Front left & right logo: 7" x 3.5" (3.06 sq ft)

Sides of Awning: 36" x 48" each (24 sq ft total)

Side left & right logo: 7" x 3.5" each (.49 sq ft total)

Awning Type: Traditional

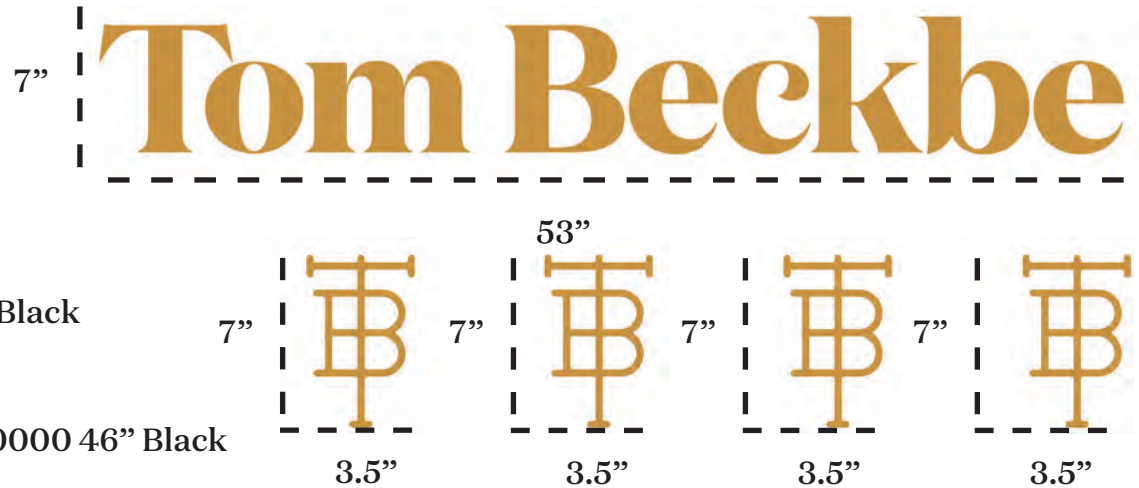
Fabric Type: Sunbrella Awning/Marine #4608-0000 46" Black

Fabric Thread: Black

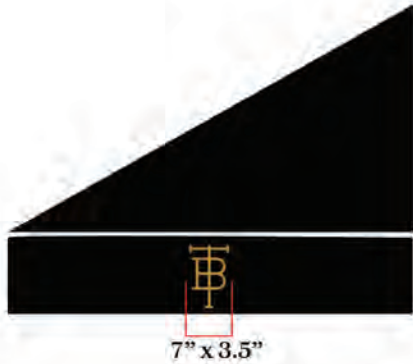
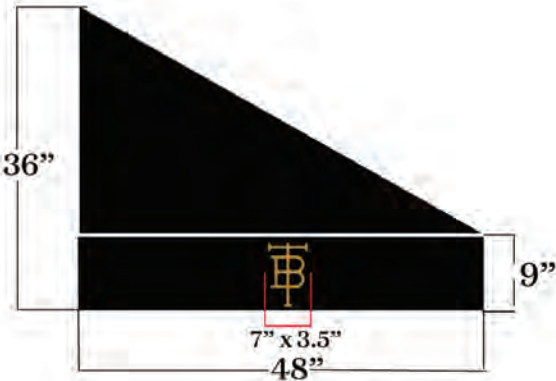
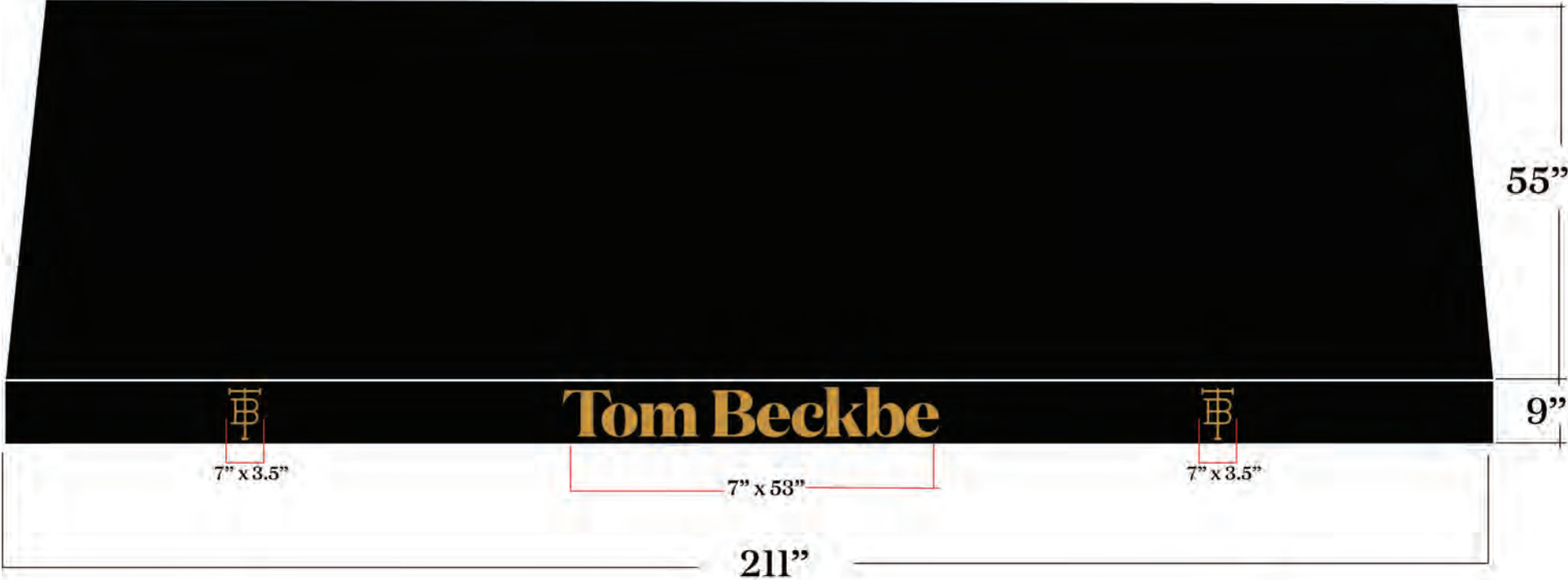
Valence Style: Fixed

