



City of Franklin

109 3rd Ave S
Franklin, TN 37064
(615)791-3217

Meeting Agenda

Franklin Municipal Planning Commission

Thursday, March 26, 2020

7:00 PM

Board Room

Notice is hereby given that the Franklin Municipal Planning Commission will hold a regular meeting on Thursday, March 26, 2020, at 7:00 p.m. in the City Hall Board Room. Additional information can be found at www.franklin.tn.gov/planning.

The purpose of the meeting will be to consider matters brought to the attention of the Planning Commission and will include the following.

The typical process for discussing an item is as follows:

1. *Staff presentation,*
2. *Public comments,*
3. *Applicant presentation, and*
4. *Motion/discussion/vote.*

Applicants are encouraged to come to the meeting, even if they agree with the staff recommendation. The Planning Commission may defer or disapprove an application/request unless someone is present to represent it.

For accommodations due to disabilities or other special arrangements, please contact the Human Resources Department at (615) 791-3216, at least 24 hours prior to the meeting.

CALL TO ORDER

MINUTES

1. [20-0289](#) Approval of the February 27, 2020 FMPC meeting minutes.

Attachments: [DRAFT FMPC Minutes 2-27-20.rtf](#)

CITIZEN COMMENTS ON ITEMS NOT ON THE AGENDA

Open for Franklin citizens to be heard on items not included on this Agenda. As provided by law, the Planning Commission shall make no decisions or consideration of action of citizen comments, except to refer the matter to the Planning Director for administrative consideration, or to schedule the matter for Planning Commission consideration at a later date. Those citizens addressing the Planning Commission are required to complete a Public Comment Card in order for their name and address to be included within the official record.

ANNOUNCEMENTS

VOTE TO PLACE NON-AGENDA ITEMS ON THE AGENDA

The non-agenda process, by design, is reserved for rare instances, and only minor requests shall be considered. Non-agenda items shall be considered only upon the unanimous approval of all of the Planning Commission members.

CONSENT AGENDA

The items under the consent agenda are deemed by the Planning Commission to be non-controversial and routine in nature and will be approved by one motion. The items on the consent agenda will not be individually discussed. Any member of the Planning Commission, City Staff, or the public desiring to discuss an item on the consent agenda may request that it be removed and placed on the regular agenda. It will then be considered in its printed order.

- Initial Consent Agenda
- Secondary Consent Agenda- to include any items in which Commissioners recuse themselves

SITE PLAN SURETIES

2. [20-0283](#) Nissan North America Subdivision, site plan, revision 2 (Parking Addition); extend the performance agreement for drainage improvements to March 25, 2021. (CONSENT AGENDA)

ANNEXATIONS AND PLANS OF SERVICES

3. [20-0233](#) Consideration Of Resolution 2020-21: A Resolution Adopting A Plan Of Services For The Annexation Of 1268 Lewisburg Pike, 2380 And 2390 Henpeck Lane, By The City Of Franklin, Tennessee.

Attachments: [MAP RES Varnedoe-WilCo Annex](#)
[RES 2020-21 VarnedoeWilCo POS with Exhibit.Law Approved 2](#)

4. [20-0232](#) Consideration Of Resolution 2020-20: A Resolution To Annex 1268 Lewisburg Pike, 2380 And 2390 Henpeck Lane, Consisting Of 61.37 Acres, Property Located West Of Lewisburg Pike And North Of Henpeck Lane And Within The Southern Part Of The Franklin Urban Growth Boundary (UGB).

Attachments: [MAP RES Varnedoe-WilCo Annex](#)
[RES 2020-20 VarnedoeWilCo Annexation 2017 with Map.Law Approved 2](#)

REZONINGS AND DEVELOPMENT PLANS

5. [20-0234](#) Consideration Of Ordinance 2020-05: An Ordinance To Zone 5.88 Acres Neighborhood Commercial (NC) District, And To Zone 55.49 Acres Civic-Institutional (CI) District, For The Property Located West Of Lewisburg Pike And North Of Henpeck Lane, At 1268 Lewisburg Pike, 2380 & 2390 Henpeck Lane.

Attachments: [MAP RES Varnedoe-WilCo Annex](#)
 [ORD 2020-05 VarnedoeWilco Zone Annexed Area Ordinance with Map.Law,](#)

SITE PLANS, PRELIMINARY PLATS, AND FINAL PLATS

6. [20-0285](#) 517 Cummins Street Subdivision, Final Plat, Creating One Office-Residential Lot, On 0.22 Acres, Located At 517 Cummins Street. (CONSENT AGENDA)

Attachments: [MAP 7189 517 Cummins St FP](#)
 [Conditions of Approval 01](#)
 [18-0202 BUBIS 517 CUMMINS ST-FRANKLIN PLAT](#)

7. [20-0286](#) Battle Ground Park Land Company Subdivision, Final Plat, Revision 3 (Resub. Of Lots 35 and 36), Creating One Single-Family Residential Lot From Portions Of Two Single-Family Residential Lots, On 0.26 Acres, Located At 1332 Columbia Avenue. (CONSENT AGENDA)

Attachments: [MAP 7190 Battle Ground Land FP Rev 3](#)
 [Conditions of Approval 01](#)
 [200028 Kubica Minor Sub Final-REV1 20200303 signed](#)

8. [20-0290](#) Morningside PUD Subdivision, Final Plat, Section 1, Revision 1 And Oakbrook PUD Subdivision, Final Plat (Formerly Morningside Subdivision, Section 1, Lot 5), Creating One Multifamily Lot And Modifying Easements in One Open Space Lot, On 6.14 Acres, Located At 200 Mallory Station Road. (CONSENT AGENDA)

Attachments: [MAP 7142 Oakbrook PUD FP](#)
 [Conditions of Approval 01](#)
 [19-1288 MalloryStation PLAT Resubmittal 3-5-20-Plat](#)

9. [20-0226](#) Westhaven PUD Subdivision, Final Plat, Section 52, Creating 50 Lots, On 12.54 Acres, Located East Of Championship Boulevard And South Of Addison Avenue. (CONSENT AGENDA)

Attachments: [MAP 7197 Westhaven FP sec 52](#)
 [COF 7197 COA Westhaven FP](#)
 [COF 7197 Survey](#)

10. [20-0224](#) Williamson County Animal Care Center, Roadway Site Plan, Constructing A Driveway, On 38.67 Acres, Located North Of Old Charlotte Pike and East Of Under Construction Portion of Mack Hatcher Parkway. (CONSENT AGENDA)

Attachments: [MAP 7200 Williamson County Animal Care Facility](#)
[COF 7200 Will Animal Road plan](#)
[COF 7200 Survey County Animal Care Center - Infrastructure Site Plan](#)

11. [20-0225](#) Williamson County Animal Care Center, Site Plan, Creating 281,332 Square Feet of Civic-Institutional Space, On 38.67 Acres, Located North Of Old Charlotte Pike and East Of Under Construction Portion of Mack Hatcher Parkway. (CONSENT AGENDA)

Attachments: [MAP 7199 Williamson County Animal Care Facility](#)
[COF 7199 COA Will Animal Site Plan](#)
[COF 7199 Survey williamson county animal care center](#)

ENVISION FRANKLIN PLAN AMENDMENTS

NON-AGENDA ITEMS

ANY OTHER BUSINESS

ADJOURN



City of Franklin

109 3rd Ave S
Franklin, TN 37064
(615)791-3217

Meeting Minutes - Draft

Franklin Municipal Planning Commission

Thursday, February 27, 2020

7:00 PM

Board Room

Present 9 - McLemore, Harrison, Hathaway, Petersen, Orr, Allen, Franks, Lindsey, and Szilagyi

CALL TO ORDER

MINUTES

1. Approval of the January 23, 2020 minutes.

Attachments: [DRAFT January 2020 FMPC minutes](#)

Alderman Petersen moved, seconded by Commissioner Harrison, to approve the minutes from January 23, 2020 as presented. The motion carried by the following vote:

Aye: 9 - McLemore, Harrison, Hathaway, Petersen, Orr, Allen, Franks, Lindsey, and Szilagyi

CITIZEN COMMENTS ON ITEMS NOT ON THE AGENDA

Chair Hathaway asked for citizen comments. There were none.

ANNOUNCEMENTS

Chair Hathaway asked if Staff had any announcements.

Ms. Emily Hunter, Director of Planning & Sustainability, stated that she had one announcement. She stated that the FMPC Commissioners would be receiving correspondence from her over the next 3 to 4 weeks. She stated that the City would be switching to a new agenda software. Ms. Hunter stated that new devices had been purchased for the Commissioners that will work with the new software. She stated the devices would be available around March 15th. At the March 26th Joint Conceptual Workshop, there would be a training for the new software and devices. The training would be conducted by Ms. Angie Johnson, Deputy City Recorder.

VOTE TO PLACE NON-AGENDA ITEMS ON THE AGENDA

Chair Hathaway asked if there were any non-agenda items to be presented. There were none.

CONSENT AGENDA

Approval of the Consent Agenda

Commissioner Allen moved, seconded by Commissioner Orr, to approve items 4-9, as presented on the Consent Agenda. The motion carried by the following vote:

Aye: 9 - McLemore, Harrison, Hathaway, Petersen, Orr, Allen, Franks, Lindsey, and Szilagyi

VESTED RIGHTS EXTENSION

2. Consideration Of Resolution 2020-07: A Resolution Amending The Aspen Grove PUD Subdivision, Section O, Lot 4, Site Plan To Extend The Vested Rights, For The Property Located At The Intersection Of Cool Springs Boulevard And Windcross Court.

Attachments: [Vesting Extension Request Letter COF 6244](#)

[EXHIBIT A MAP 6244 Vesting Extension](#)

[Exhibit B COF 6244 - Aspen Grove, Sec O, Lot 4 \(The Franklin at Legends View\)](#)

[RES 2020-07 Vesting Extension Aspen Grove PUD Subdivision Section O Lot 4 with Exhibits Law Approved](#)

Ms. Amy Diaz-Barriga, Current Planning Supervisor, stated that the applicant is requesting an extension the vesting period for the site plan associated with the Aspen Grove PUD Subdivision, Section O, Lot 4. The Site Plan was originally approved on the March 2017 Administrative Agenda. In terms of vesting, the site plan is considered the preliminary development document, as it was not associated with an overall development plan. Therefore, it has been vested for three years, or until March 2020. In order to retain it's vesting, the development must also record a final plat and commence site preparation and construction.

The applicant has not completed these requirements, and therefore is requesting an extension of three years to complete these two outstanding requirements. They are not requesting an extension to their overall 10-year vesting period. The project will still maintain a maximum vesting period of 10 years from its original approval date.

This site is particularly challenging due to the access easement required across this property, extending to the west. This site plan, as it was approved, identified the appropriate location for the cross-access easement, as agreed upon by both the property owner and the adjacent property owner. Maintaining this agreed upon location is considered important to staff to ensure that cross connectivity to the traffic light at Windcross Court can be maintained for the properties on the north side of Cool Springs Boulevard.

Under the Zoning Ordinance in which this site plan is vested under, the request for site plan extension for this type of vested plan falls to the Planning Commission for review and approval, not the Board of Mayor and Alderman.

Staff recommended approval.

Chair Hathaway asked if there were any citizen comments. There were none.

The Applicant was represented by Mr. Eric Powers, Integrous Architecture, LLC. The Applicant stated he was there to answer any questions.

Chair Hathaway asked for a motion.

Commissioner Harrison moved, seconded by Commissioner McLemore, that Resolution 2020-07 be approved.

Chair Hathaway asked for any discussion on the motion.

There being none, Chair Hathaway asked for a vote on the motion.

The motion carried unanimously.

Commissioner Harrison moved, seconded by Commissioner McLemore, that Resolution 2020-07 be approved. The motion carried by the following vote:

Aye: 9 - McLemore, Harrison, Hathaway, Petersen, Orr, Allen, Franks, Lindsey, and Szilagyi

REZONINGS AND DEVELOPMENT PLANS

3. Consideration Of Resolution 2019-111, A Resolution Approving A Development Plan For Downs Boulevard Properties PUD Subdivision With 2 Modifications Of Development Standards, For The Property Located North Of Downs Boulevard And West Of Columbia Avenue, On 2.68 Acres, Located At 1536 Columbia Avenue. (Construction Of A Gas Station) Establishing A Public Hearing On April 14, 2020. (FMPC 2/27/20, 9-0; WS 3/10/20)

Attachments: [RES 2019-111 Downs Blvd Prop PUD \(Twice Daily\) with Exhibits.Law Approved 2](#)
[MAP 7081 Downs Blvd Prop 2020](#)
[7081 Downs Blvd PUD Twice Daily_DP_Conditions of Approval_02](#)
[7081 Downs Blvd-Twice Daily PUD Plans archive](#)
[Fwd_Twice Daily Development Plan Deferral Request \(COF 7081\)](#)

Mr. Joseph Bryan, Principal Planner, stated that the applicant has submitted a development plan for the construction of a fueling station for the property located at 1536 Columbia Avenue. The property is zoned Planned District (PD) and is located in the Neighborhood Mixed Use Design Concept as defined by the Envision Franklin Land Use Plan. Additionally, the parcel is located in the Columbia Avenue Overlay-Special Area 3 (CAO 3) which has additional regulations to create a more pedestrian-oriented commercial node that serves adjacent residential neighborhoods.

The proposed layout of placing the retail component at the rear of the property and the fuel canopy at the front along Columbia Avenue does not meet the recommendations of Envision Franklin or the Columbia Avenue Overlay District standards in the Zoning Ordinance as this design is structured more for vehicular rather than pedestrian traffic.

There are two Modification of Standard (MOS) requests with this plan.

Mr. Bryan stated that this development plan was submitted last year (2019), and is therefore reviewed under the previous Zoning Ordinance.

For MOS 1, the applicant is requesting to locate the canopy along Columbia Avenue with the retail component located on the side of the property. Section 4.1.6(3)(a) of the Franklin Zoning Ordinance states, "Canopies... shall not be freestanding or attached to an accessory structure unless located to the rear of the principal structure." The proposed location of the canopy at the front of the property along Columbia Avenue does not meet the regulations or the design intent of the Zoning Ordinance.

Staff recommended disapproval of the First Modification of Standards request.

For MOS 2, the applicant is requesting a drive-through use component as part of the Development Plan for this property. Section 3.4.7(f)(g)(ii) of the Franklin Zoning Ordinance prohibits the use of drive-throughs in this location, "Drive-through uses are prohibited on properties north of Downs Boulevard to create a pedestrian-oriented node." The subject property is located on the north side of Downs Boulevard within CAO-3. Since the proposed site layout, and specifically the drive-through, does not align with the design intent of Envision Franklin's Neighborhood Mixed Use Design Concept or the Columbia Avenue Overlay District in this location, staff recommended disapproval of the second Modification of Standards request.

Staff recommended disapproval to the Board of Mayor and Aldermen.

Chair Hathaway asked if there were any citizen comments. There were none.

The Applicant was represented by Mark Spalding, Gresham Smith + Partners. The Applicant stated that the architect and representatives for the owners were present to answer any questions. He stated that there were two Modification of Standard requests. Mr. Spalding referred to the development plan. He stated that the drainage would flow across the lot toward Columbia Avenue. He stated that they would need a stormwater management basin. He stated this would create a bigger greenspace and push it away from Columbia Ave. He stated that they would add additional landscaping. He stated this would be similar to the Carother's Twice Daily store. Regarding the drive through, it would be over 100 feet away from Downs Blvd. He stated there was plenty of landscape, distance, and there would be parked cars. He asked for a favorable approval.

Chair Hathaway asked for a motion.

Commissioner McLemore moved, seconded by Commissioner Franks, that Resolution 2019-111 be recommended to the Board of Mayor and Aldermen for approval.

Chair Hathaway asked for any discussion on the motion.

Commissioner Allen stated that she supported this item. She stated that the best place for the pumps would be in the front.

Commissioner Szylagyi stated for this use, as a gas station, the drive through would be complementary for the service provided.

Chair Hathaway asked for a motion for MOS 1.

Commissioner McLemore moved, seconded by Commissioner Orr, to recommend approval of MOS 1.

Chair Hathaway asked for any discussion on the motion.

There being none, Chair Hathaway asked for a vote on the motion.

The motion to approve MOS 1 carried unanimously.

Commissioner McLemore moved, seconded by Commissioner Harrison, to recommend approval of MOS 2.

Chair Hathaway asked for any discussion on the motion.

There being none, Chair Hathaway asked for a vote on the motion.

The motion to approve MOS 2 carried unanimously.

Chair Hathaway asked for any discussion on the motion to amend the main motion.

There being none, Chair Hathaway asked for a vote on the main motion, as amended.

The motion carried unanimously.

Commissioner McLemore moved, seconded by Commissioner Franks, that Resolution 2019-111 be recommended to the Board of Mayor and Aldermen for approval, as amended. Commissioner McLemore moved, seconded by Commissioner Orr, to recommend approval of MOS 1 (9-0). Commissioner McLemore moved, seconded by Commissioner Harrison, to recommend approval of MOS 2 (9-0). The main motion, as amended, carried by the following vote:

Aye: 9 - McLemore, Harrison, Hathaway, Petersen, Orr, Allen, Franks, Lindsey, and Szilagyi

SITE PLANS, PRELIMINARY PLATS, AND FINAL PLATS

4. Berry Farms Town Center PUD Subdivision, Final Plat, Section 11, Revision 2, Creating Four Multifamily and Commercial Lots and One Open Space Lot, On 29.32 Acres, Located At Rural Plains Circle. (CONSENT AGENDA)

Attachments: [MAP 7100 BFTC PUD FP Sec 11 Rev 2](#)
[7100 BFTC FP Sec 11 Rev 2 Conditions of Approval_01](#)
[Berry Farms Final Plat Section 11 Rev 2](#)

This Planning Item was approved.

5. Pray Property Subdivision, Final Plat, Creating Two Single-Family Lots On 0.19 Acres, Located At 1153 Carter Street. (CONSENT AGENDA)

Attachments: [Carter St 1153 - Plat - Ver_4](#)
[MAP 7170 Pray Prop Sub FP](#)
[7170 Pray Prop Sub FP Conditions of Approval_01](#)

This Planning Item was approved.

6. Tap Root Hills PUD Subdivision, Final Plat, Section 5, Creating 37 Single-Family Residential Lots And One Open Space Lot, On 13.06 Acres, Located Near The Intersection Of Francreek Drive and Farmhouse Drive. (CONSENT AGENDA)

Attachments: [7174 Tap Root Hills Section 5 Final Plat](#)
[7174 Map Tap Root Sec 5](#)
[7170 Pray Prop Sub FP Conditions of Approval_01](#)

This Planning Item was approved.

7. Water's Edge PUD Subdivision, Final Plat, Section 5, Revision 1, Amending Setbacks On 57 Residential Lots, On Approximately 40 Acres, Located South Of Robinson Lake And West Of Carothers Parkway. (CONSENT AGENDA)

Attachments: [MAP 7175 Waters Edge Final Plat, sec 5 rev 1](#)
[COF 7175 Waters Edge Conditions of Approval_01](#)
[COF 7175 Survey Waters Edge FP](#)

This Planning Item was approved.

8. Westhaven PUD Subdivision, Final Plat, Section 20, Lot 848, Creating 1 Lot On 6.1 Acres Located North Of Boyd Mill Pike And East Of Stonewater Boulevard. (CONSENT AGENDA)

Attachments: [MAP 7176 Westhaven FP sec 20](#)
[COF 7176 Westhaven Amenity Conditions of Approval_01](#)
[COF 7176 Survey FP WH Amenity Center](#)

This Planning Item was approved.

9. Westhaven PUD Subdivision, Final Plat, Section 54, Creating 37 lots, On 35.06 Acres, Located South of Calico Street and East of Elliot Road. (CONSENT AGENDA)

Attachments: [MAP 7177 Westhaven FP sec 54](#)
[COF 7177 WEsthaven FP 54 Conditions of Approval_01](#)
[COF 7177 Survey WH Section 54](#)

This Planning Item was approved.

NON-AGENDA ITEMS

Chair Hathaway asked if there were any other non-agenda items to discuss. There were none.

ANY OTHER BUSINESS

Chair Hathaway asked if there was any further business. There was none.

ADJOURN

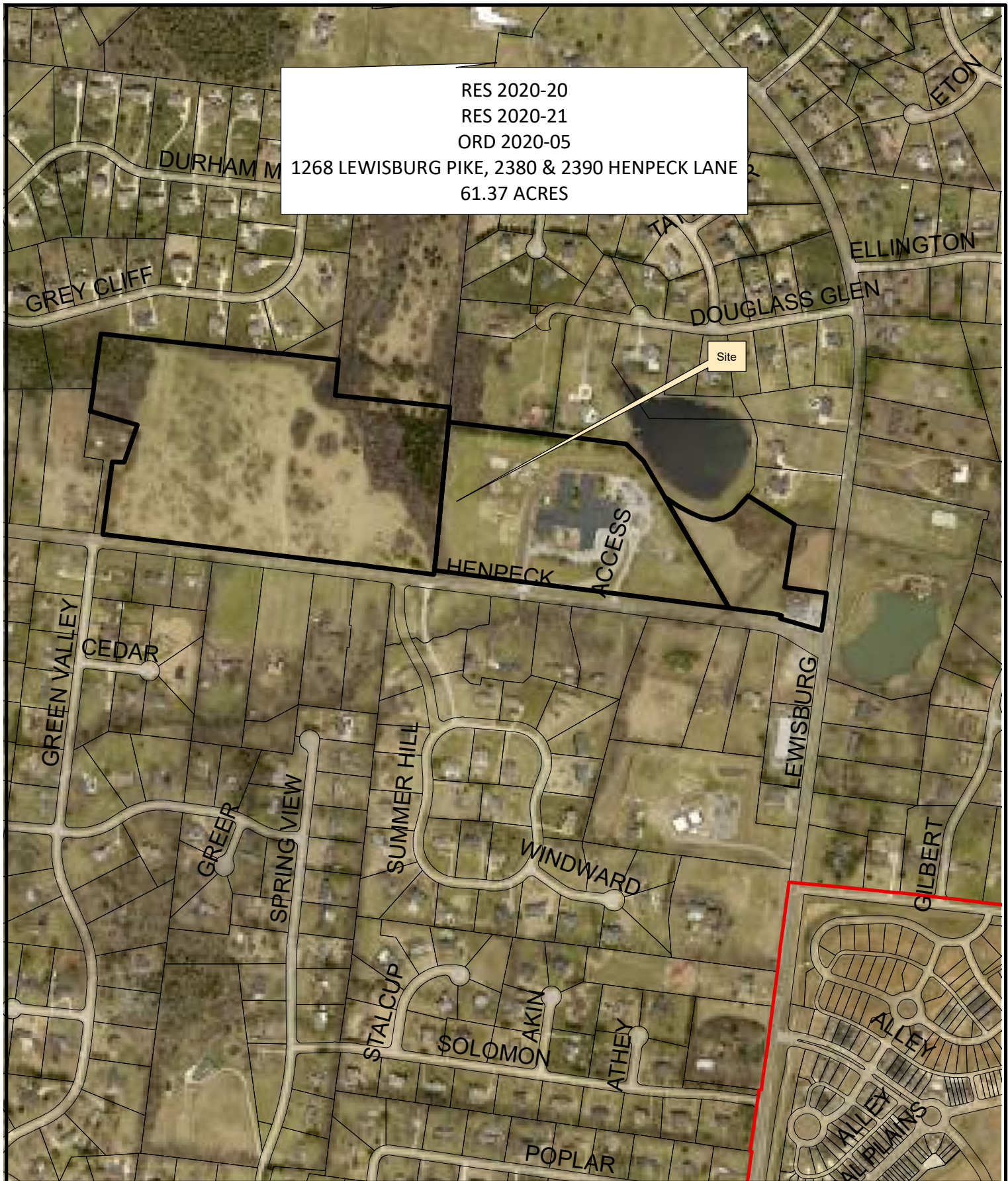
There being no further business, the meeting adjourned at 7:18 p.m.

Chair, Mike Hathaway

Commissioner Harrison moved, seconded by Commissioner Orr, to adjourn. The motion carried by the following vote:

Aye: 9 - McLemore, Harrison, Hathaway, Petersen, Orr, Allen, Franks, Lindsey, and Szilagyi

RES 2020-20
RES 2020-21
ORD 2020-05
1268 LEWISBURG PIKE, 2380 & 2390 HENPECK LANE
61.37 ACRES



Legend

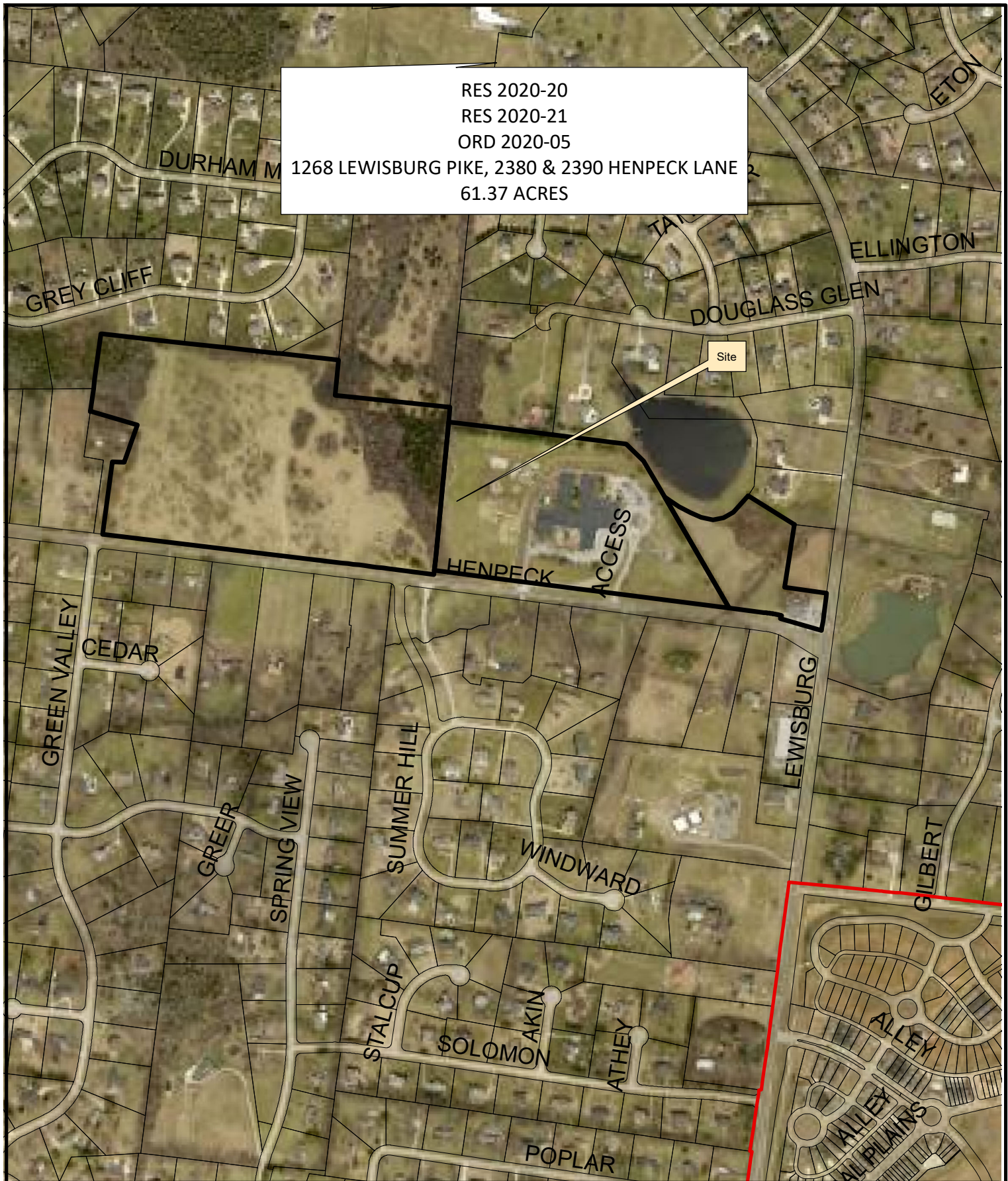
-  Varnedoe-WCS
-  Existing City Limits

0 250 500 1,000
Feet



This map was created by the Franklin Planning Department.
It was compiled from the most authentic information available.
The City is not responsible for any errors or omissions contained herein.
All data and materials (c) copyright 2016. All rights reserved.

RES 2020-20
RES 2020-21
ORD 2020-05
1268 LEWISBURG PIKE, 2380 & 2390 HENPECK LANE
61.37 ACRES



Legend

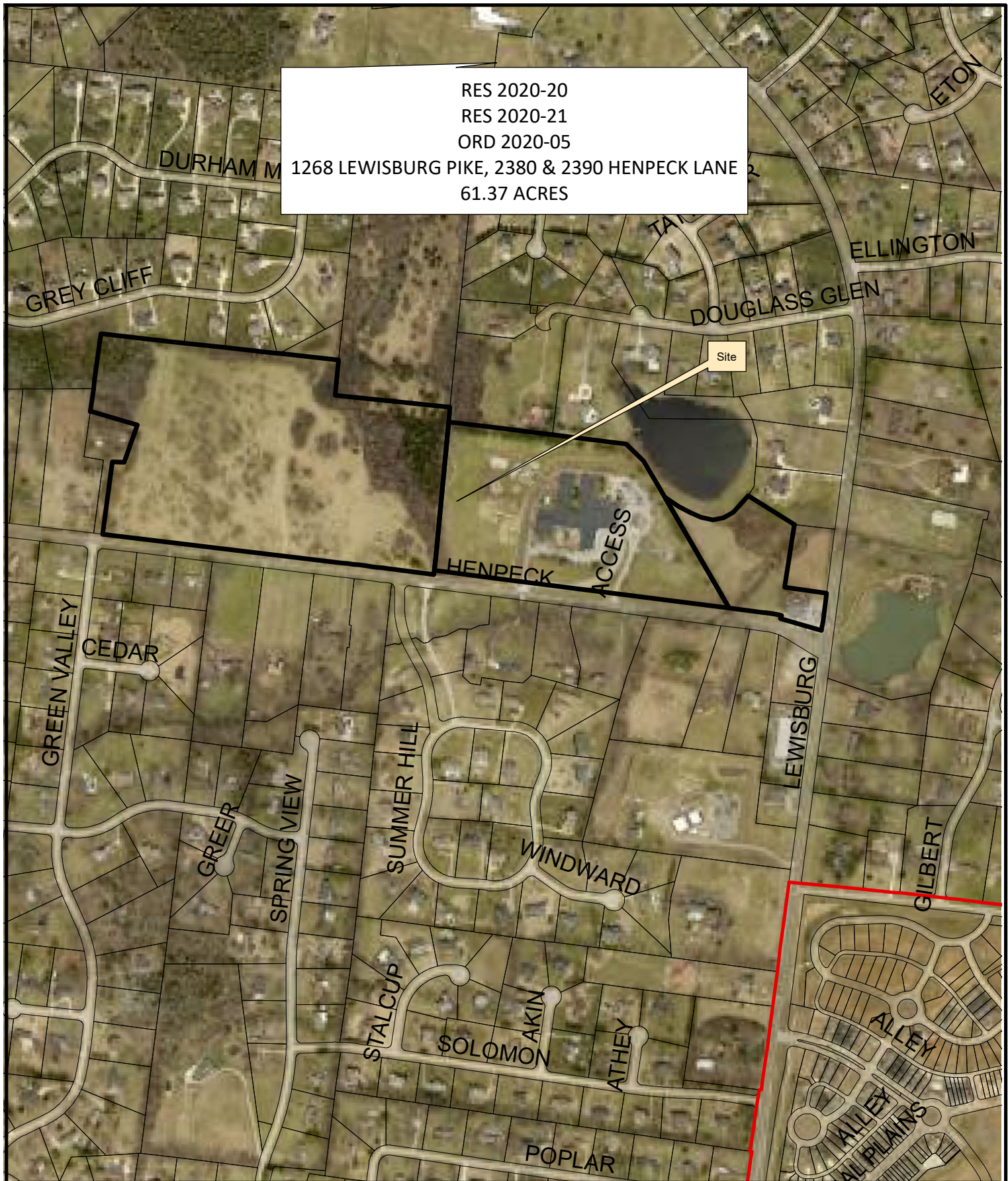
-  Varnedoe-WCS
-  Existing City Limits

0 250 500 1,000
Feet



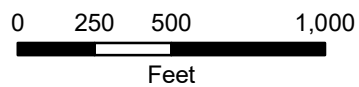
This map was created by the Franklin Planning Department.
It was compiled from the most authentic information available.
The City is not responsible for any errors or omissions contained herein.
All data and materials (c) copyright 2016. All rights reserved.

RES 2020-20
RES 2020-21
ORD 2020-05
1268 LEWISBURG PIKE, 2380 & 2390 HENPECK LANE
61.37 ACRES



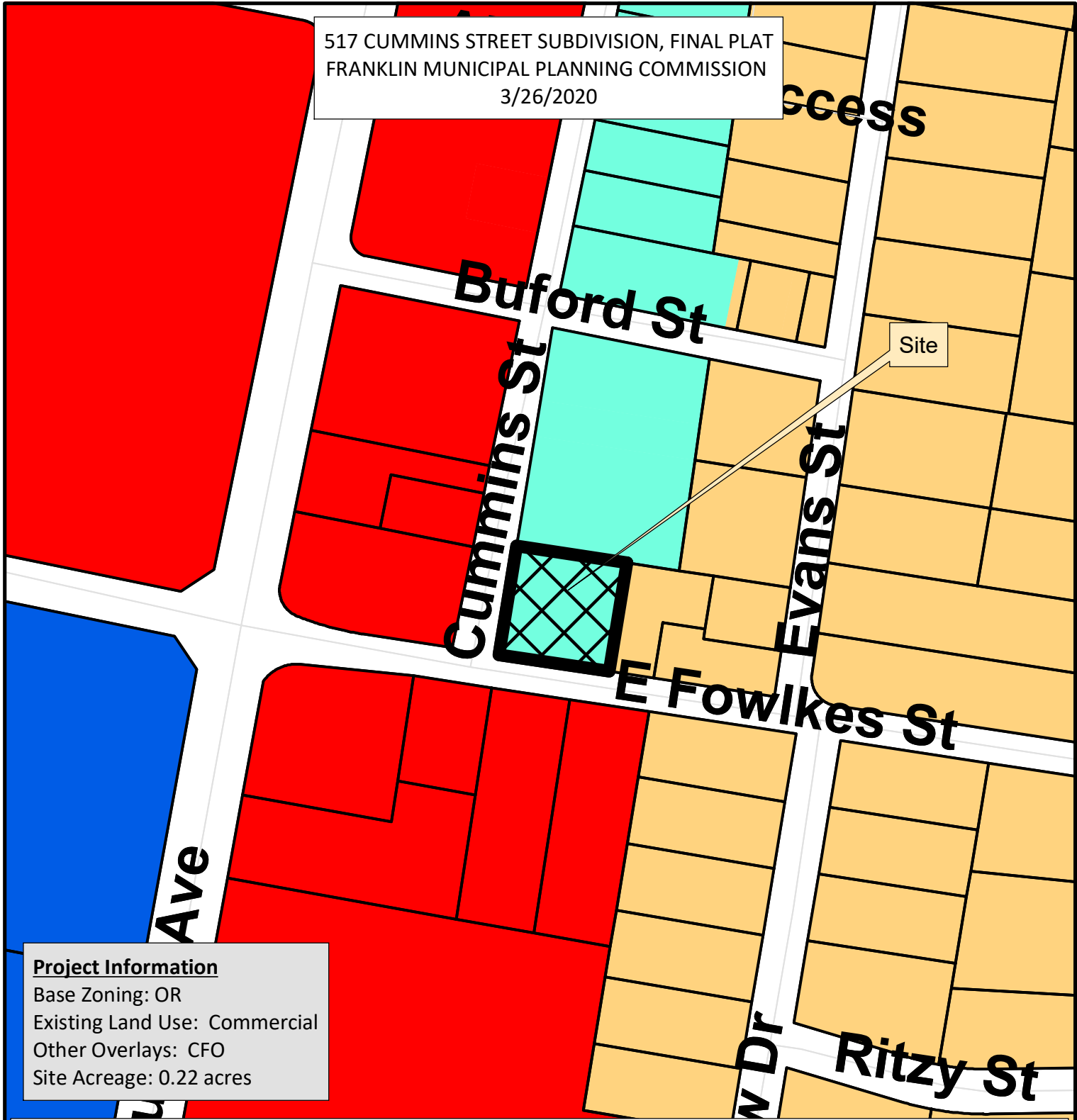
Legend

-  Varnedoe-WCS
-  Existing City Limits



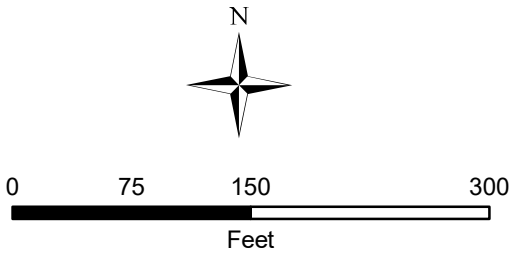
This map was created by the Franklin Planning Department.
It was compiled from the most authentic information available.
The City is not responsible for any errors or omissions contained herein.
All data and materials (c) copyright 2016. All rights reserved.

517 CUMMINS STREET SUBDIVISION, FINAL PLAT
 FRANKLIN MUNICIPAL PLANNING COMMISSION
 3/26/2020



Project Information
 Base Zoning: OR
 Existing Land Use: Commercial
 Other Overlays: CFO
 Site Acreage: 0.22 acres

- | | |
|--------------------------------|------------------------------------|
| 517 Cummins St. Subdivision | CI Civic Institutional District |
| AG Agricultural District | NC Neighborhood Commercial |
| ER Estate Residential District | CC Central Commercial District |
| R1 Residential 1 District | DD Downtown District |
| R2 Residential 2 District | 1ST Avenue District |
| R3 Residential 3 District | 5TH Avenue District |
| R4 Residential 4 District | RC6 Regional Commerce 6 District |
| R6 Residential 6 District | RC12 Regional Commerce 12 District |
| MR Mixed Residential District | GO General Office District |
| PD Planned District | LI Light Industrial District |
| OR Office Residential District | HI Heavy Industrial District |



This map was created by the Franklin Planning Department.
 It was compiled from the most authentic information available.
 The City is not responsible for any errors or omissions contained herein.
 All data and materials (c) copyright 2019. All rights reserved.