Valence Canv as Type: Sunbrella Awning/Marine #4608-0000 46" Black

Valence Canv as Thread: Black



# Awning Sign Mock-up



## Updated Small Hanging Sign



## Small Hanging Sign

Hanging sign was in place when we took over occupancy. We resurfaced it following conversation with city planning office.

## Elizabeth Bulay

---

**From:** Mary Menge <mary@tombeckbe.com>  
**Sent:** Thursday, August 14, 2025 2:50 PM  
**To:** Elizabeth Bulay  
**Cc:** Radcliff Menge  
**Subject:** Re: COA Review: 420 Main Street: Additional Information Needed

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

*ATTENTION COF staff: This email originated from outside the City of Franklin. Please use discretion when clicking on attachments & links from unknown senders or suspicious emails.*

Hi Elizabeth,

We are well. Thank you for reviewing our application! The answers to your questions are in **bold** below, along with a few points of information. Please do not hesitate to reach out with any additional questions.

### Hanging Projecting Sign:

- What is the material of the sign? **Vinyl-covered MaxMetal stock material. (Note: this sign is not new, we just recovered the existing sign after a consultation with the city.)**
- What is the height for clearance between the sign and the sidewalk? **8'**

### Awning:

- What is the height of the awning from the sidewalk? **9' 7" (Note: We are not proposing to install a new awning, only to recover the existing frame.)**

Best,  
Mary

On Thu, Aug 14, 2025 at 11:22 AM Elizabeth Bulay <[elizabeth.bulay@franklintn.gov](mailto:elizabeth.bulay@franklintn.gov)> wrote:

Good morning!

I hope you are doing well! I am in the process of reviewing the signage and awning for a Certificate of Appropriateness, which are proposed at 420 Main Street for the Tom Beckbe storefront. I just have a few questions that I will need additional information for, in order to complete my review. Please see the list below:

Hanging Projecting Sign:

- What is the material of the sign?
- What is the height for clearance between the sign and the sidewalk?

Awning:

- What is the height of the awning from the sidewalk?

If you have any questions or concerns, please let us know. Thank you and have a great day!



Elizabeth Bulay

Assistant Preservation Planner • 615-550-6737

City of Franklin • Planning & Sustainability 120 9<sup>th</sup> Ave. S. • Franklin, TN, 37064

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**Tom Beckbe**

Mary G. Menge  
Operating Officer | [Tom Beckbe](#)  
P.O. Box 130604  
Birmingham AL 35213  
[mary@tombeckbe.com](mailto:mary@tombeckbe.com)

**OWNER AFFIDAVIT**  
**City of Franklin, Tennessee**

We/I Steve Bacon, agent for owner, Kay Heller  
(Please print Name/Names in Full)

being duly sworn, depose and say(s) that (I am)/(we are) the owner(s) of the property described as:

78c M 25 00009078c  
(Property Parcel/Tax ID Number)

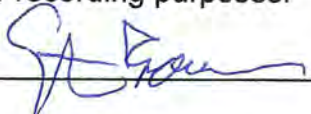
and located at:

420 Main Street  
(Street Address)

am fully aware of the request for development approval in the City of Franklin, Tennessee. Furthermore, (I)/ (we) hereby appoint

Radcliffe Menge  
(Please print Name/Names in Full)

to act as my/our authorized agent on my/our behalf on all matters pertaining to the processing and obtaining the application with the exception of legal documents for recording purposes.