CONDITIONS OF APPROVAL:

Open Issues: 1 These issues are currently being filtered

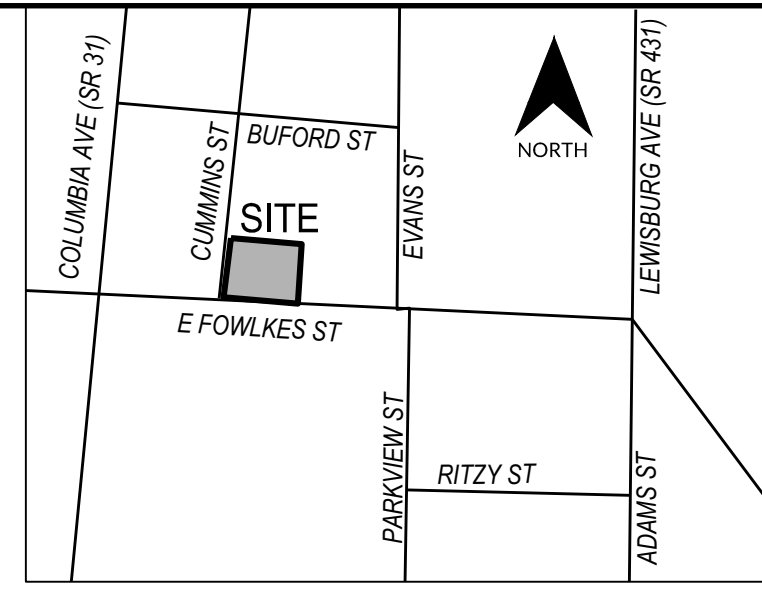
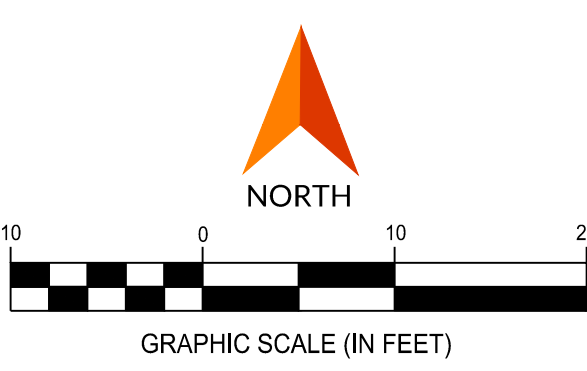
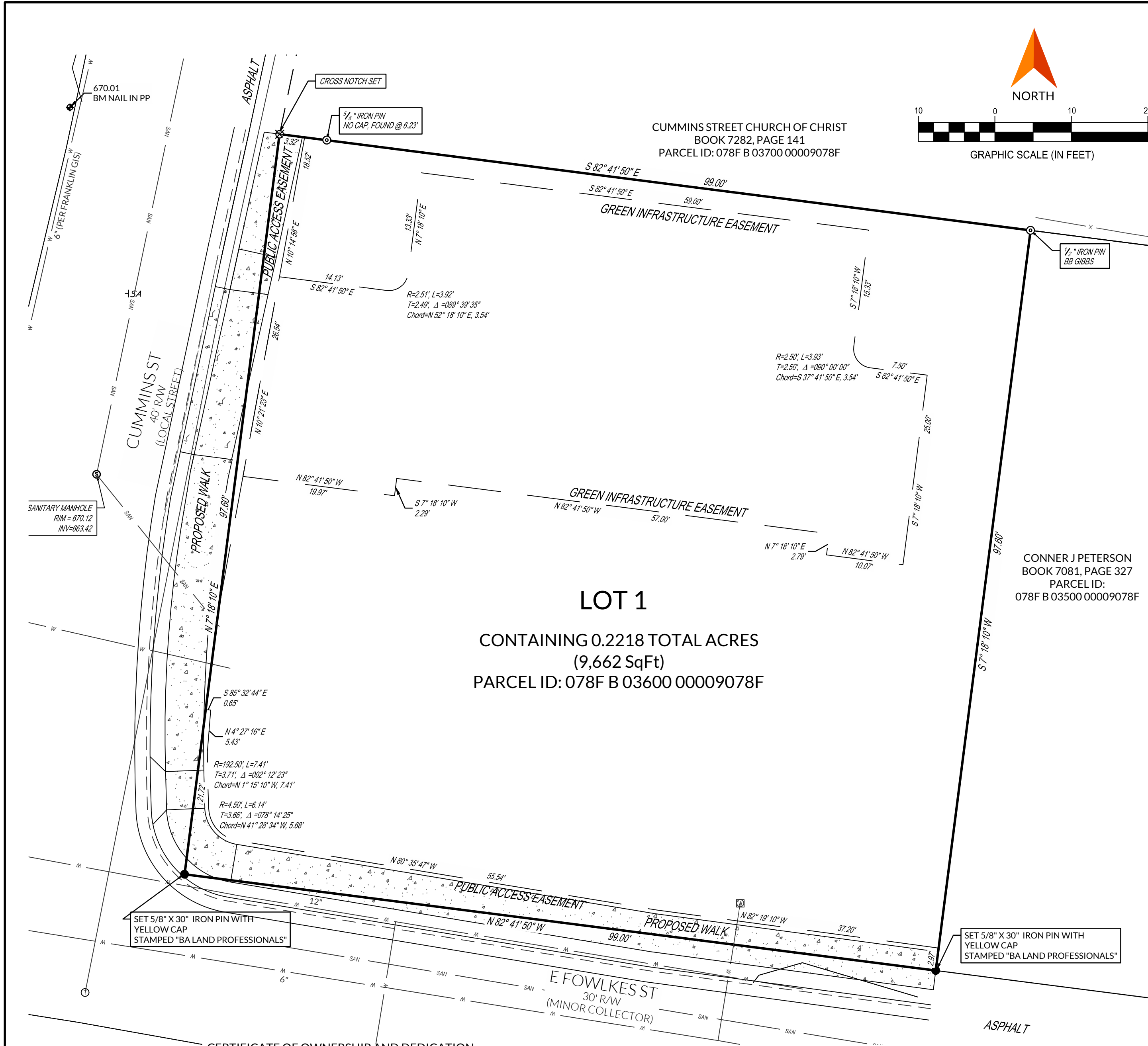
Performance Agreement and Surety

General Issues

12. Engineering Sureties

kevin.long@franklin.tn.gov Any unposted sureties associated with this development from site plan [COF# 7059 \(517 Cummins Street Subdivision, Site Plan \(Office Building\)\)](#) shall be transferred to this final plat as a condition of approval.

*(Comment restated for internal City of Franklin reference. No further action is necessary from the applicant, and **this comment does not hinder approval.**)*



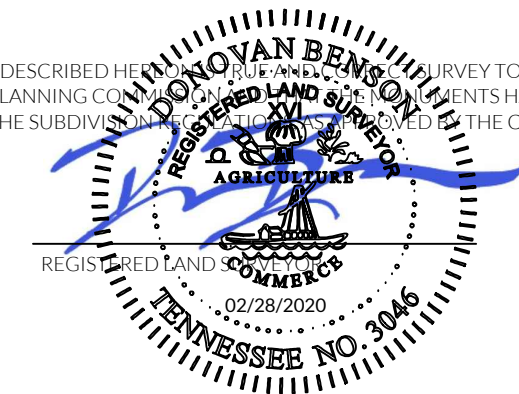
SURVEY NOTES

1. NORTH AND BEARING SYSTEM IS REFERENCED TO THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5001, FIPS ZONE 41001, NAD83 (12a) AND BASED UPON OPUS SOLUTION OP1532001302133 & OP1532001419050 AND AN ACTUAL FIELD SURVEY BY BA LAND PROFESSIONALS, DATED 07/17/2018.
2. VERTICAL DATUM IS BASED UPON OPUS SOLUTION OP1532001419050 AND AN ACTUAL FIELD SURVEY BY BA LAND PROFESSIONALS, DATED 07/17/2018.
3. ALL DATA WAS OBTAINED BY FIELD RUN TOPOGRAPHY UTILIZING SPECTRA FOCUS 30, ON 07/17/2018; 4/19/2019; 5/01/2019; 7/08/2019; & 7/29/2019; 09/11/2019 (UNLESS OTHERWISE NOTED).
4. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR. ALL INFORMATION REGARDING RECORD EASEMENTS, AND OTHER DOCUMENTS THAT MIGHT AFFECT THE QUALITY OF TITLE TO THE PARCEL SHOWN HEREON WERE OBTAINED THROUGH STANDARD RESEARCH.
5. PER OWNER STATEMENT, OWNER POSSESSES BOTH SURFACE AND MINERAL RIGHTS.
6. ALL UTILITIES ARE SHOWN TO THE BEST OF OUR KNOWLEDGE AND ARE BASED ON LOCATIONS TAKEN FROM OBSERVED EVIDENCE ONLY. NO CERTIFICATION IS MADE OR IMPLIED THAT THE UTILITIES SHOWN ARE CORRECT OR THAT ALL UTILITIES ARE SHOWN.
7. UTILITIES IN THE FORM OF STORM SEWER, SANITARY SEWER, ELECTRIC, TELEPHONE, CABLE, NATURAL GAS, AND DOMESTIC WATER ARE ALL LOCATED EITHER ON THE SUBJECT PROPERTY OR WITHIN THE PUBLIC RIGHT-OF-WAY ADJOINING SAID PARCEL.
8. ALL DATA SOURCES, DOCUMENTS AND RECORDS SHOWN HEREON ARE ON FILE IN THE WILLIAMSON COUNTY RECORDER'S OFFICE LOCATED IN FRANKLIN, TN.
11. THIS SURVEY MEETS ALL OF THE ACCURACY REQUIREMENTS FOR BOUNDARY SURVEY PURSUANT TO TCA 820-03-000.
12. ERROR OF CLOSURE $\leq 1:10,000$.
13. ACCESS TO THE LOT IS AVAILABLE VIA CUMMINS STREET PUBLIC RIGHT-OF-WAY. THE LOT SHALL HAVE NO DIRECT VEHICULAR ACCESS TO E FOWLKES STREET.
14. SETBACKS SHOWN ARE BASED ON THE ZONING ORDINANCE OF THE CITY OF FRANKLIN, TENNESSEE (DATED MARCH 1, 2018).
15. PER CITY OF FRANKLIN ZONING, FRONT SETBACKS ON CORNER LOT ARE BOTH 25' AND SIDES ARE 8'.
16. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION.
17. CURRENT ZONING IS "OR" - OFFICE RESIDENTIAL, PER THE OFFICIAL ZONING MAP OF THE CITY OF FRANKLIN - CENTRAL FRANKLIN OVERLAY (CFO).
18. 10'-30" STREET SETBACKS AND 5' REAR SETBACK, PER TABLE 3-8 IN THE ZONING ORDINANCE.
19. FRANKLIN CITY PROJECT # 7189.
20. THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT HAS UNRESTRICTED ACCESS TO ITS DOMESTIC WATER, SANITARY SEWER, RECLAIM WATER LINES OR SYSTEM IMPROVEMENTS LOCATED WITHIN ITS EXCLUSIVE EASEMENTS WITHIN THE DEVELOPMENT. IN THE EVENT LANDSCAPING, FENCING, CONCRETE OR OTHER STRUCTURES ARE INSTALLED OR PLACED WITHIN A CITY OF FRANKLIN EASEMENT, THE CITY OF FRANKLIN SHALL HAVE THE RIGHT TO REMOVE SUCH ENCROACHMENTS WITHIN THE EASEMENT AS MAY BE NECESSARY FOR THE CITY OF FRANKLIN TO REPAIR, MAINTAIN OR REPLACE ITS INFRASTRUCTURE WHICH IS NOW OR IN THE FUTURE MAY BE LOCATED WITHIN THE EASEMENT WITHOUT OBTAINING ANY FURTHER PERMISSION FROM THE PROPERTY OWNER OR HOA. THE PROPERTY OWNER OR HOA SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY SUCH LANDSCAPING, FENCING, CONCRETE OR OTHER STRUCTURES REMOVED OR DISTURBED BY THE CITY OF FRANKLIN IN COMMON OPEN SPACE LOTS AND IN AREAS OWNED BY THE PROPERTY OWNER OR HOA AT NO EXPENSE TO THE CITY OF FRANKLIN. INDIVIDUAL HOMEOWNERS SHALL BE RESPONSIBLE FOR STRUCTURES REMOVED OR DISTURBED BY THE CITY OF FRANKLIN WITHIN AN EASEMENT ON THE HOMEOWNERS LOT AT THE HOMEOWNERS EXPENSE.
21. MAINTENANCE OF ALL STORMWATER MANAGEMENT FEATURES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S) OR HOA.
22. PROPERTY IS LABELED "ZONE X", PER FIRM MAP PANEL NUMBER 47187 C0211G (DEC 22, 2016). DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD.
23. THE PURPOSE OF THIS PLAT IS TO CREATE A SINGLE BUILDABLE LOT AND TO SHOW THE NECESSARY EASEMENTS NEEDED.
24. SIDEWALKS AND TRAILS OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL BE PUBLIC ACCESS EASEMENTS AND SHALL BE MAINTAINED BY THE PROPERTY OWNER(S) OR THE HOA.
25. NO OBSTRUCTIONS OR ENCROACHMENTS WHICH IMPED THE FLOW OF STORMWATER SHALL BE PERMITTED WITHIN PUBLIC DRAINAGE EASEMENTS. THE CITY OF FRANKLIN IS NOT RESPONSIBLE FOR REPAIR OR REPLACEMENT OF ANY ENCROACHMENTS THAT ARE DAMAGED OR REMOVED IN THE COURSE OF MAINTENANCE ACTIVITY WITHIN EASEMENTS.
26. GREEN INFRASTRUCTURE EASEMENTS ARE EXCLUSIVE EASEMENTS DEFINING AREAS SET ASIDE FOR THE CONSTRUCTION, MAINTENANCE, REPAIR, MONITORING, AND OTHER ACTIVITIES NECESSARY FOR THE FURTHERANCE OF WATER QUALITY FEATURES DESIGNATED AS GREEN INFRASTRUCTURE PRACTICES BY THE CITY OF FRANKLIN, AND TO PROVIDE PUBLIC ACCESS TO SUCH FEATURES. ANY AND ALL ACTIVITIES, EXCEPT AS SPECIFICALLY PERMITTED BY NOTATION ON THE CURRENT PLAT OF RECORD AND/OR WITHIN THE RECORDED LONG TERM MAINTENANCE AGREEMENT, SHALL BE STRICTLY PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE CITY ENGINEER OR HIS DESIGNEE.

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREIN IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY TO THE ACCURACY REQUIRED BY THE WILLIAMSON COUNTY, TENNESSEE REGIONAL PLANNING COMMISSION. NO CHANGES OR VARIANCES HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS OF THE SUBDIVISION PLAT. I, THE COUNTY ENGINEER.

02/28/2020
DATE



CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON, AS EVIDENCED IN BOOK NUMBER, PAGE, R.O.W.C., AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINE, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THESE REGULATIONS.

DATE _____ OWNER SIGNATURE _____

OWNER NAME (PRINTED) _____ TITLE (IF ACTING FOR OWNERSHIP OR PARTNERSHIP) _____

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THE SUBDIVISION REGULATIONS FOR WILLIAMSON COUNTY, TENNESSEE, WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE _____ SECRETARY OF PLANNING COMMISSION _____
THIS APPROVAL SHALL BE INVALID IF NOT RECORDED BY DATE _____

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS

I HEREBY CERTIFY THAT THE FOLLOWING UTILITY SYSTEMS OUTLINED OR INDICATED ON THE FINAL SUBDIVISION PLAT ENTITLED HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND/OR STATE GOVERNMENT REQUIREMENTS OR THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. ALSO, I CERTIFY THAT THE HYDRAULIC DESIGN CRITERIA SPECIFIED IN SECTION 5.5 OF WILLIAMSON COUNTY SUBDIVISION REGULATIONS HAVE BEEN MET.

WATER SYSTEM DATE _____ FRANKLIN WATER _____

SEWER SYSTEM DATE _____ FRANKLIN WATER _____

PLAT OF SURVEY

**517 CUMMINS STREET SUBDIVISION
FINAL PLAT**

517 CUMMINS ST
FRANKLIN
WILLIAMSON COUNTY, TENNESSEE

SCALE: 1"=10' DATE: 02/28/2020

DESIGN: N/A

DRAWN: DPB

CHECKED: JBA



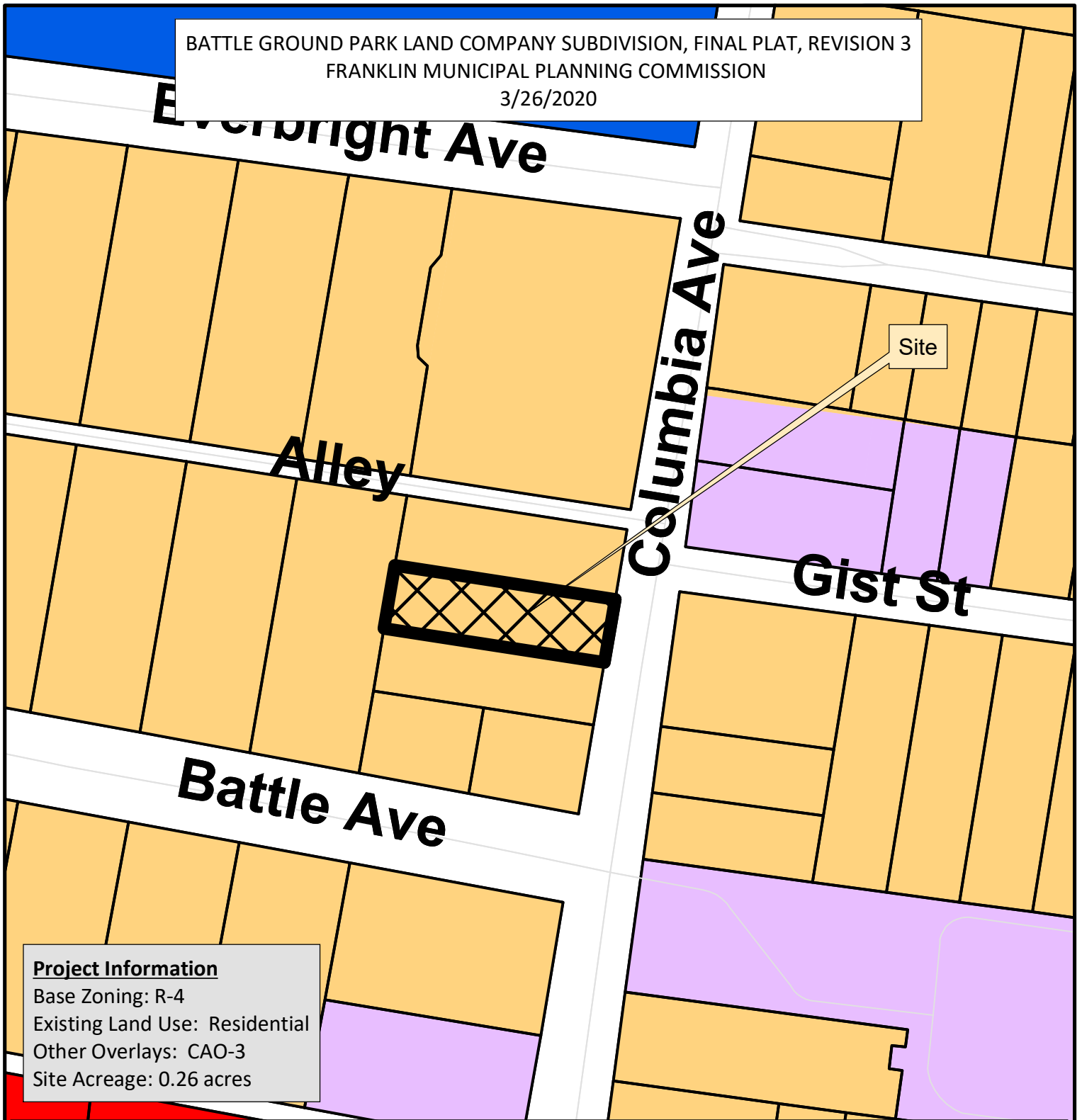
LAND PROFESSIONALS

JOB NO.: 18-0202

SHEET NO.:

1 of 1

BATTLE GROUND PARK LAND COMPANY SUBDIVISION, FINAL PLAT, REVISION 3
FRANKLIN MUNICIPAL PLANNING COMMISSION
3/26/2020



Project Information

Base Zoning: R-4
Existing Land Use: Residential
Other Overlays: CAO-3
Site Acreage: 0.26 acres

- | | |
|--|------------------------------------|
| Battle Ground Land Co. Sub., FP, Rev 3 | CI Civic Institutional District |
| AG Agricultural District | NC Neighborhood Commercial |
| ER Estate Residential District | CC Central Commercial District |
| R1 Residential 1 District | DD Downtown District |
| R2 Residential 2 District | 1ST Avenue District |
| R3 Residential 3 District | 5TH Avenue District |
| R4 Residential 4 District | RC6 Regional Commerce 6 District |
| R6 Residential 6 District | RC12 Regional Commerce 12 District |
| MR Mixed Residential District | GO General Office District |
| PD Planned District | LI Light Industrial District |
| OR Office Residential District | HI Heavy Industrial District |



0 75 150 300
Feet

This map was created by the Franklin Planning Department.
It was compiled from the most authentic information available.
The City is not responsible for any errors or omissions contained hereon.
All data and materials (c) copyright 2019. All rights reserved.

CONDITIONS OF APPROVAL:

Open Issues: 1 These issues are currently being filtered

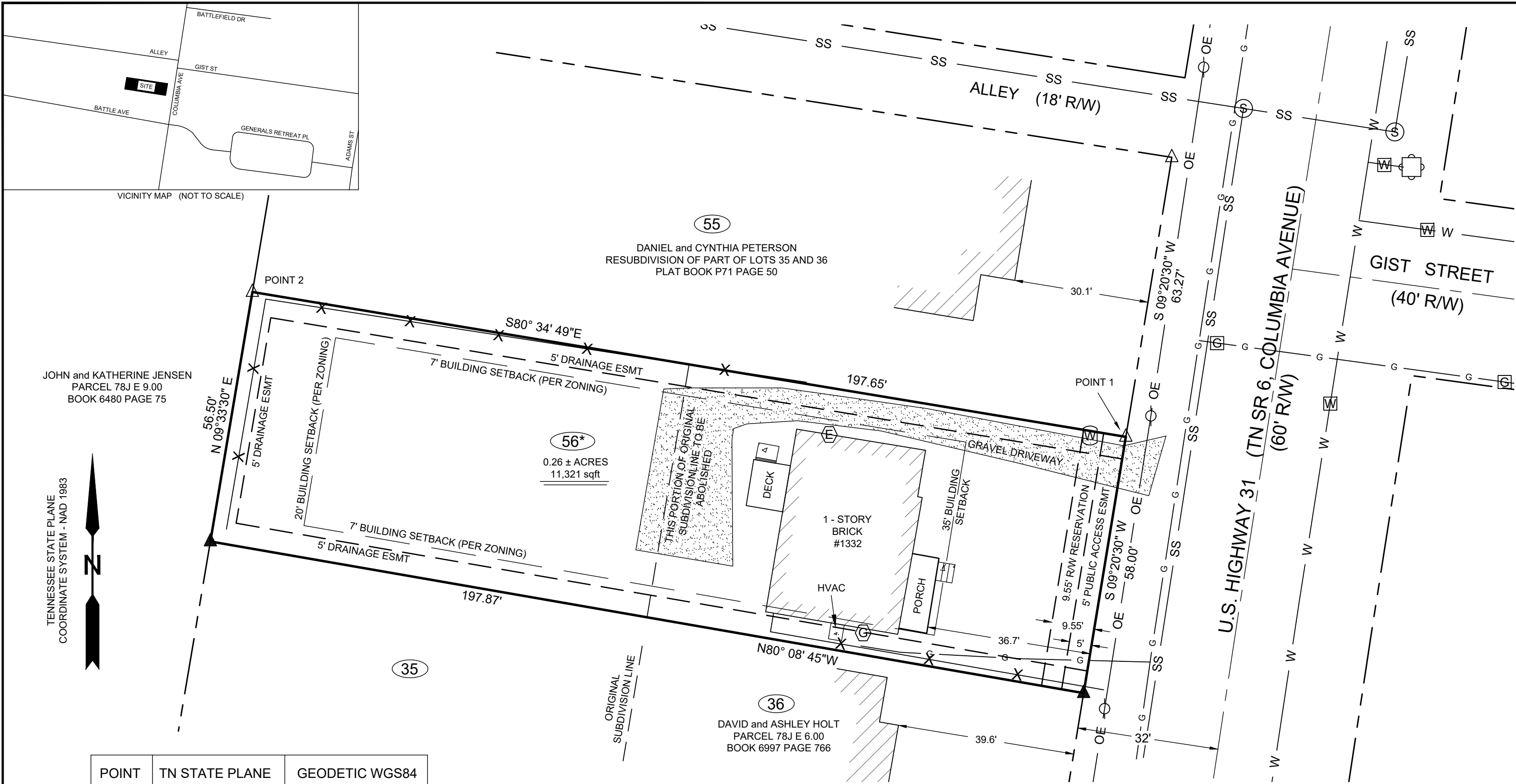
Performance Agreement and Surety

General Issues

12. Engineering Sureties

kevin.long@franklintn.gov No sureties are associated with this Final Plat.

*(This comment serves only as a reminder to staff. No action is necessary from the applicant, and **this comment does not hinder approval.**)*



POINT	TN STATE PLANE	GEODETIC WGS84
1	575852.12 1709608.99	35° 54' 43.7194" N 86° 52' 27.3895" W
2	575884.47 1709414.01	35° 54' 44.0221" N 86° 52' 29.7633" W

LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT (ESMT) BOUNDARY
	OVERHEAD UTILITY LINE
	FENCE LINE
	BUILDING SETBACK LINE (B.S.L.)
	NATURAL GAS LINE
	STORM DRAINAGE LINE
	SEWER LINE
	SANITARY SEWER MANHOLE
	WATER VALVE
	GAS VALVE
	IRON PIPE (FOUND)
	5/8" REBAR (SET)
	ELECTRIC METER
	GAS METER
	FIRE HYDRANT
	UTILITY POLE

CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY SHOWN HEREON AS OF RECORD IN BOOK 2754 PAGE 981. R.O.W.C., TENNESSEE AND ADOPT THIS PLAN OF SUBDIVISION OF THE PROPERTY AS SOWN HEREON AND DEDICATED ALL PUBLIC WAYS AND EASEMENTS AS NOTED. NO LOT AS SHOWN HEREON SHALL AGAIN BE SUBDIVIDED, RESUBDIVIDED, ALTERED OR CHANGED SO TO PRODUCE LESS THAN IS HEREBY ESTABLISHED UNTIL OTHERWISE APPROVED BY THE FRANKLIN MUNICIPAL PLANNING COMMISSION, AND UNDER NO CONDITION SHALL SUCH LOT BE MADE TO PRODUCE LESS AREA THAN IS PRESCRIBED BY THE RESTRICTIVE COVENANTS AS OF RECORD IN BOOK _____, PAGE _____, R.O.W.C., TENNESSEE RUNNING WITH THE LIFE OF PROPERTY. I FURTHER CERTIFY THAT THERE ARE NO LIENS ON THIS PROPERTY.

DATE _____ OWNER _____

CERTIFICATE OF APPROVAL OF WATER AND SEWER SYSTEMS

I HEREBY CERTIFY THAT:
(1) THE STREETS AND DRAINAGE IN THE FINAL PLAT OF BATTLE GROUND PARK LAND COMPANY SUBDIVISION, REVISION 3 HAVE BEEN INSTALLED ACCORDANCE WITH CITY SPECIFICATIONS.

GENERAL WATER & SEWER MANAGER
FRANKLIN, TENNESSEE

DATE _____

CERTIFICATE OF APPROVAL FOR RECORDING

APPROVED BY THE FRANKLIN MUNICIPAL PANNING COMMISSION, FRANKLIN, WILLIAMSON COUNTY, TENNESSEE WITH THE EXCEPTION OF SUCH CONDITIONS, IF ANY, AS ARE NOTED IN THE PLANNING COMMISSION MINUTES FOR THE _____ DAY OF _____, 2020, AND THIS PLAT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE REGISTRAR, WILLIAMSON COUNTY.

SECRETARY
FRANKLIN MUNICIPAL PLANNING COMMISSION

DATE _____

CERTIFICATE OF STREETS AND DRAINAGE

I HEREBY CERTIFY THAT: (1) THE STREETS AND DRAINAGE IN THE FINAL PLAT OF BATTLE GROUND PARK LAND COMPANY SUBDIVISION, REVISION 3 HAVE BEEN INSTALLED ACCORDANCE WITH CITY SPECIFICATIONS.

SUPT. STREETS
FRANKLIN, TENNESSEE

DATE _____

NOTES:

- * DENOTES CRITICAL LOT FOR DRAINAGE DUE TO THE LACK OF EXISTING DRAINAGE INFRASTRUCTURE IN THE VICINITY. THIS LOT SHALL REQUIRE SUBMITTED OF A CRITICAL LOT SITE PLAN WITH ANY FUTURE BUILDING PERMIT SUBMITTAL DETAILED IMPERVIOUS LOT COVERAGE AND MEANS OF LIMITING STORM WATER RUNOFF ONTO ADJACENT PROPERTIES.
- CITY OF FRANKLIN PROJECT NUMBER: 7190
- MAINTENANCE OF ALL STORMWATER MANAGEMENT FEATURES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER(S) OR HOA.
- THE CITY OF FRANKLIN WATER MANAGEMENT DEPARTMENT HAS UNRESTRICTED ACCESS TO ITS DOMESTIC WATER, SANITARY SEWER, RECLAIM WATER LINES OR SYSTEM IMPROVEMENTS LOCATED WITHIN ITS EXCLUSIVE EASEMENTS WITHIN THE DEVELOPMENT. IN THE EVENT LANDSCAPING, FENCING, CONCRETE OR OTHER STRUCTURES ARE INSTALLED OR PLACED WITHIN A CITY OF FRANKLIN EASEMENT, THE CITY OF FRANKLIN SHALL HAVE THE RIGHT TO REMOVE SUCH ENCROACHMENTS WITHIN THE EASEMENT AS MAY BE NECESSARY FOR THE CITY OF FRANKLIN TO REPAIR, MAINTAIN OR REPLACE ITS INFRASTRUCTURE WHICH IS NOW OR IN THE FUTURE MAY BE LOCATED WITHIN THE EASEMENT WITHOUT OBTAINING ANY FURTHER PERMISSION FROM THE PROPERTY OWNER OR HOA. THE PROPERTY OWNER OR HOA SHALL BE RESPONSIBLE FOR REPAIRING AND/OR REPLACING ANY SUCH LANDSCAPING, FENCING, CONCRETE OR OTHER STRUCTURES REMOVED OR DISTURBED BY THE CITY OF FRANKLIN IN COMMON OPEN SPACE LOTS AND IN AREAS OWNED BY THE PROPERTY OWNER OR HOA AT NO EXPENSE TO THE CITY OF FRANKLIN. INDIVIDUAL HOMEOWNERS SHALL BE RESPONSIBLE FOR STRUCTURES REMOVED OR DISTURBED BY THE CITY OF FRANKLIN WITHIN AN EASEMENT ON THE HOMEOWNERS' LOT AT THE HOMEOWNERS' EXPENSE.

CERTIFICATE OF APPROVAL OF SUBDIVISION AND STREET NAMES

SUBDIVISION NAME AND STREET NAMES APPROVED BY WILLIAMSON COUNTY EMERGENCY MANAGEMENT AGENCY.

WILLIAMSON COUNTY EMERGENCY
MANAGEMENT AGENCY

DATE _____

FRANKLIN, TENNESSEE

DATE _____



BATTLE GROUND PARK LAND COMPANY SUBDIVISION, FINAL PLAT, REVISION 3

(RESUBDIVISION OF PORTION OF LOTS 35 AND 36)
BATTLE GROUND PARK LAND COMPANY
BATTLE GROUND PARK ADDITION
AS RECORDED IN PLAT BOOK 1 PAGE 101

CITY OF FRANKLIN PROJECT NUMBER: 7190

CINDY A. KUBICA
1332 COLUMBIA AVE
FRANKLIN, TENNESSEE 37064
PHONE: 615-319-0057
EMAIL: 1332columbia@gmail.com

NINTH (9th) CIVIL DISTRICT
WILLIAMSON COUNTY, TENNESSEE
TAX MAP 78J, GROUP E, PARCEL 5
REFERENCE: RECORD BOOK 2754, PAGE 981
BUILDING SETBACKS PER R-4 ZONING
FRONT SETBACK - 35 FT
SIDE SETBACK - 7 FT
REAR SETBACK - 20 FT

AREA = 0.26 ± ACRES

THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS,
OR RESTRICTIONS, EITHER WRITTEN OR UNWRITTEN.
SURVEY FIELD WORK WAS COMPLETED ON 01/20/2020

NOTES:

- PURPOSE OF THIS PLAT IS TO CREATE A NEW LOT OUT OF PORTIONS OF LOTS 35 AND 36 AND CREATE EASEMENTS.
- THE RECORDING AND ACCEPTANCE OF THIS PLAT VOIDS, VACATES, AND SUPERCEDES THAT PORTION OF LOTS 35 AND 36 AS SHOWN ON BATTLE GROND PARK LAND COMPANY AS RECORDED IN PLAT BOOK 1, PAGE 101.
- UTILITY LINES AS SHOWN ON THIS PLAT ARE APPROXIMATE AND FOR ILLUSTRATIVE PURPOSES ONLY. PRIOR TO ANY CONSTRUCTION, UTILITIES MUST BE ACCURATELY LOCATED BY EACH RESPECTIVE UTILITY BY CALLING TN ONE CALL 800-351-1111.
- WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES (INCLUDING CABLE TELEVISION, ELECTRICAL, NATURAL GAS, SEWER, TELEPHONE, AND WATER LINES) SHALL BE PLACED UNDERGROUND.
- THIS PROPERTY LIES IN ZONE "X". AREA OF MINIMAL FLOODING ACCORDING TO FLOOD INSURANCE RATE MAP 47187C0211G EFFECTIVE DECEMBER 22, 2016.
- PROPERTY IS CURRENTLY ZONED R-4 (DETACHED RESIDENTIAL 3 DISTRICT) MINIMUM BUILDING SETBACKS: FRONT - 35 FT, SIDE - 7', REAR - 20'.
- PUBLIC ACCESS EASEMENT OF 5' LOCATED AT THE FRONT OF THIS PROPERTY RESERVED FOR SIDEWALK CONSTRUCTION.
- THIS SURVEY DOES NOT ADDRESS OR MAKE OPINION TO THE EXISTENCE, OWNERSHIP, OR RESPONSIBILITY OF MINERAL RIGHTS AND/OR ENVIRONMENTAL ISSUES.
- THIS SURVEY IS BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FIPSZONE 4100; NAD 83 DATUM.
- PROPERTY FOUND ON WILLIAMSON COUNTY TAX MAP 78J, GROUP E, PARCEL 5. PROPERTY MEASURED AS 0.26 ± ACRES (11,321 sqft).
- ALL STREET LIGHT LOCATIONS AND QUANTITIES ARE APPROXIMATE. FINAL POSITIONING AND QUANTITY SHALL BE AT THE DIRECTION OF MTEMC.
- CITY OF FRANKLIN MAY ENTER UPON THIS PROPERTY FOR MAINTENANCE, REPAIR, OR INSTALLATION OF UTILITIES WITHIN EASEMENTS OF RECORD OR SHOWN ON THIS PLAT. BY RECORDING THIS PLAT, STRUCTURES, OBJECTS, YARD FURNISHINGS OR ACCESSORIES LOCATED WITHIN THESE EASEMENTS WILL BE CONSIDERED ENCROACHMENTS ON THE EASEMENTS AND MAY BE MOVED WITHOUT FURTHER PERMISSION IF NECESSARY FOR MAINTENANCE, REPAIR, OR INSTALLATION OF UTILITIES.

I HEREBY CERTIFY THAT THIS IS A **CATEGORY I SURVEY** AND THAT THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS IN EXCESS OF **1:69,419** USING TOTAL STATION AND GPS SURVEY EQUIPMENT. THIS SURVEY WAS PERFORMED IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE.

LOCATION OF PERIMETER MONUMENTS FOR THIS BOUNDARY SURVEY WERE PERFORMED USING SPECTRA PRECISION SP60 GNSS RECEIVER USING REAL TIME KINEMATIC (RTK) METHODS RELATIVE TO TDOT BASE REFERENCE RECEIVER. LOCATIONS GENERATED USING RTK VECTORS HAD A HORIZONTAL PRECISION OF 0.06" AND A VERTICAL PRECISION OF 0.10". DISTANCES SHOWN HEREON ARE GROUND.

DATE: 03/03/2020

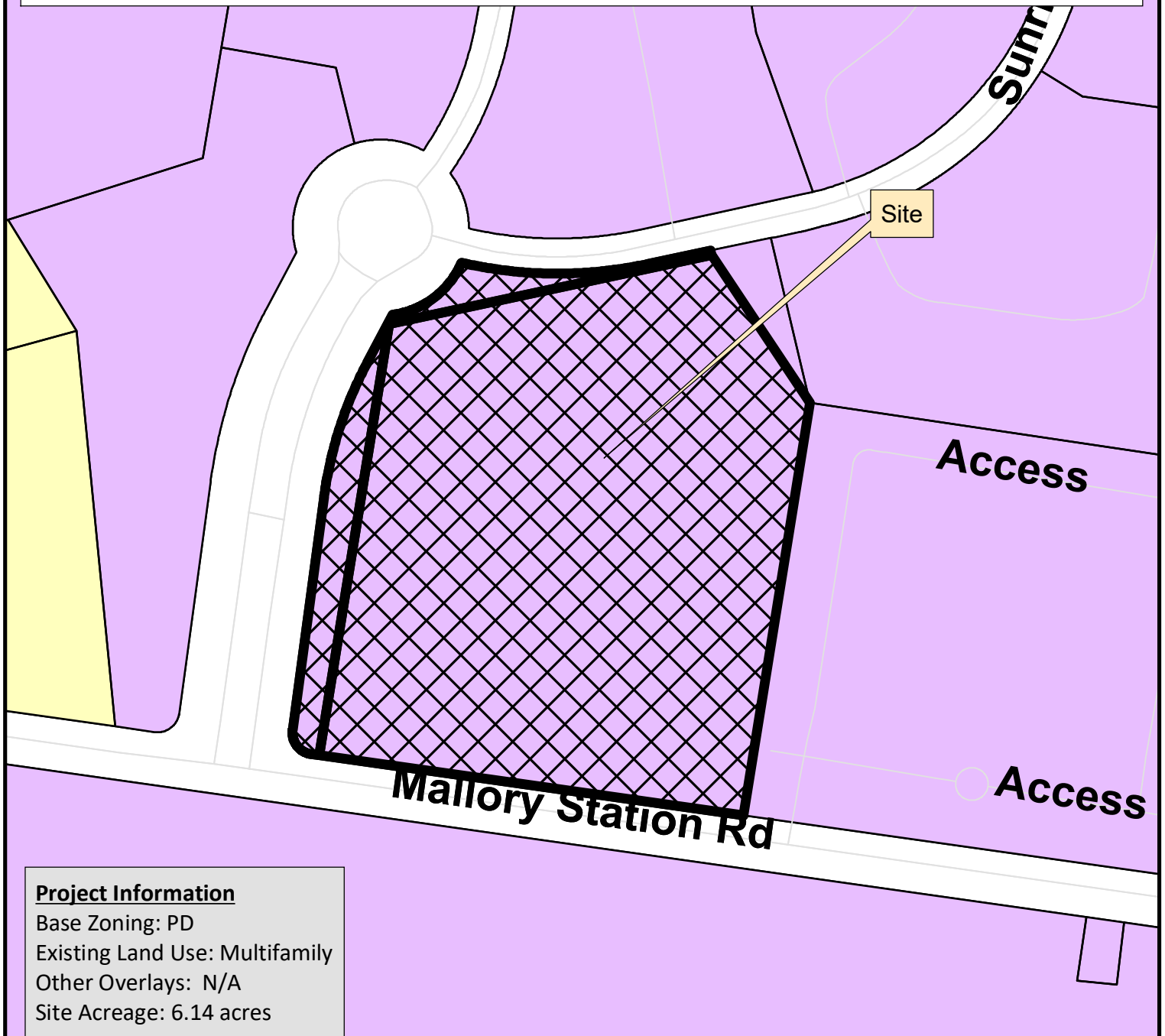
RONALD G. TAYLOR, R.L.S
TENNESSEE REGISTRATION NO. 2123



L.I. Smith and Associates, Inc.
LAND DEVELOPMENT | INFRASTRUCTURE DESIGN
— SURVEYING SERVICES —
302 North Caldwell Street, Paris, TN 38242 | 731-644-1014 | www.lismith.com
475 Metroplex Drive, Suite 212 Nashville, TN 37211 | 615-256-0290

© 2020	L.I. SMITH & ASSOCIATES, INC.	SHEET: 1 of 1
DRAWN BY: ZFR	CHECKED BY: RGT	SCALE: 1" = 20'
PROJECT # 200028		DATE: 03/03/2019

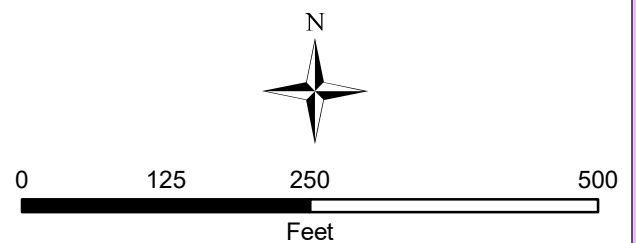
MORNINGSIDE SUBDIVISION, FINAL PLAT, SECTION 1, REVISION 1 & OAKBROOK PUD SUBDIVISION, FINAL PLAT
(FORMERLY MORNINGSIDE SUBDIVISION, SECTION 1, LOT 5)
FRANKLIN MUNICIPAL PLANNING COMMISSION
3/26/2020



Project Information

Base Zoning: PD
Existing Land Use: Multifamily
Other Overlays: N/A
Site Acreage: 6.14 acres

Morningside Sub., Lot 1 & Oakbrook PUD	CI Civic Institutional District
AG Agricultural District	NC Neighborhood Commercial
ER Estate Residential District	CC Central Commercial District
R1 Residential 1 District	DD Downtown District
R2 Residential 2 District	1ST Avenue District
R3 Residential 3 District	5TH Avenue District
R4 Residential 4 District	RC6 Regional Commerce 6 District
R6 Residential 6 District	RC12 Regional Commerce 12 District
MR Mixed Residential District	GO General Office District
PD Planned District	LI Light Industrial District
OR Office Residential District	HI Heavy Industrial District



This map was created by the Franklin Planning Department.
It was compiled from the most authentic information available.
The City is not responsible for any errors or omissions contained hereon.
All data and materials (c) copyright 2019. All rights reserved.