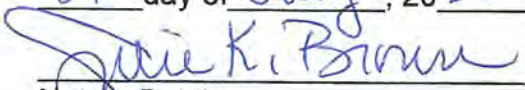
  
Signature

1344 Carneton Lane  
Property Owner Mailing Address

Franklin, TN 37064  
City, State & Zip

Subscribed and sworn to before me this

31 day of July, 2025.

  
Notary Public



My Commission Expires: December 7, 2025



**Project Overview**

**#1805471**

**Project Title:** Tom Beckbe 420 Main Street

**Jurisdiction:** Franklin

**Application Type:** 08b) Administrative Certificate of  
Appropriateness (COA)

**State:** TN

**Workflow:** COA Administrative Default

**County:** Williamson

**Required Administrative Review COA Application Supporting Materials**

Please consult the list below for the necessary supporting materials to include within the Administrative Review COA application packets.

**Signage:**

- Description of project
- Specification information that illustrates how proposed signage will look, including notes on dimensions, height from grade, materials, and colors
- Photographs of installation locations
- Signed and notarized owner affidavit

**Rear Yard Fencing:**

- Description of project
- Specification information that illustrates how proposed fencing will look, including notes on height, materials, and proposed fencing features
- Site plan that demonstrates proposed location/perimeter of fencing
- Photographs of project site location
- Signed and notarized owner affidavit
- **Note: Primary yard fencing does not qualify for administrative review**

**Awnings:**

- Description of project
- Specification information that illustrates how proposed awning will look, including notes on awning dimensions, signage dimensions on awning, awning materials, awning shape, and awning colors
- Specification information for proposed awning materials
- Photographs of project site location, including photograph of full window or door over which proposed awning will be affixed
- Signed and notarized owner affidavit

**HVAC Equipment and/or Related Screening:**

- Description of project
- Specification information that illustrates how proposed HVAC equipment and/or screening will look, including screening dimensions and materials
- Site plan demonstrating proposed location of equipment and/or screening
- Photographs of project site location
- Signed and notarized owner affidavit

**Minor Alterations:**

- Description of project
- Specifications for all materials within scope of work
- Site plan/Aerial Image of the project location demonstrating visibility from public view
- Photographs and documentation of the existing conditions within scope of work
- Renderings and Plans of proposed work
- Signed and notarized owner affidavit

**Note:** The applicant shall provide any additional information as determined by the Preservation Planner that will be necessary to obtain administrative review by staff.

**Owner Affidavit**

This application requires a signed and notarized owner affidavit form.

Please use the button below to download the form, then upload a completed copy in step 2 of the application process (Upload Files).

Owner Affidavit Form

### Contact Information - Project Contact

#### Project Contact

Mary Menge  
Tom Beckbe  
420 Main St  
Franklin, TN 37064  
P:9177556875  
[mary@tombeckbe.com](mailto:mary@tombeckbe.com)

### Property Owner

#### Property Owner

Kay Heller  
  
1344 Carneton Lane  
Franklin, TN 37064  
P:615-490-4680  
[steve@hamiltonyoung.com](mailto:steve@hamiltonyoung.com)

### Address or Parcel

**Project Address or Parcel:** 420 MAIN ST (078C-M02500)

**Calculated Acreage: Parcel**

- 420 MAIN ST: 0.0518871

**Scenic Corridor Overlay:**

**Hillside/Hillcrest Overlay:**

**Flood Fringe Overlay:**

**500ft Buffer of Hillside Overlay:**

**Type of Work Proposed:** Awning

**Height of Overall Sign:**

**Indicate shape/dimensions of window or door over which proposed awning will be affixed.:**

The location's storefront windows are 211" wide. There is an existing awning over the windows that is in the same location and has the same dimensions as the proposed awning.

Note: Below required a "HVAC Type" selection. The proposed awning is not related to HVAC. "Mechanical Screening" was selected because there was no option to select "none."

**Columbia Avenue Overlay:**

**Zoning District: Zoning Districts**

- 420 MAIN ST: DD

**Central Franklin Overlay:**

**Historic Preservation Overlay: Historic Preservation Overlay**

- 420 MAIN ST: Historic Preservation Overlay

**Floodway Overlay:**

**COF Number of Site Plan:** 1805471

**Type of Signage Proposed:**

**Height of Sign Face or Sign Area:**

**Fence Material:**

**HVAC Type:** Mechanical Screening

**Narrative**

**Project Description:**

Fabric awning recover