CONDITIONS OF APPROVAL:

Open Issues: 5 These issues are currently being filtered

Engineering - Final Plat Checklist

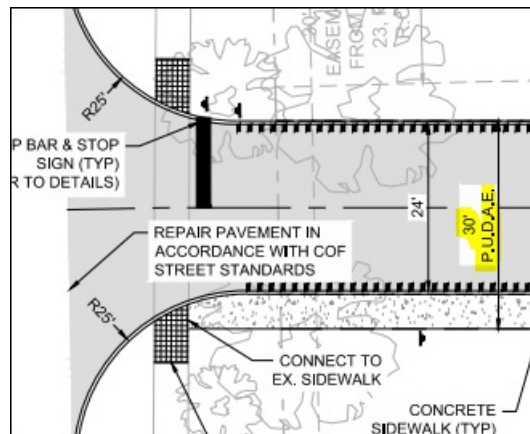
General Issues

3. 0. General Information

lance.fittro@franklin.tn.gov Applicant shall ensure that any changes to the associated site plan, COF #7143, which is being reviewed concurrently with this Final Plat, are reflected on the Final Plat. The Plat shall match the Site Plan. The final plat shall not be submitted to One Stop in advance of the associated Site Plan.

29. Easements

joe.marlo@franklin.tn.gov Applicant shall revise the "30' Proposed Public Access Easement" at the drive connection on Lot 1 to be a "30' Public Utility, Drainage, and Access Easement", matching the associated Site Plan.



Parks

General Issues

2. Parkland Impact Fee

kevinl@franklin.tn.gov Payment has not been received as of 3-9-2020.

The plat can not be recorded until the fees have been paid.

Failed will be the comment from Parks until payment has been received.

Performance Agreement and Surety

General Issues

17. Engineering Sureties

kevin.long@franklin.tn.gov

Applicant shall post sureties in the following amounts, assigned from the associated Site Plan [COF 7143 \(Oakbrook PUD Subdivision, Site Plan\)](#):

I. City Water	\$ -
II. City Sewer	\$ 12,000
III. Public Sidewalk	\$ 11,000
IV: City Streets	\$ -
V. Private Streets (includes shared access drives)	\$ 153,000
VI. Street Access	\$ 20,000
VII. Temporary Turnarounds	\$ -
VIII. Traffic Signals	\$ -
IX: ITS Elements	\$ -
X: Stormwater Drainage	\$ 206,000
XI: Green Infrastructure	\$ 78,000

*NOTE: Performance Calculations - Sureties are calculated from the Site Plan and approved during the Site Plan approval process. Sureties shall be posted prior to obtaining a building permit. Where a building permit is not expected, sureties shall be posted prior to obtaining a grading permit. If a Final Plat is approved at any time during the development process, all sureties will be transferred to said plat as a Condition of Approval. Sureties posted should include Public Infrastructure, Erosion Control, Street Access, and all necessary repairs for work completed within the public right-of-way. **Any driveway or related encroachment on City of Franklin right-of-way, including the modification, revision, or change in use of any existing driveway facilities, shall require a Street Access Surety.** A 10% contingency is applied to each surety category. EPSC is based on a flat \$7,500 per acre of disturbed area and is distributed proportionally across all surety categories.*

Planning

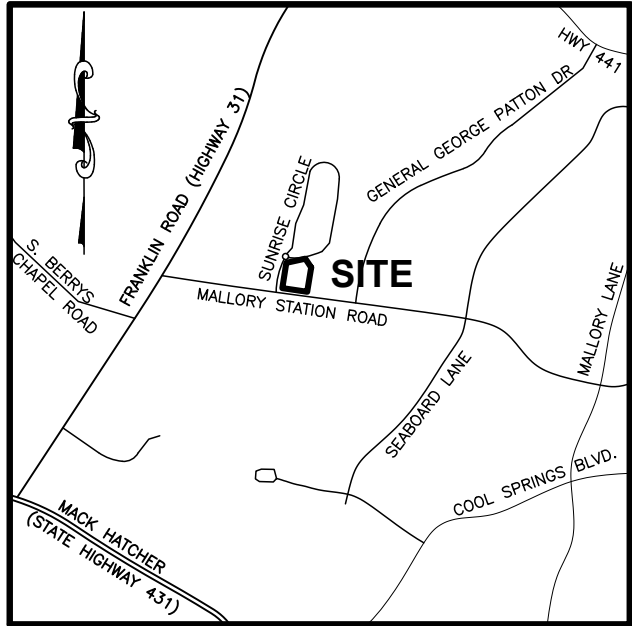
General Issues

30. Project name

joseph.bryan@franklin.tn.gov

For clarity between the two developments, revise project name to "Morningside PUD Subdivision, Final Plat, Section 1, Revision 1 & Oakbrook PUD Subdivision, Final Plat (Formerly Morningside Subdivision, Section 1, Lot 5)."

Applicant shall revise project name in the title block.
[Edited By Joseph Bryan]



VICINITY MAP NOT TO SCALE

Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	39.28'	25.00'	90° 00' 54"	N37° 09' 02"W	35.36'
C2	225.31'	494.86'	26° 05' 11"	N20° 40' 24"E	223.36'
C3	104.30'	100.00'	59° 45' 35"	N54° 49' 28"E	99.64'
C4	170.19'	320.00'	30° 28' 22"	S87° 13' 46"E	168.19'

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.

Date _____ Middle Tennessee Electric Membership Corporation

CERTIFICATE OF OWNERSHIP

I (we) hereby certify that I am (we are) the owner(s) of the LOT 1 shown on record in Plat Book 23, Page 50 titled "Morningside P.U.D. Subvision", R.O.W.C., Tennessee, and adopt the plan of subdivision of the property as shown hereon and dedicate all public ways and easements as noted. No lot(s) as shown hereon shall again be subdivided, resubdivided, altered, or changed so as to produce less area than is hereby established until otherwise approved by the Franklin Municipal Planning Commission, and under no condition shall such lot(s) be made to produce less area than is prescribed by the restrictive covenants as of record in Book _____, Page _____, R.O.W.C., Tennessee, running with the title to the property. I (we) further certify that there are no liens on this property, except as follows: Book _____, Page _____, R.O.W.C.

HAURY & SMITH CONST INC _____ Date _____

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I hereby certify that:

- (1) the water system designated in Morningside Subdivision, Section 1, Revision Lots 1 & 5, have been installed in accordance with City Specifications, or
- (2) a performance agreement and surety in the amount of \$ _____ for the water system has been posted with Mallory Valley Utility District to assure completion of system.

Mallory Valley Utility District _____ Date _____

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME, STREET NAMES, AND ADDRESSING

Subdivision name and street names approved by the Williamson County Emergency Management Agency.

Williamson County Emergency Management Agency _____ Date _____

City of Franklin _____ Date _____

CERTIFICATE OF OWNERSHIP

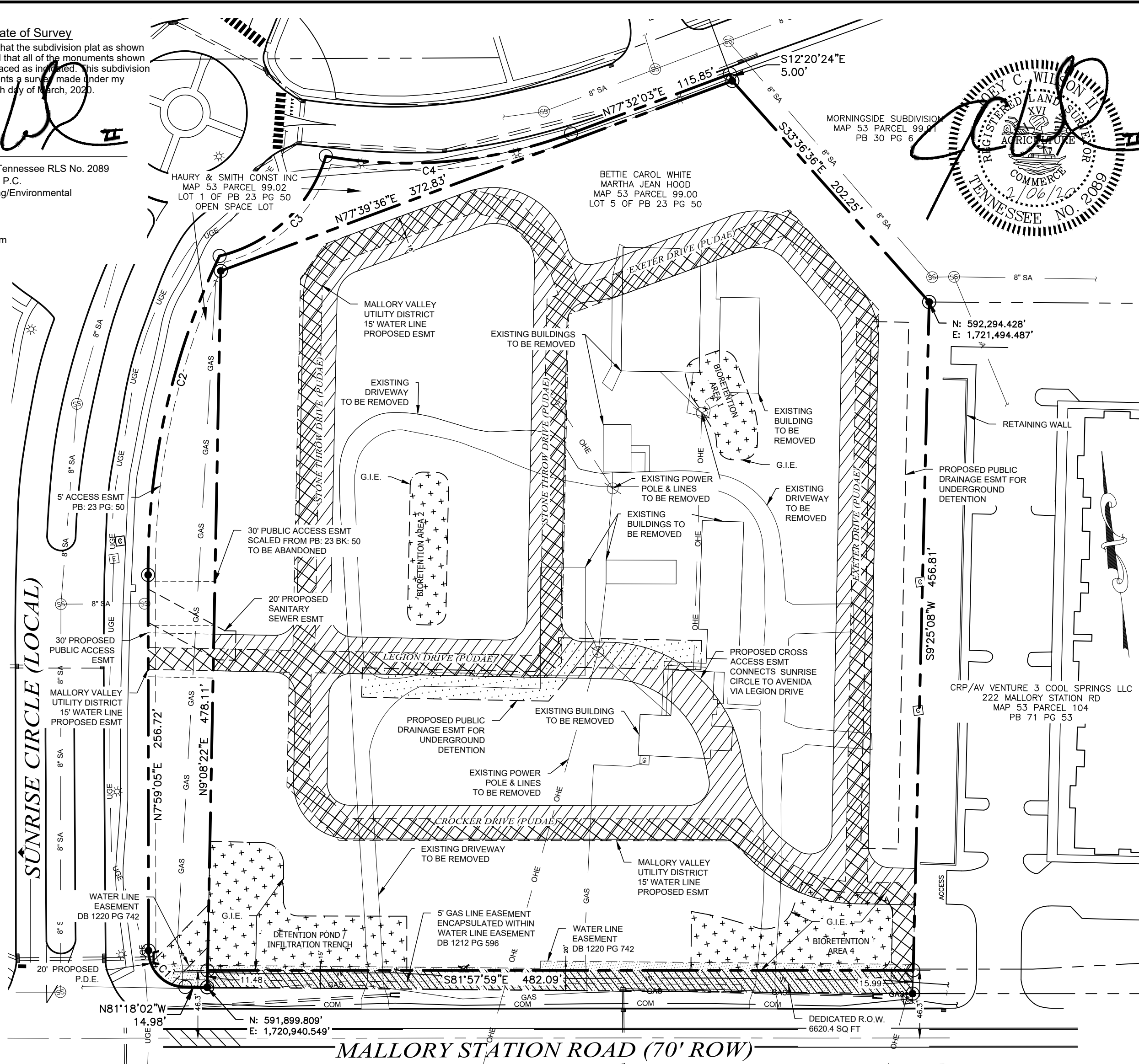
I (we) hereby certify that I am (we are) the owner(s) of the property shown hereon as of record in Deed Book _____, Page _____, R.O.W.C., Tennessee, and adopt the plan of subdivision of the property as shown hereon and dedicate all public ways and easements as noted. No lot(s) as shown hereon shall again be subdivided, resubdivided, altered, or changed so as to produce less area than is hereby established until otherwise approved by the Franklin Municipal Planning Commission, and under no condition shall such lot(s) be made to produce less area than is prescribed by the restrictive covenants as of record in Book _____, Page _____, R.O.W.C., Tennessee, running with the title to the property. I (we) further certify that there are no liens on this property, except as follows: Book _____, Page _____, R.O.W.C.

THOMPSON THRIFT DEVELOPMENT, INC _____ Date _____

Certificate of Survey

I (we) hereby certify that the subdivision plat as shown hereon is correct and that all of the monuments shown hereon have been placed as indicated. This subdivision plat correctly represents a survey made under my supervision on the 5th day of March, 2020.

Joey C. Wilson III, Tennessee RLS No. 2089
Wilson & Associates, P.C.
Engineering/Surveying/Environmental
108 Beasley Drive
Franklin, TN 37064
Office: 615.794.2275
jwilson@wilsonpc.com



Legend

Existing Iron Rod
Iron Rod Set
Storm Manhole
Storm Catchbasin
Sewer Manhole
Water Valve
Fire Hydrant

Legend

Street Light
Sidewalk Pattern
Public Utility & Drainage Esmt. P.U.D.E.
Public Drainage Esmt. P.D.E.
Public Utility & Access Esmt. P.U.A.E.
Public Utility Esmt. P.U.E.
Green Infrastructure Esmt. G.I.E.



REGISTER'S OFFICE
WILLIAMSON COUNTY, TENNESSEE

Plat Notes:

1. The purpose of this plat is to dedicate ROW and create drainage, public access, green infrastructure and utility easements to accommodate site development improvements that have been approved by the city of Franklin.
2. The recording of this plat voids, vacates, and supersedes Lots 1 & 5 of the Final Plat, "MORNINGSIDE P.U.D. SUBDIVISION, SECTION ONE" of record in Book P23, Page 50, in the Register's Office for Williamson County, Tennessee.
3. Site is located in Williamson County, TN, and is identified as all of Parcel 99.00 on Property Map 53.
4. Owner/Subdivider:
Thompson Thrift Development, Inc.
111 Monument Circle, Suite 1600
Indianapolis, IN 46204
Deed Book _____ Page _____ ROWC
Telephone No.: 1-800-687-0012
5. Zoning: SD-R Specific Development - Residential District
Development Standards: Conventional
Character Area: Berry's Chapel Character Area Overlay - Special Area 3 (BCCO-3)
6. Bearings are based on Tennessee state plane coordinate system, Zone 5301, FIPS Zone 4100, NAD 83 Datum.
7. This property is not in a Flood Hazard Area as per F.E.M.A. Flood Insurance Rate Map No. 47187C0204F, Revision Date September 22, 2009, Community No. 470206, Panel 0204.
8. I hereby certify that this is a category I survey and that the ratio of precision of the unadjusted closure is greater than 1:10,000. This survey was conducted in accordance with rule 0620-03.05(1) according to the current Tennessee Minimum Standards of Practice as promulgated by the Tennessee State Board of Examiners for Land Surveyors. This survey was conducted with a total station which was calibrated at the time of survey for the correct temperature and pressure.
9. All streets and alleys are designated as private roads.
10. Sidewalks and trails outside of public right of way shall be public access easements and shall be maintained by the property owner(s) or HOA.
11. Property Owner(s) or the HOA shall be responsible for maintenance of all stormwater management features.
12. Storm water quality shall be addressed with each site plan.
13. Roads, parking, open space areas, bike paths, sidewalks outside of right-of-ways, trails and detention facilities shall be maintained by the Oakbrook Townhomes Home Owners Association and shall be in an Public Utility, Drainage, and Access Easement (P.U.D.A.E.).
14. Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities, (including cable television, electrical, natural gas, sewer, telephone and water lines) shall be placed underground.
15. All street light locations and quantities are approximate. Final positioning and quantity shall be at the direction of MTEMC.
16. Maintenance of all storm water management features shall be the responsibility of the property owner(s) or HOA.
17. No obstructions or encroachments which impede the flow of storm water shall be permitted within Public Drainage Easements. The City of Franklin is not responsible for repair or replacement of any encroachments that are damaged or removed in the course of maintenance activity within easements.
18. The City of Franklin Water Management department has unrestricted access to its domestic water, sanitary sewer, reclaim water lines or system improvements located within its exclusive easements within the development. In the event landscaping, fencing, concrete or other structures are installed or placed within a City of Franklin easement, the City of Franklin shall have the right to remove such encroachments within the easement as may be necessary for the City of Franklin to repair, maintain or replace its infrastructure which is now or in the future may be located within the easement without obtaining any further permission from the property owner or HOA. The property owner or HOA shall be responsible for repairing and/or replacing any such landscaping, fencing, concrete, or other structures removed or disturbed by the City of Franklin in common open space lots and in areas owned by the property owner or HOA at no expense to the City of Franklin. Individual homeowners shall be responsible for structures removed or disturbed by the City of Franklin within an easement on the homeowners' lot at the homeowners' expense.
19. Cross access easements shall provide perpetual, non-exclusive access for the purposes of vehicular and pedestrian ingress and egress across the cross access easement. Property owner(s) shall maintain and keep the cross access easement within their development in a commercially reasonable condition and state of repair.
20. Per Williamson County Accessors Office, there is no mineral rights tax card showing. Therefore, the mineral rights still remain with the fee simple owner.
21. All corners shown on the face of the survey are marked either found or set. Any missing corners are marked with an iron rod and cap bearing this surveyors company name.
22. Access to the property shall be via the platted access easements across adjacent lots. There shall be no direct access to the property from Mallory Station Road.
23. All open space shall be Public Utility, Drainage, and Access Easements and shall be maintained by the Property Owner(s) or the HOA.
24. All sanitary sewer internal to the property is private and shall be maintained by the Property Owner(s) or the HOA. Franklin Water Management has the authority to enter the private property to repair any failing sanitary sewer main deemed necessary by TDEC or The City of Franklin. This shall include but is not limited to Health and human safety. Infiltration into the sanitary sewer system or unacceptable maintenance to the sanitary system.
25. **Parkland Fees in lieu to be paid at final plat (89 units x \$4,304 = \$383,056)**
26. Minimum Required Setback Lines
 - Sunrise Cir. (west property line): 5'
 - Sunrise Cir. (north property line): 15'
 - Northeast property line: 5'
 - East property line: 5'
 - Mallory Sta. Rd. (south property line): 35'

MORNINGSIDE SUBDIVISION SECTION 1, REVISION LOTS 1 & 5

FINAL SUBDIVISION PLAT

FRANKLIN - WILLIAMSON COUNTY - TENNESSEE

TOTAL ACRES	6.143±	TOTAL # OF LOTS	1
ACRES NEW RD/ST	0.00	L.F. OF NEW RD/ST	0.00
ACRES OPEN SPACE	0.00	CIVIL DISTRICT	8th
DRAWN BY	SAM	CLOSURE ERROR	<1:10,000
SCALE = 1" = 60'		DATE =	03/05/2020

COF PROJECT # 7142

SHEET 1 OF 1

WESTHAVEN PUD SUBDIVISION, FINAL PLAT, SECTION 52
FRANKLIN MUNICIPAL PLANNING COMMISSION
03/26/2020

Site

Boyd Mill Pike

Access

Project Information

Base Zoning: PD

Other Overlays: HHO

Existing Land Use: Vacant

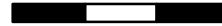
Proposed Land Use: Residential

Site Acreage: 12.54 acres

- | | |
|---------------------------------|------------------------------------|
| AG Agricultural District | NC Neighborhood Commercial |
| ER Estate Residential District | CC Central Commercial District |
| R1 Residential 1 District | DD Downtown District |
| R2 Residential 2 District | 1ST Avenue District |
| R3 Residential 3 District | 5TH Avenue District |
| R4 Residential 4 District | RC6 Regional Commerce 6 District |
| R6 Residential 6 District | RC12 Regional Commerce 12 District |
| MR Mixed Residential District | GO General Office District |
| PD Planned District | LI Light Industrial District |
| OR Office Residential District | HI Heavy Industrial District |
| CI Civic Institutional District | |



0 1250 500 750



Feet

This map was created by the Franklin Planning Department.
It was compiled from the most authentic information available.
The City is not responsible for any errors or omissions contained hereon.
All data and materials (c) copyright 2019. All rights reserved.

CONDITIONS OF APPROVAL:

Open Issues: 3 These issues are currently being filtered

Engineering - Final Plat Checklist

General Issues

9. Section Number

joe.marlo@franklintn.gov Applicant shall revise the reference below to apply to Section 52.

CERTIFICATE OF APPROVAL OF WATER SYSTEMS
I hereby certify that: (1) the water system designated in Westhaven PUD Subdivision, Section 53 has been installed in accordance with City Specifications, or

Fire-Planning

General Issues

2. Hydrants

curt.edelmann@franklintn.gov OK.

Performance Agreement and Surety

General Issues

6. Engineering Sureties

kevin.long@franklintn.gov Any unposted sureties associated with this development from site plan **COF# 6721 (Westhaven PUD Subdivision, Site Plan, Section 52)** shall be transferred to this final plat as a condition of approval.
*(Comment restated for internal City of Franklin reference. No further action is necessary from the applicant, and **this comment does not hinder approval.**)*

- Plat Notes:**
- The purpose of this plat is to create 33 lots (Lots 2085-2117), and one reserved area for the purpose of building a sidewalk in this phase.
 - Subject property is shown as Section 53 located in Westhaven P.U.D. Subdivision, Fifth Civil District, City of Franklin, Williamson County, Tennessee.
 - Subject property is identified as a portion of Parcel 23 on Property Map 64.
 - Zoning: (ML1.8/Traditional) Mixed-use Local
 - According to the Westhaven Pattern Book, the following building types would be permitted in the T4 transect zone - sideyard house, cottage, or house.
Minimum setback requirements (Section 52 lots):
Front yard - 10'
Side yard - 5' (min. 10' between buildings)
(Minimum 0' between townhome units)

Note: Projections shall not extend to a point closer than 4 feet from the property line. Any projections (including soffits) into the 5' sideyard setback shall have a one-hour fire-resistive construction on the underside. Refer to the 2004 IRC Supplement R302.1 Exterior Walls for further explanation.

Rear yard/Alley setback - 7' (minimum 18' wide x 22' deep parking apron is required from the front of the apron to the face of alley curb) except on street corner lots and lots that provide garages with a storage area of 50 square feet or greater.

Rear yard/Non-alley setback - 5' minimum to the property line; 10' minimum between buildings (for the main, back and ancillary buildings)

- All lots in Section 52 fall in the T4 Transect Zone as defined in the Westhaven Concept Plan (Revision 2) and Pattern Book, revised 05/08/07.
- Section 52 includes the following building types and sizes: sideyard houses, cottages, houses, and courtyard houses.

Dwelling unit living areas: Exclusive of open porches, garages, and ancillary apartments:
Minimum.....1,000 S.F.
Maximum.....10,000 S.F.
Maximum building heights.....2 stories

- Bearings are based on Tennessee state plane coordinate system, Zone 5301, FIPS Zone 4100, NAD 83 Datum.
- Subject property is not within a Flood Hazard Area as per F.E.M.A. Flood Insurance Rate Map No. 47187C0190F, Revision Date September 29, 2006.
- The developer acknowledges that all lots have adequate building envelopes and no variances will be required.
- All streets and alleys are designated as Public Right-of-Way; the City of Franklin is not responsible for the replacement or repair of any private structures within public easements should the structures be disturbed in the process of the City exercising its easement rights.
- Streets, drainage easements, structures, and culverts shall be maintained by the City of Franklin. Detention ponds and outlet structures within public drainage easements are to be maintained by the Westhaven Homeowners' Association.
- Stormwater quality shall be addressed with each site plan.
- Open space areas, roadway medians, brick pedestrian crosswalks, bike paths, sidewalks outside of right-of-ways, trails and detention facilities shall be maintained by the Westhaven Home Owners Association and shall be Public Utility, Drainage and Access Easements.
- Building Elements: Porches, stoops, chimneys, bay windows, and balconies may encroach into the front yard setbacks. Chimneys may encroach up to 1'-0" from the property line within the sideyard setbacks. Where chimneys encroach into the sideyard setback, the minimum separation between dwellings shall be reduced by the distance of the encroachment only at the width of the fireplace. The remainder of the sideyard setback shall be the stated minimum. Chimneys that encroach closer than 5'-0" to a property line must meet the fire rating requirements of the City of Franklin Building Codes.
- Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities, (including cable television, electrical, natural gas, sewer, telephone and water lines) shall be placed underground.
- All street light locations and quantities are approximate. Final positioning and quantity shall be at the direction of MTEMC. 17. Mineral rights are to be held by Westhaven Partners, LLC.
- Property numbers are indicated as such: Lot numbers are encircled and address numbers are enclosed by rectangular shape.
- At all temporary turnarounds, a sign shall be placed stating, "Street to be extended by authority of the City of Franklin."
- Street address numbers are assigned to the following street names: Lots 2085-2086 Hathaway St., Lots 2087-2090 Cheltenham Ave., Lots 2091-2117 Calico Street.
- Maintenance of all stormwater management features shall be the responsibility of the property owner(s) or HOA.
- No obstructions or encroachments which impede the flow of stormwater shall be permitted within Public Drainage Easements between lots. The City of Franklin is not responsible for repair or replacement of any encroachments that are damaged or removed in the course of maintenance activity within easements.
- Sidewalks and trails outside of public right-of-way shall be public access easements and shall be maintained by the Homeowners' Association.
- Required Exterior Parking:
A. Single Family Detached Residence
2 spaces required except on street corner lots. Spaces must be on the same lot as the residence. Spaces shall be a minimum of 18' wide by 22' deep paved area (as measured from the face of the alley curb). Parking area may be garage apron or a separate parking pad.

Legend		Legend (cont.)	
Existing Iron Rod	○	Water Valve	⋈
Iron Rod Set	●	Fire Hydrant	FH⋈
Existing Concrete Monument	□	Street Light	★
Concrete Monument Set	■	Sidewalk Pattern	▨
Storm Catchbasin	⬮	Public Utility & Drainage Esmt.	P.U.D.E.
Sewer Manhole	⬮	Public Drainage Esmt.	P.D.E.
Street Address	1234	Public Utility & Access Esmt.	P.U.A.E.

Certificate of Survey

I (we) hereby certify that the subdivision plat as shown hereon is correct and that all of the monuments shown hereon have been placed as indicated. This subdivision plat correctly represents a survey made under my supervision on the 10th day of January, 2019.

Joey C. Wilson, II Tennessee RLS No. 2089
Wilson & Associates, P.C.
Engineering/Surveying/Environmental
108 Beasley Drive, Franklin, TN 37064
Office: 615.794.2275 FAX 615.794.2176
jwilson@wilsonpc.com

Owner/Subdivider: Westhaven Partners, LLC
Owners/Partners with 5% interest or more:

Westhaven Partners, LLC c/o Tim Downey - tim.downey@southernland.com 1550 W. McEwen Drive, Suite 200 Franklin, TN 37067 (615) 778-3150	Frank Mastrapasqua 814 Church Street, #300 Nashville, TN 37203 (615) 244-8400
PPMC Limited Partnership c/o Pete Serodino P.O. Box 4539 Chattanooga, TN 37405 (423) 266-1855	Springlake, G.P. c/o Ron Pace 95 White Bridge Road, #504 Nashville, TN 37205 (615) 352-9600
Monica Smiley 1417 Heritage Landing Drive Chattanooga, TN 37405 (423) 266-1070	Frank J.B. Varallo Rone-Regency Jewelers Brainerd Village Chattanooga, TN 37411 (423) 894-1188

- The City of Franklin Water Management department has unrestricted access to its domestic water, sanitary sewer, reclaim water lines or system improvements located within its exclusive easements within the development. In the event landscaping, fencing, concrete or other structures are installed or placed within a City of Franklin easement, the City of Franklin shall have the right to remove such encroachments within the easement as may be necessary for the City of Franklin to repair, maintain or replace its infrastructure which is now or in the future may be located within the easement without obtaining any further permission from the property owner or HOA. The property owner or HOA shall be responsible for repairing and/or replacing any such landscaping, fencing, concrete, or other structures removed or disturbed by the City of Franklin in common open space lots and in areas owned by the property owner or HOA at no expense to the City of Franklin. Individual homeowners shall be responsible for structures removed or disturbed by the City of Franklin within an easement on the homeowners' lot at the homeowners' expense.

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME, STREET NAMES, AND ADDRESSING

Subdivision name and street names approved by the Williamson County Emergency Management Agency.

Williamson County Emergency Management Agency _____ Date _____

City of Franklin _____ Date _____

CERTIFICATE OF APPROVAL OF WATER SYSTEMS

I hereby certify that:

- (1) the water system designated in Westhaven PUD Subdivision, Section 53 has been installed in accordance with City Specifications, or
- (2) a performance agreement and surety in the amount of \$ _____ for the water system has been posted with HB&TS Utility District to assure completion of such system.

HB&TS Utility District _____ Date _____

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE AND SIDEWALKS

I hereby certify that:

- (1) the streets, drainage, and sidewalks designated in Westhaven PUD Subdivision, Section 53 have been installed in accordance with City specifications, or
- (2) a performance agreement and surety in the amount of \$ _____ for streets, \$ _____ for drainage, and \$ _____ for sidewalks has been posted with the City of Franklin, Tennessee, to assure completion of such improvements.

Director, Streets Department _____ Date _____
City of Franklin, Tennessee

MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to the normal operating practices of MTEMC as defined in the utility regulations, bylaws and policy books and other rules and regulations of MTEMC, and in accordance with the applicable codes and rules and regulations of the Tennessee Department of Public Safety. No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval at all times, is conditional upon compliance with MTEMC's Requirements.

Date _____ Middle Tennessee Electric Membership Corporation

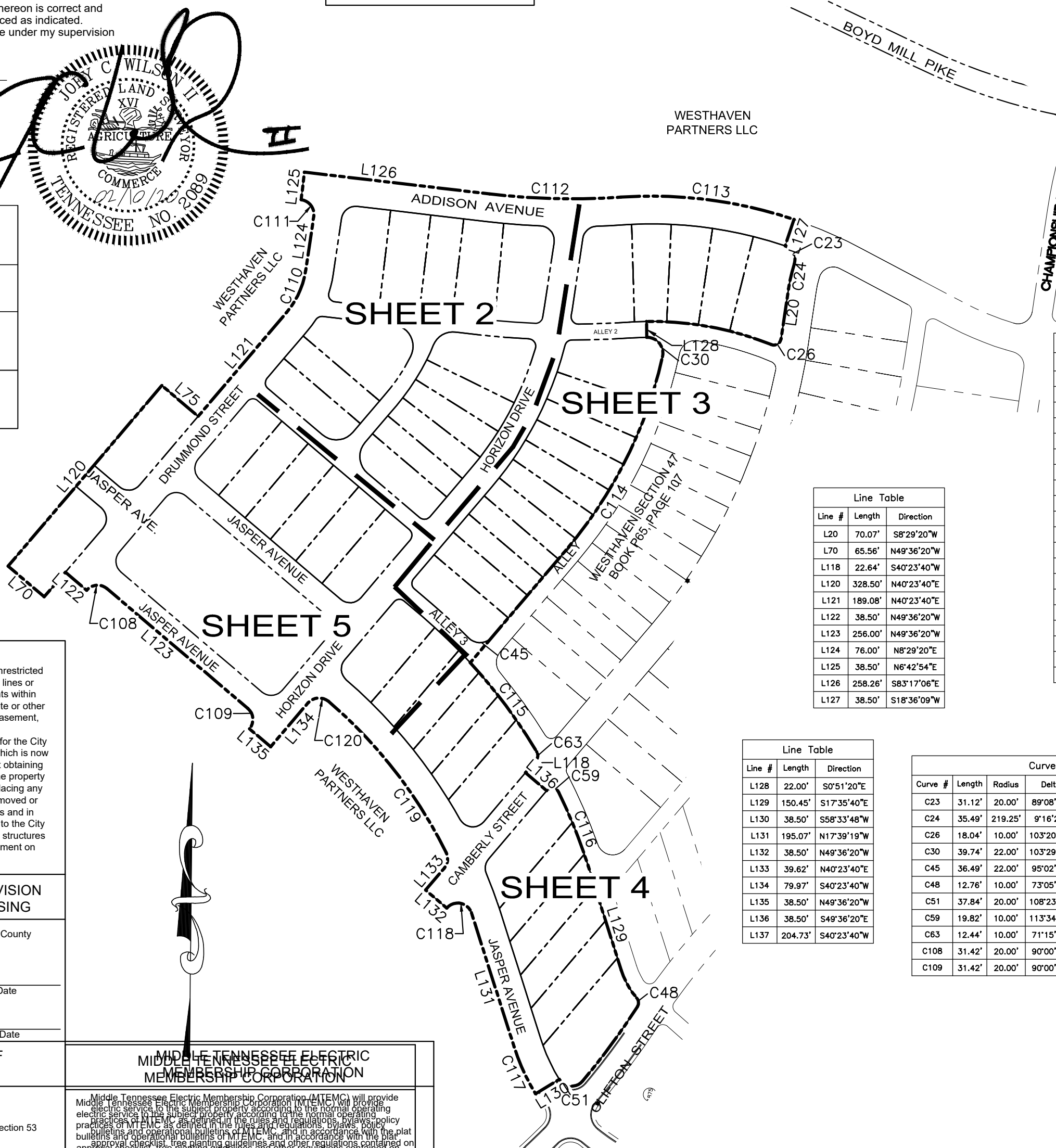
CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I hereby certify that:

- (1) the sewer system designated in Westhaven PUD Subdivision, Section 53 has been installed in accordance with City specifications, or
- (2) a performance agreement and surety in the amount of \$ _____ for the sewer system has been posted with the City of Franklin, Tennessee to assure completion of such system.

Director Water Management Department _____ Date _____
City of Franklin, Tennessee

NOTE: THE BOUNDARY CALLS SHOWN ON THIS SHEET ARE FOR THE PHASE BOUNDARY ONLY.



Line Table		
Line #	Length	Direction
L20	70.07'	S8°29'20\"W
L70	65.56'	N49°36'20\"W
L118	22.64'	S40°23'40\"W
L120	328.50'	N40°23'40\"E
L121	189.08'	N40°23'40\"E
L122	38.50'	N49°36'20\"W
L123	256.00'	N49°36'20\"W
L124	76.00'	N8°29'20\"E
L125	36.50'	N6°42'54\"E
L126	258.26'	S83°17'06\"E
L127	38.50'	S18°36'09\"W

Line Table		
Line #	Length	Direction
L128	22.00'	S0°51'20\"E
L129	150.45'	S17°35'40\"E
L130	38.50'	S58°33'48\"W
L131	195.07'	N17°39'19\"W
L132	38.50'	N49°36'20\"W
L133	39.62'	N40°23'40\"E
L134	79.97'	S40°23'40\"W
L135	38.50'	N49°36'20\"W
L136	38.50'	S49°36'20\"E
L137	204.73'	S40°23'40\"W

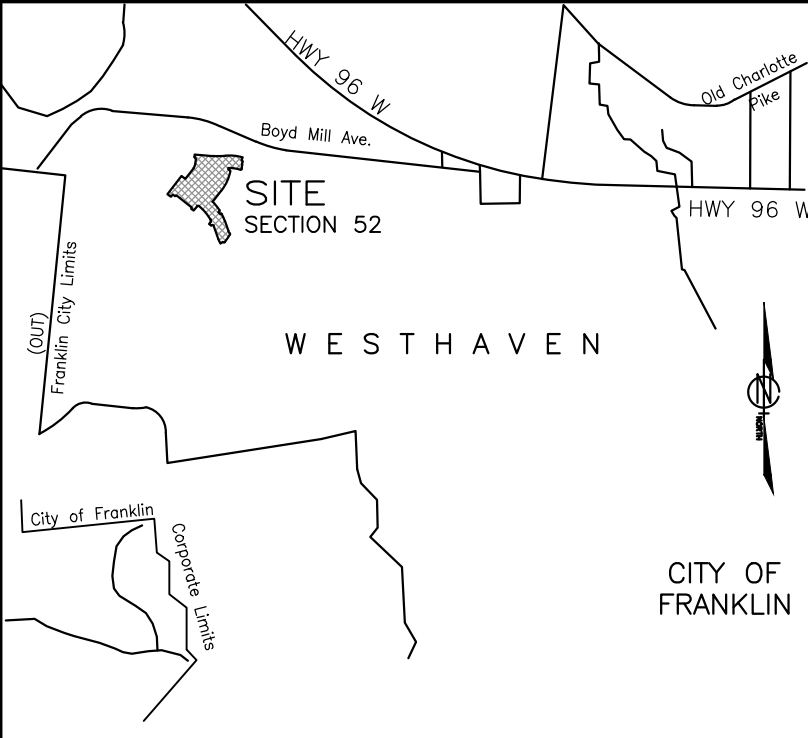
Curve Table				
Curve #	Length	Radius	Delta	Chord Bearing
C23	31.12'	20.00'	89°08'58\"	S26°49'22\"E
C24	35.49'	219.25'	9°16'27\"	S13°07'34\"W
C26	18.04'	10.00'	103°20'44\"	S60°09'43\"W
C30	39.74'	22.00'	103°29'18\"	S39°06'41\"E
C45	36.49'	22.00'	95°02'25\"	S87°54'53\"W
C48	12.76'	10.00'	73°05'02\"	S3°55'20\"E
C51	37.84'	20.00'	108°23'22\"	N85°42'41\"W
C59	19.82'	10.00'	113°34'21\"	S82°49'09\"E
C63	12.44'	10.00'	71°15'29\"	S4°45'56\"W
C108	31.42'	20.00'	90°00'00\"	S85°23'40\"W
C109	31.42'	20.00'	90°00'00\"	N4°36'20\"W

Curve Table				
Curve #	Length	Radius	Delta	Chord Bearing
C110	64.46'	115.75'	31°54'20\"	N24°26'30\"E
C111	32.04'	20.00'	91°46'27\"	N37°23'53\"W
C112	181.96'	980.75'	10°37'49\"	S88°36'01\"E
C113	243.37'	619.25'	22°31'04\"	S82°39'23\"E
C114	302.22'	624.11'	27°44'43\"	S26°30'49\"W
C115	154.36'	754.25'	11°43'33\"	S36°43'35\"E
C116	111.09'	754.25'	8°26'19\"	S21°48'49\"E
C117	71.46'	294.25'	13°54'50\"	N24°33'05\"W
C118	42.10'	20.00'	120°35'48\"	N79°18'26\"W
C120	31.20'	20.99'	85°11'45\"	S85°38'48\"W
C121	176.67'	445.75'	22°42'31\"	N79°30'05\"W

Parcel Area Table		
Parcel #	Area (SF)	Area (Ac.)
2030	10991.50	0.252
2031	7322.92	0.168
2032	6527.55	0.150
2033	6526.22	0.150
2034	6466.37	0.148
2035	8476.45	0.195
2036	8152.12	0.187
2037	5890.89	0.135
2038	5800.52	0.133
2039	5717.88	0.131
2040	6325.00	0.145
2041	8832.78	0.203
2042	7277.86	0.167
2043	5535.00	0.127
2044	4455.00	0.102
2045	4455.00	0.102
2046	4690.29	0.108
2047	4919.97	0.113
2048	4919.82	0.113
2049	4919.75	0.113

Parcel Area Table		
Parcel #	Area (SF)	Area (Ac.)
2050	4919.73	0.113
2051	6113.14	0.140
2052	9323.70	0.214
2053	8959.47	0.206
2054	6861.02	0.158
2055	6861.06	0.158
2056	6718.37	0.154
2057	10349.00	0.238
2058	9250.12	0.212
2059	7727.91	0.177
2060	6210.00	0.143
2061	7560.00	0.174
2062	9075.13	0.208
2063	10264.00	0.236
2064	5699.00	0.131
2065	6179.40	0.142
2066	9086.21	0.209
2067	5158.29	0.118
2068	5044.81	0.116
2069	4773.46	0.110

Parcel Area Table		
Parcel #	Area (SF)	Area (Ac.)
2070	4487.82	0.103
2071	5995.53	0.138
2072	7182.15	0.165
2073	6480.20	0.149
2074	6210.00	0.143
2075	6210.00	0.143
2076	6480.20	0.149
2077	7182.84	0.165
2078	9484.31	0.218
2079	9481.84	0.218
5088	40652.64	0.933



VICINITY MAP
NOT TO SCALE

CERTIFICATE OF OWNERSHIP

I (we) hereby certify that I am (we are) the owner(s) of the property shown hereon as of record in Book 2269, Page 345, R.O.W.C., Tennessee, and adopt the plan of subdivision of the property as shown hereon and dedicate all public ways and easements as noted. No lot(s) as shown hereon shall again be subdivided, resubdivided, altered, or changed so as to produce less area than is hereby established until otherwise approved by the Franklin Municipal Planning Commission, and under no condition shall such lot(s) be made to produce less area than is prescribed by the restrictive covenants as of record in Book _____, Page _____, R.O.W.C., Tennessee, running with the title to the property. I (we) further certify that there are no liens on this property, except as follows: Book _____, Page _____, R.O.W.C.

Owner _____ Date _____

CERTIFICATE OF APPROVAL OF STREETS AND DRAINAGE AND SIDEWALKS

I hereby certify that:

- (1) the streets, drainage, and sidewalks designated in Westhaven PUD Subdivision, Section 53 have been installed in accordance with City specifications, or
- (2) a performance agreement and surety in the amount of \$ _____ for streets, \$ _____ for drainage, and \$ _____ for sidewalks has been posted with the City of Franklin, Tennessee, to assure completion of such improvements.

Director, Streets Department _____ Date _____
City of Franklin, Tennessee

CERTIFICATE OF APPROVAL OF SEWER SYSTEMS

I hereby certify that:

- (1) the sewer system designated in Westhaven PUD Subdivision, Section 53 has been installed in accordance with City specifications, or
- (2) a performance agreement and surety in the amount of \$ _____ for the sewer system has been posted with the City of Franklin, Tennessee to assure completion of such system.

Director Water Management Department _____ Date _____
City of Franklin, Tennessee

CERTIFICATE OF APPROVAL OF RECORDING

Approved by the Franklin Municipal Planning Commission, Franklin, Williamson County, Tennessee, with the exception of such conditions, if any, as are noted in the Planning Commission minutes for the ____ day of _____, 20____, and this plat has been approved for recording in the Register's Office of Williamson County, Tennessee.

Secretary _____ Date _____
Franklin Municipal Planning Commission

FINAL SUBDIVISION PLAT

FRANKLIN - WILLIAMSON COUNTY - TENNESSEE

TOTAL ACRES 12.535	TOTAL # OF LOTS 50
ACRES NEW RD/ST 3.716 (ROW)	L.F. OF NEW RD/ST
ACRES OPEN SPACE 0.933	CIVIL DISTRICT 5th
DRAWN BY JAG	CLOSURE ERROR < 1:10,000
SCALE = NO SCALE	DATE = 02/10/2020

COF PROJECT # 0000 SHEET 1 OF 5

WILLIAMSON COUNTY ANIMAL CARE FACILITY ROADWAY SITE PLAN
 FRANKLIN MUNICIPAL PLANNING COMMISSION
 03/26/2020

Site

Project Information
 Base Zoning: CI
 Other Overlays: HHO, SCO
 Existing Land Use: Vacant
 Proposed Use: Civic/Animal Center
 Site Acreage: 38.67 Acres

- | | |
|---|------------------------------------|
| Williamson County Animal Care Facility Site | CI Civic Institutional District |
| AG Agricultural District | NC Neighborhood Commercial |
| ER Estate Residential District | CC Central Commercial District |
| R1 Residential 1 District | DD Downtown District |
| R2 Residential 2 District | 1ST Avenue District |
| R3 Residential 3 District | 5TH Avenue District |
| R4 Residential 4 District | RC6 Regional Commerce 6 District |
| R6 Residential 6 District | RC12 Regional Commerce 12 District |
| MR Mixed Residential District | GO General Office District |
| PD Planned District | LI Light Industrial District |
| OR Office Residential District | HI Heavy Industrial District |



0 125 250 500 750
 Feet

This map was created by the Franklin Planning Department.
 It was compiled from the most authentic information available.
 The City is not responsible for any errors or omissions contained hereon.
 All data and materials (c) copyright 2019. All rights reserved.

CONDITIONS OF APPROVAL:

Open Issues: 20 These issues are currently being filtered

Engineering - Site Plan Checklist

General Issues

15. Final Plat

joe.marlo@franklintn.gov Comment to remain open as a reminder to COF Staff, but **does not hinder approval of the Site Plan.**

Prior to issuance of a grading permit, a final plat shall be approved and recorded to dedicate right-of-way, modify/abandon existing easements on the property and create new easements as necessary for the proposed site development.

18. Survey

joe.marlo@franklintn.gov Applicant to indicate "Field-Run" on the drawings if the the survey information shown is based on a field-run survey (and not GIS). (Cover Sheet Note 4, C0.01 Note 2, and C1.0/C1.1 Note 4)

23. Work Within TVA Easement

joe.marlo@franklintn.gov The proposed site plan indicates to be performed within TVA Easements, including utilities, detention, and bioretention.

Prior to One Stop approval, Applicant shall provide documentation from TVA acknowledging the work shown within their easement.

60. Carlisle Lane

There are safety concerns on Carlisle Lane. This roadway will be the main access to the Animal Care Facility. We recognize that the Animal Care Facility generates a low volume of traffic typically off-peak and that there is an urgent need for this facility to be constructed. The City of Franklin will continue to elevate the discussion with the Board of Mayor and Alderman to prioritize this project as we anticipate increased development and traffic with the extension of Mack Hatcher (currently under construction). This issue is currently being addressed by City and County Administration.

CARLISLE LANE 68

STONE MILL LANE TO DEL RIO PIKE

PROJECT OVERVIEW	
OVERALL COST:	\$4,186,000
TIME FRAME:	Long
PROJECT DRIVER:	City of Franklin

PROJECT CHARACTER	
FUNCTIONAL CLASSIFICATION:	Minor Collector
SEGMENT LENGTH:	0.55 miles
EXISTING LANES:	2
PROPOSED LANES:	2
PROPOSED RIGHT OF WAY:	79 feet

PROJECT SPECIFICS	
LANE WIDTH:	12 feet
MEDIAN:	No
CURB & GUTTER:	Yes
PARKING:	No
PEDESTRIAN FACILITY:	Sidewalk (Both Sides)
BICYCLE FACILITY:	Bike-lane (Both Sides)
TRANSIT FACILITY:	No

This is an upgrade to an existing 2 lane roadway. This new road will start at Del Rio Pike and end at Stone Mill Lane. This road provides an additional connection for several neighborhoods to access Highway 96 West quicker. There is no LOS in 2015 because the road was not constructed. The 2040 LOS after improvements is C.



80. Old Charlotte Pike Improvements

joe.marlo@franklin.tn.gov Old Charlotte Pike is presently a public city street. The existing construction of Old Charlotte Pike is substandard to support the development proposed. All public city streets shall meet City of Franklin Street Standards.

So long as Old Charlotte Pike remains a public city street, the Applicant shall improve Old Charlotte Pike to meet city standards for a Low Volume Local Street, including the following:

1. (2) 11-foot lanes constructed with a pavement section meeting COF RD-3 and extending from the intersection with the proposed drive to the intersection with Carlisle Lane. Be aware that the existing pavement section is unlikely to meet COF RD-3 without full-depth reclamation or other rehabilitation measures producing an approved equivalent section.
2. Curb and gutter with associated storm infrastructure, or 4-foot shoulder with ditch section, on both sides of road improvements.
3. 5-foot wide concrete sidewalk on the north side of Old Charlotte Pike along the extents of property frontage.
4. Right-of-way dedication encompassing the improvements. Sidewalks located away from the roadway may be placed in a Public Access Easement instead of ROW.

Street and sidewalk improvements shall be coordinated with the COF Planning Department.

Prior to One Stop Approval, Applicant shall complete either 1 or 2 below:

1. Old Charlotte Pike to remain a Public Street: Applicant shall incorporate the improvements listed above for a Public City Street. Improvements to Old Charlotte Pike shall be constructed by the developer and accepted by the City of Franklin prior to the first issuance of a Certificate of Occupancy.
2. Old Charlotte Pike to become a Private or County Street: The Applicant shall complete the work necessary for the ROW abandonment, including but not limited to survey and legal descriptions of the property to present to the City of Franklin BOMA for consideration. The BOMA shall approve the ROW abandonment, and the abandoned ROW shall be indicated on the project drawings.

88. Standard Drawings

joe.marlo@franklin.tn.gov *Sheets C2.2 and C2.3 do not appear to show the details requested below.*

So long as Old Charlotte Pike remains a public city street, Applicant shall provide City of Franklin standard drawings for construction within right-of-way and public access easements, including:

DWG NO RD-3 Local, Alley, and Mews Pavement Section
DWG NO D-1 Drainage Structures, Manholes, Grates, and Endwalls
DWG NO RP-3 Local Street Curb and Gutter
DWG NO RP-8 Concrete Sidewalk
DWG NO RP-10 Sidewalk Expansion Joint

94. Storm Infrastructure

joe.marlo@franklin.tn.gov *The following is a new comment due to new information shown.*

Applicant shall label storm structures on plan corresponding to those now shown in the pipe table on C3.0.

95. Meeting Required

joe.marlo@franklin.tn.gov **Prior to submitting for One Stop**, Applicant shall schedule a meeting with Engineering, Stormwater, and Water Management staff to demonstrate that the comments made herein have been corrected and incorporated into the project documents.

After the corrections have been made, contact Joe Marlo (joe.marlo@franklin.tn.gov) at the City of Franklin to arrange a meeting at City Hall.

Performance Agreement and Surety

General Issues

87. Engineering Sureties

kevin.long@franklin.tn.gov Sureties waived, this project is owned by Williamson County government and no sureties would be collected by mutual agreement between City of Franklin and Williamson County.
[Edited By Kevin Long]

Stormwater

General Issues

1. Bioretention

ellen.moore@franklin.tn.gov *Comment shall remain open until TVA documentation is provided:*

"Applicant shall either remove the bioretention area from the TVA easement or provide documentation from TVA stating that the bioretention area is allowed to be within their easement."

3. Bioretention

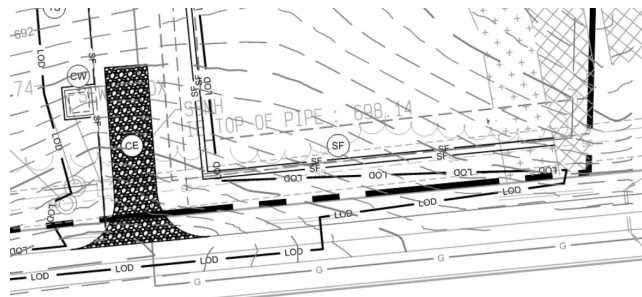
ellen.moore@franklin.tn.gov The pretreatment detail has conflicting depths of the forebay shown. The berm is shown as 6", but 12" is shown on the detail and the calculations.

5. Drainage

ellen.moore@franklin.tn.gov The storm infrastructure is shown grayed out on both site plans and no calculations can be located for the infrastructure to be installed in the access drive. Applicant shall show all calculations for storm infrastructure proposed.

69. EPSC

Doug.Noonan@franklin.tn.gov Comment not addressed, All EPSC measures shall be within LOD.



Water/Sewer

General Issues

39. Sanitary sewer

ben.mcneil@franklintn.gov

The request for a permeant sanitary sewer pumping station has been denied by Franklin Water Management Director and Assistant Director. The Water Management team will allow a temporary private sanitary sewer pump station, to serve the proposed building with a sanitary sewer force main extending to FCA manhole ending with FCA proposed project.

The sanitary sewer alignment that has been provided for review with the most recent submittal shows that gravity sewer will not be available by the proposed routing. However, by extending a sanitary sewer main west to the existing Westhaven pump station, gravity sanitary sewer can be achieved to serve all properties within this general area.

Williamson County will be allowed to move forward with a temporary private pump station, but prior to any additional buildings being approved, the gravity sanitary sewer must be extended from Westhaven pump station to the furthest property line of the Williamson County development. All associated easements permanent and temporary construction easements must be recorded with the plat for this site plan.

This issue can be discussed with COF staff and Admin to better understand the requirement.



[Edited By Ben McNeil]

40. Sanitary sewer

ben.mcneil@franklintn.gov

The sanitary sewer plan for the Animal shelter is being revised. The gravity extension from FCA will not be required at this time. The force main shall be shown connecting to the last manhole being set at FCA. The same layout shall be shown, but the connection point shall be relocated. The force main will be required to connect to the manhole and there fore the applicant shall not that the manhole shall be lined in accordance to Franklin Water specifications.

This may require a meeting prior to resubmitting to ensure the layout of the property is correct.

47. Utility conflicts

ben.mcneil@franklintn.gov

The applicant failed to address the issue, the water alignment for the Williamson County Animal shelter and future site construction shall follow Old Charlotte Pike and reconnect to the 24" water main along Del Rio pike.

The water must loop with the initial installation of the infrastructure plan as TDEC has issued a non compliance order for Franklin Water due to some existing dead end water mains throughout the system. In addition, Franklin water specs do require a secondary feed for water service.

49. Water

ben.mcneil@franklin.tn.gov The applicant failed to address the issue, the water alignment for the Williamson County Animal shelter and future site construction shall follow Old Charlotte Pike and reconnect to the 24" water main along Del Rio pike.

The water must loop with the initial installation of the infrastructure plan as TDEC has issued a non compliance order for Franklin Water due to some existing dead end water mains throughout the system. In addition, Franklin water specs do require a secondary feed for water service.

73. Force main/ Pump station

ben.mcneil@franklin.tn.gov The pump station has been denied as a permeant pump station. That being said, the station can be designed as a temporary pump station to serve the initial building proposed with the site plan being review concurrently. Once the county elects to move forward with additional buildings, the sanitary sewer pump station will be removed and the gravity sewer will be installed.

The pump station shall be designed and submitted to ensure there is no issue with the design and the ability to serve the building. The force main shall be designed to connect to the sanitary sewer main being extended with the FCA site plan. The sizing shall be determined by the pump station designer and supporting calculations shall be submitted for review.

74. Sanitary sewer

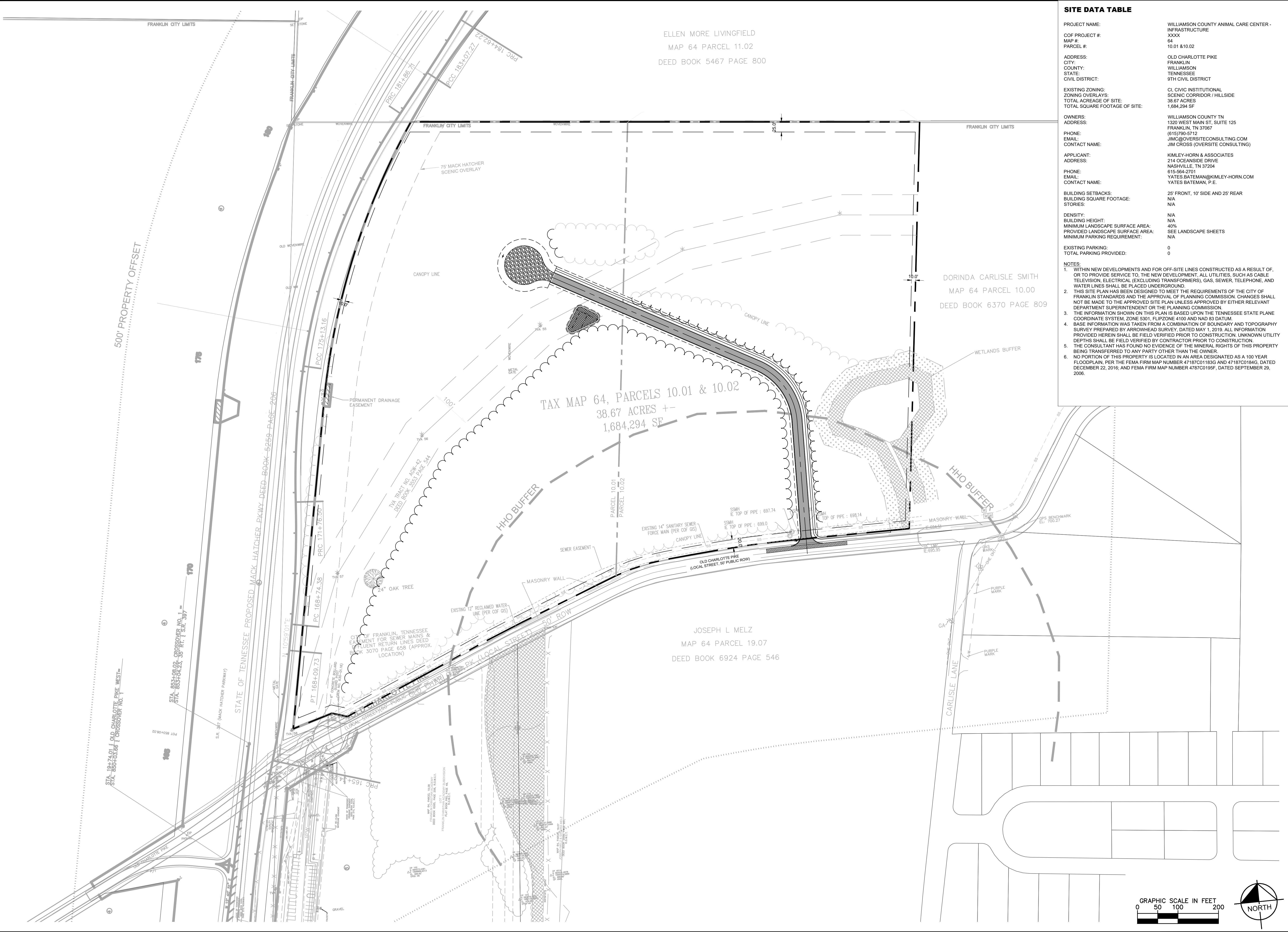
ben.mcneil@franklin.tn.gov The applicant shall show the design of the force main being public to the property line of Williamson County property. A shut off and check valve shall be submitted at that location to end public sewer. The force main shall be shown as temporary and to be abandoned with the installation of the sanitary sewer main for future development of the site.

97. Utility meeting

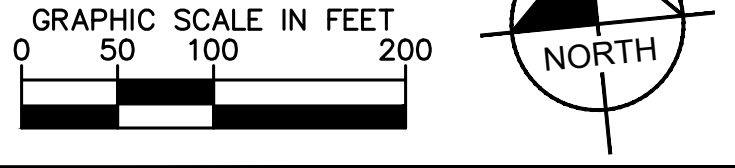
ben.mcneil@franklin.tn.gov The applicant shall meet with Water Management to discuss changes to the infrastructure plan prior to re submittal. This was discussed with Williamson County officials on 3/13/20 and Williamson county has not made a determination of the utility layout.

In order to move forward, the applicant shall comply with Franklin Water management requirements.

This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



SITE DATA TABLE	
PROJECT NAME:	WILLIAMSON COUNTY ANIMAL CARE CENTER - INFRASTRUCTURE
COF PROJECT #:	XXXX
MAP #:	64
PARCEL #:	10.01 & 10.02
ADDRESS:	OLD CHARLOTTE PIKE
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	9TH CIVIL DISTRICT
EXISTING ZONING:	CI, CIVIC INSTITUTIONAL
ZONING OVERLAYS:	SCENIC CORRIDOR / HILLSIDE
TOTAL ACREAGE OF SITE:	38.67 ACRES
TOTAL SQUARE FOOTAGE OF SITE:	1,684,294 SF
OWNERS:	WILLIAMSON COUNTY TN
ADDRESS:	1320 WEST MAIN ST, SUITE 125 FRANKLIN, TN 37067
PHONE:	(615)790-5712
EMAIL:	JIMC@OVERSITECONSULTING.COM
CONTACT NAME:	JIM CROSS (OVERSITE CONSULTING)
APPLICANT:	KIMLEY-HORN & ASSOCIATES
ADDRESS:	214 OCEANSIDE DRIVE NASHVILLE, TN 37204
PHONE:	615-564-2701
EMAIL:	YATES.BATEMAN@KIMLEY-HORN.COM
CONTACT NAME:	YATES BATEMAN, P.E.
BUILDING SETBACKS:	25' FRONT, 10' SIDE AND 25' REAR
BUILDING SQUARE FOOTAGE:	N/A
STORIES:	N/A
DENSITY:	N/A
BUILDING HEIGHT:	N/A
MINIMUM LANDSCAPE SURFACE AREA:	40%
PROVIDED LANDSCAPE SURFACE AREA:	SEE LANDSCAPE SHEETS
MINIMUM PARKING REQUIREMENT:	N/A
EXISTING PARKING:	0
TOTAL PARKING PROVIDED:	0
NOTES:	
1. WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE, TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.	
2. THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.	
3. THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.	
4. BASE INFORMATION WAS TAKEN FROM A COMBINATION OF BOUNDARY AND TOPOGRAPHY SURVEY PREPARED BY ARROWHEAD SURVEY, DATED MAY 1, 2019. ALL INFORMATION PROVIDED HEREIN SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. UNKNOWN UTILITY DEPTHS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.	
5. THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.	
6. NO PORTION OF THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS A 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C01183G AND 47187C0184G, DATED DECEMBER 22, 2016, AND FEMA FIRM MAP NUMBER 47187C0195F, DATED SEPTEMBER 29, 2006.	



Kimley»Horn

214 Oceanside Drive, Nashville, TN 37204
Main: 615.564.2701 | www.kimley-horn.com
© 2020 Kimley-Horn and Associates, Inc.

WILLIAMSON COUNTY ANIMAL
CENTER - INFRASTRUCTURE

WILLIAMSON COUNTY
FRANKLIN, TENNESSEE

COLLYN J. MURPHY
REGISTERED PROFESSIONAL ENGINEER
No. 12217
STATE OF TENNESSEE
4/1/2020

BY: [Signature]
DATE: [Blank]
REVISIONS: [Blank]
No. 1 2 3 4 5 6 7 8 9 10
DESIGNED BY: JYB
DRAWN BY: JYB
CHECKED BY: RLM
DATE: 02/10/2020
KIMLEY-HORN PROJECT NO. 118322000

OVERALL SITE PLAN

SHEET NUMBER
C2.0

COP# XXXX

Drawing name: K:\NSH_LDEV\118322000 - wccol4-CADD\plansheets\11-infrastructure\C2.0 OVERALL SITE PLAN.dwg C2.0 OVERALL SITE PLAN Feb 10, 2020 4:20pm by: gray.harrison

WILLIAMSON COUNTY ANIMAL CARE FACILITY SITE PLAN
 FRANKLIN MUNICIPAL PLANNING COMMISSION
 03/26/2020

Site

Project Information
 Base Zoning: CI
 Other Overlays: HHO, SCO
 Existing Land Use: Vacant
 Proposed Use: Civic/Animal Center
 Site Acreage: 38.67 Acres

- | | |
|---|------------------------------------|
| Williamson County Animal Care Facility Site | CI Civic Institutional District |
| AG Agricultural District | NC Neighborhood Commercial |
| ER Estate Residential District | CC Central Commercial District |
| R1 Residential 1 District | DD Downtown District |
| R2 Residential 2 District | 1ST Avenue District |
| R3 Residential 3 District | 5TH Avenue District |
| R4 Residential 4 District | RC6 Regional Commerce 6 District |
| R6 Residential 6 District | RC12 Regional Commerce 12 District |
| MR Mixed Residential District | GO General Office District |
| PD Planned District | LI Light Industrial District |
| OR Office Residential District | HI Heavy Industrial District |



0 125 250 500 Feet

This map was created by the Franklin Planning Department.
 It was compiled from the most authentic information available.
 The City is not responsible for any errors or omissions contained hereon.
 All data and materials (c) copyright 2019. All rights reserved.

CONDITIONS OF APPROVAL:

Open Issues: 23 These issues are currently being filtered

Engineering - Site Plan Checklist

General Issues

11. Final Plat

joe.marlo@franklntn.gov *Comment to remain open as a reminder to COF Staff, but **does not hinder approval of the Site Plan.***

Prior to issuance of a building permit, a revised final plat shall be approved and recorded to dedicate right-of-way, modify/abandon existing easements on the property and create new easements as necessary for the proposed site development.

15. Survey

joe.marlo@franklntn.gov Applicant to indicate "Field-Run" on the drawings if the the survey information shown is based on a field-run survey (and not GIS). (Cover Sheet Note 4, C0.01 Note 2, and C1.0/C1.1 Note 4)

16. Work Within TVA Easement

joe.marlo@franklntn.gov The proposed site plan indicates to be performed within TVA Easements, including utilities, detention, and bioretention. **Prior to One Stop approval**, Applicant to provide documentation from TVA acknowledging the work shown within their easement.

20. Regional Stormwater Features

joe.marlo@franklntn.gov *Comment to remain open as a reminder to COF Staff, but **does not hinder approval of the Site Plan.***

Prior to the first issuance of a Certificate of Occupancy, All regional stormwater features shall be installed and functioning properly prior to issuance of any certificate of occupancy for developments using them.

40. Offsite Improvements

joe.marlo@franklntn.gov *Comment to remain open as a reminder to COF Staff, but **does not hinder approval of the Site Plan.***

Prior to the first issuance of a Certificate of Occupancy, the improvements shown on the associated Infrastructure Site Plan to Old Charlotte Road shall be constructed and accepted by the City of Franklin

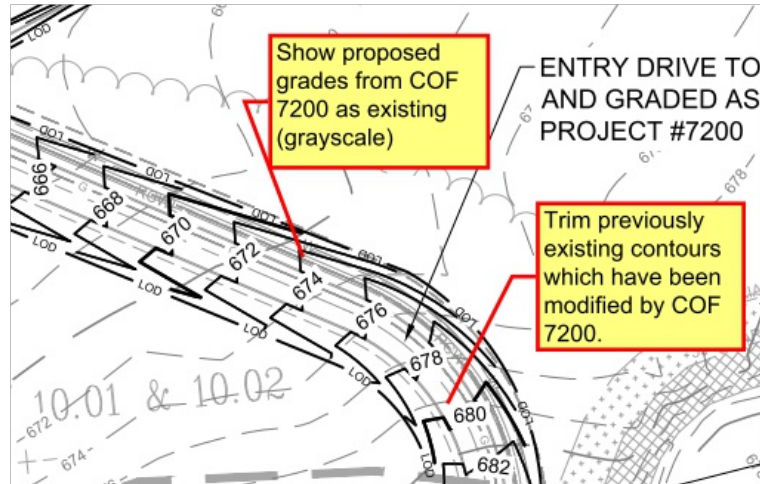
81. Existing Grades

joe.marlo@franklntn.gov *Comment partially addressed.*

Applicant shall revise proposed grading sheets (C3.0, C3.1) to clarify grades proposed with this site plan versus existing grades. Proposed grades from the associated infrastructure plan (COF 7200)

are to be shown as existing on this Site Plan (COF 7199).

See below for one example at the entry drive.



84. Stormwater Infrastructure

joe.marlo@franklin.tn.gov Applicant shall revise storm infrastructure labels in the provided tables to match those shown on plans. At this time, the storm structures cannot be reviewed. (C3.0, C3.1)

Applicant shall ensure that all infrastructure has positive drainage. Several pipes in the table currently appear to have a negative slope. (C3.0)

Performance Agreement and Surety

General Issues

85. Engineering Sureties

kevin.long@franklin.tn.gov Sureties waived, this project is owned by Williamson County government and no sureties would be collected by mutual agreement between City of Franklin and Williamson County.
[Edited By Kevin Long]

Planning

General Issues

29. Building Type

dianna.tomlin@franklin.tn.gov Please include information on the site data sheet. Site Data sheet should reflect the site plan checklist - see number 38.

Site Plan Checklist

29	Names, addresses, and contact information of land owners, directors and/or beneficial owners holding more than a 1% interest in the landowner is a partnership, corporation, or other business entity.
30	Names, addresses, contact information, and signed and dated by the applicant.
31	Submittal and revision dates.
32	Tax map, group, parcel number(s), and address(es) of site.
33	Vicinity map with site location and corporate limits (if within corporate limits).
34	City of Franklin project number (to be assigned once initiated).
35	Sheet index for all sheets included in the submittal set.
36	Approved modifications of standards, if any.
37	Take-down schedule for components in multi-section drawings.
38	Open space take-down schedule for components in multi-section drawings.

	Elevation	Elevation & Depth	Invert Elevation	Elevation & Depth	Elevation	of the Outfall Structure	Elevation
Area 1							

Water/Sewer

General Issues

42. Utility Plan

ben.mcneil@frankltn.gov The infrastructure plan is amidst changes to the sanitary sewer and water layouts. The applicant shall once again adjust the site plan to match all utility changes on the infrastructure plan.

44. Sanitary sewer

ben.mcneil@frankltn.gov The sanitary sewer force main shall be labeled as a **temporary** private force main to the property line. A future gravity sewer main shall be utilized to flow sanitary sewer to the Westhaven pump station.

45. Water

ben.mcneil@frankltn.gov The water and fire meter locations shall be revised based upon the infrastructure plan. The details showing sizing, locations and appropriate backflow devices shall be detailed on the site plan and the infrastructure plan. The applicant shall revise.

46. Fire line

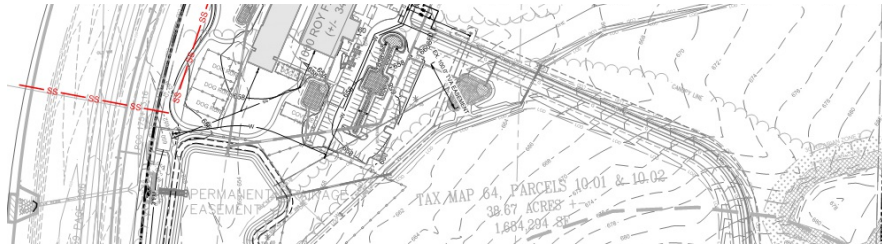
ben.mcneil@frankltn.gov The water line is going to be revised to follow Old Charlotte Pike, the fire line shall have a meter and double check device at Old Charlotte Pike. from the double check into the property shall be a private fire line. The applicant shall revise.

82. Sanitary sewer

ben.mcneil@frankltn.gov The sanitary sewer to serve the remaining Williamson County property as well as the additional drainage area is being revised. The pump station will only be allowed to serve the first building as a temporary option. The sanitary sewer will be required to cross Mach Hatcher Parkway and connect to the Westhaven pump station.

The applicant shall design the sanitary sewer across the site along the low point and serve all properties north and east of the Williamson county site. Easements shall be shown along the alignment to ensure the sanitary sewer can be installed. This will require the detention area to be revised. See the alignment below.



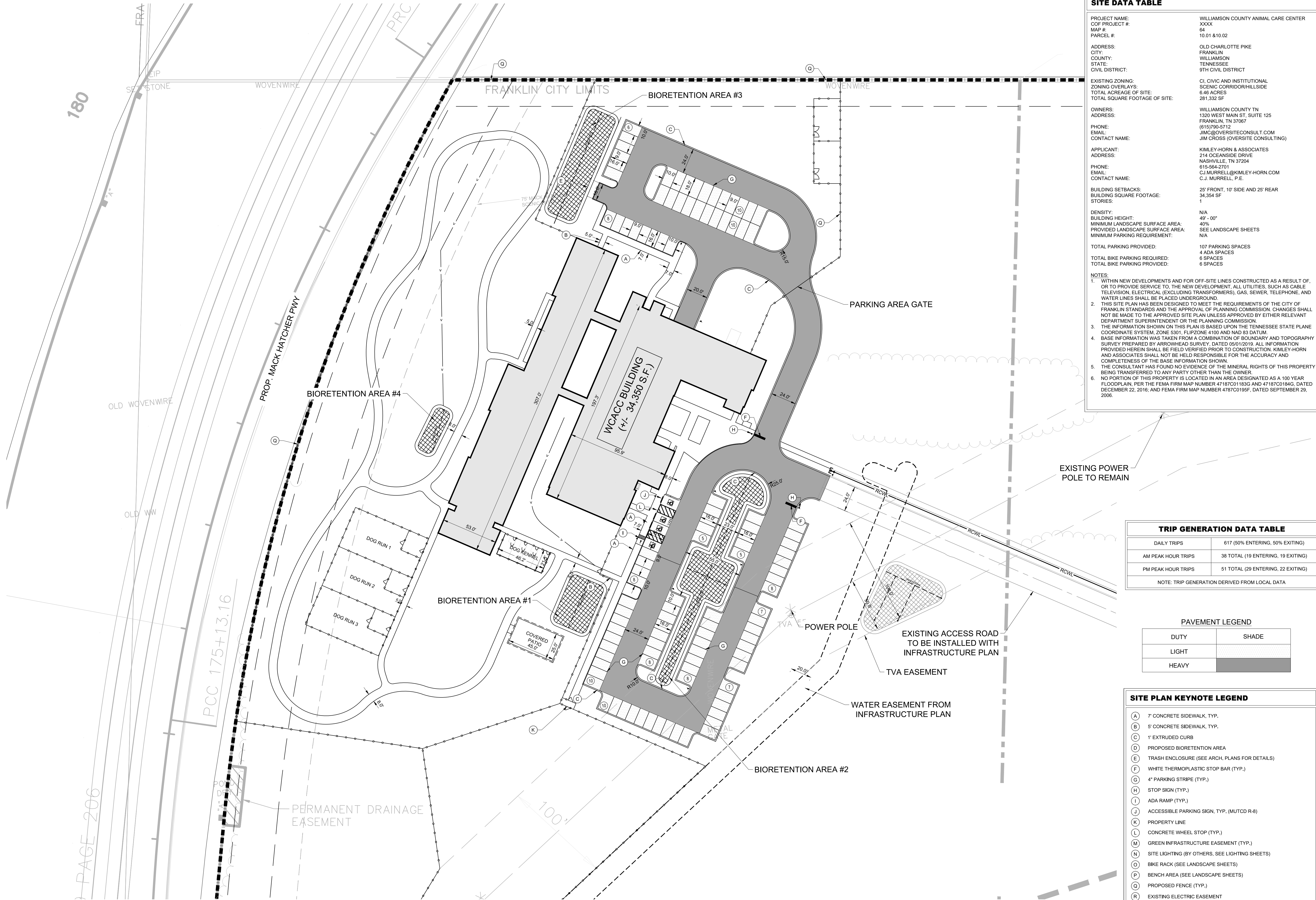


94. Utility meeting

ben.mcneil@franklinton.gov The applicant shall meet with Water Management to discuss changes to the infrastructure plan prior to re submittal. This was discussed with Williamson County officials on 3/13/20 and Williamson county has not made a determination of the utility layout.

In order to move forward, the applicant shall comply with Franklin Water management requirements.

This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

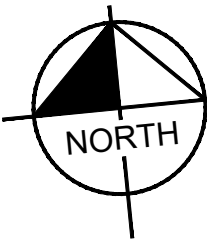
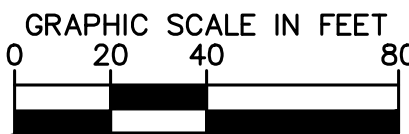


SITE DATA TABLE	
PROJECT NAME:	WILLIAMSON COUNTY ANIMAL CARE CENTER
COF PROJECT #:	XXXX
MAP #:	64
PARCEL #:	10.01 & 10.02
ADDRESS:	OLD CHARLOTTE PIKE
CITY:	FRANKLIN
COUNTY:	WILLIAMSON
STATE:	TENNESSEE
CIVIL DISTRICT:	9TH CIVIL DISTRICT
EXISTING ZONING:	CI, CIVIC AND INSTITUTIONAL
ZONING OVERLAYS:	SCENIC CORRIDOR/HILLSIDE
TOTAL ACREAGE OF SITE:	6.46 ACRES
TOTAL SQUARE FOOTAGE OF SITE:	281,332 SF
OWNERS:	WILLIAMSON COUNTY TN
ADDRESS:	1320 WEST MAIN ST, SUITE 125
	FRANKLIN, TN 37067
PHONE:	(615)790-5712
EMAIL:	JIMC@OVERSITECONSULT.COM
CONTACT NAME:	JIM CROSS (OVERSITE CONSULTING)
APPLICANT:	KIMLEY-HORN & ASSOCIATES
ADDRESS:	214 OCEANSIDE DRIVE
	NASHVILLE, TN 37204
PHONE:	615-564-2701
EMAIL:	C.J.MURRELL@KIMLEY-HORN.COM
CONTACT NAME:	C.J. MURRELL, P.E.
BUILDING SETBACKS:	25' FRONT, 10' SIDE AND 25' REAR
BUILDING SQUARE FOOTAGE:	34,354 SF
STORIES:	1
DENSITY:	N/A
BUILDING HEIGHT:	49' - 00"
MINIMUM LANDSCAPE SURFACE AREA:	40%
PROVIDED LANDSCAPE SURFACE AREA:	SEE LANDSCAPE SHEETS
MINIMUM PARKING REQUIREMENT:	N/A
TOTAL PARKING PROVIDED:	107 PARKING SPACES
TOTAL BIKE PARKING REQUIRED:	4 ADA SPACES
TOTAL BIKE PARKING PROVIDED:	6 SPACES
6 SPACES	
NOTES:	
1. WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE, TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.	
2. THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE CITY OF FRANKLIN STANDARDS AND THE APPROVAL OF PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.	
3. THE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE TENNESSEE STATE PLANE COORDINATE SYSTEM, ZONE 5301, FLIPZONE 4100 AND NAD 83 DATUM.	
4. BASE INFORMATION WAS TAKEN FROM A COMBINATION OF BOUNDARY AND TOPOGRAPHY SURVEY PREPARED BY ARROWHEAD SURVEY, DATED 05/01/2019. ALL INFORMATION PROVIDED HEREIN SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. KIMLEY-HORN AND ASSOCIATES SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THE BASE INFORMATION SHOWN.	
5. THE CONSULTANT HAS FOUND NO EVIDENCE OF THE MINERAL RIGHTS OF THIS PROPERTY BEING TRANSFERRED TO ANY PARTY OTHER THAN THE OWNER.	
6. NO PORTION OF THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS A 100 YEAR FLOODPLAIN, PER THE FEMA FIRM MAP NUMBER 47187C011835 AND 47187C011846, DATED DECEMBER 22, 2016; AND FEMA FIRM MAP NUMBER 4787C0195F, DATED SEPTEMBER 29, 2006.	

TRIP GENERATION DATA TABLE	
DAILY TRIPS	617 (50% ENTERING, 50% EXITING)
AM PEAK HOUR TRIPS	38 TOTAL (19 ENTERING, 19 EXITING)
PM PEAK HOUR TRIPS	51 TOTAL (29 ENTERING, 22 EXITING)
NOTE: TRIP GENERATION DERIVED FROM LOCAL DATA	

PAVEMENT LEGEND	
DUTY	SHADE
LIGHT	
HEAVY	

SITE PLAN KEYNOTE LEGEND	
(A)	7" CONCRETE SIDEWALK, TYP.
(B)	5" CONCRETE SIDEWALK, TYP.
(C)	1" EXTRUDED CURB
(D)	PROPOSED BIORETENTION AREA
(E)	TRASH ENCLOSURE (SEE ARCH. PLANS FOR DETAILS)
(F)	WHITE THERMOPLASTIC STOP BAR (TYP.)
(G)	4" PARKING STRIPE (TYP.)
(H)	STOP SIGN (TYP.)
(I)	ADA RAMP (TYP.)
(J)	ACCESSIBLE PARKING SIGN, TYP. (MUTCD R-8)
(K)	PROPERTY LINE
(L)	CONCRETE WHEEL STOP (TYP.)
(M)	GREEN INFRASTRUCTURE EASEMENT (TYP.)
(N)	SITE LIGHTING (BY OTHERS, SEE LIGHTING SHEETS)
(O)	BIKE RACK (SEE LANDSCAPE SHEETS)
(P)	BENCH AREA (SEE LANDSCAPE SHEETS)
(Q)	PROPOSED FENCE (TYP.)
(R)	EXISTING ELECTRIC EASEMENT



WILLIAMSON COUNTY
ANIMAL CENTER
WILLIAMSON COUNTY
FRANKLIN, TENNESSEE



REVISIONS		DATE	BY
No.	1		
	2		
	3		
	4		
	5		
	6		
	7		
	8		
	9		
	10		
DESIGNED BY:		---	
DRAWN BY:		---	
CHECKED BY:		---	
DATE:		FEBRUARY 10, 2020	
KIMLEY-HORN PROJECT NO. 118322000			

ENLARGED SITE PLAN

SHEET NUMBER

C2.1

COF# XXXX

Kimley»Horn

214 Oceanside Drive, Nashville, TN 37204
Main: 615.564.2701 | www.kimley-horn.com
© 2020 Kimley-Horn and Associates, Inc.